



ABBREVIATIONS

Table of abbreviations including terms like AB (Anchor Bolt), ACB (Above Cabinet), ADH (Adhesive), and many others with their corresponding full names.

GENERAL NOTES

- 1. THE CONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY... 2. ALL SITE WORK AND LANDSCAPING SHALL BE ESTABLISHED AND DESIGNED BY OTHERS... 3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES...

CONSTRUCTION NOTES

- 1. NO FRAMING AT ANY TIME IS TO BE CONCEALED PRIOR TO INSPECTIONS BY GOVERNING AUTHORITIES... 2. ALL STUD WALLS ARE DIMENSIONED 3'-1/2" x 3'-1/2" OR 1'-1/4" UNO... 3. ALL PARTY WALLS ARE DIMENSIONED 2" (3'-1/2" x 1" x 3'-1/2") UNLESS OTHERWISE NOTED...

CONSTRUCTION NOTES, CONT.

- 45. COORDINATE LOCATION AND/OR ELEVATIONS OF FLOOR DRAINS, REGISTERS, GRILLES, LOWERS, CONVECTORS, PANELS, ETC. WITH MECHANICAL AND ELECTRICAL CONTRACTORS... 46. FIRE PROTECTION SYSTEM TO BE DESIGNED BY THE FIRE PROTECTION CONTRACTOR... 47. SIZE AND LOCATION OF ALL FLOOR OPENINGS TO BE VERIFIED WITH TRADE AFFECTED BEFORE WORK PATCH AND SEAL...

CONSTRUCTION MOCK UP

- 1. CONTRACTOR TO PROVIDE FULL SCALE MOCK UP WITH ACCURATE DETAILS OF CONSTRUCTION APPROXIMATE SIZE: 24" LONG x 18" HIGH... 2. MOCK UP SHALL INCLUDE 1 DOOR, 2 WINDOWS, SIDING, BRICK METAL RAILING, METAL ROOF AND SHINGLE ROOF

CONSTRUCTION NOTES

- 1. NO FRAMING AT ANY TIME IS TO BE CONCEALED PRIOR TO INSPECTIONS BY GOVERNING AUTHORITIES... 2. ALL WOOD STUD WALLS ARE DIMENSIONED TO FACE OF 3'-1/2" x 3'-1/2" UNO STUD... 3. ALL PARTY WALLS ARE DIMENSIONED 2" (3'-1/2" x 1" x 3'-1/2") TYPE V...

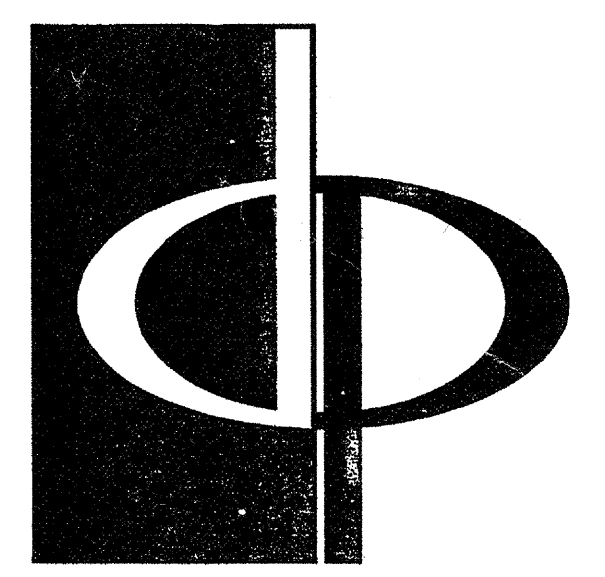
FAIR HOUSING

PROJECT SITE BUILDINGS AND UNITS MEET OR EXCEED THE FAIR HOUSING ACCESSIBILITY GUIDELINES AS PUBLISHED IN THE FEDERAL REGISTER VOLUME 56, NUMBER 44, ON MARCH 6, 1991. THE FOLLOWING ARE ADDRESSED IN MEETINGS THE GUIDELINES FOR COVERED UNITS:

- 1. ACCESSIBLE ENTRANCES/ ACCESSIBLE ROUTES. 2. PUBLIC AND COMMON AREAS. 3. LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND ENVIRONMENTAL CONTROLS. 4. GRAB BAR REINFORCEMENT LOCATIONS. 5. USABLE BATHROOMS AND KITCHENS.

ADAAG NOTE:

ALL ACCESSIBLE SIGNAGE IN CLUSTER AND COMMON AREAS SHALL MEET REQUIREMENTS OF ADAAG SECTION 430



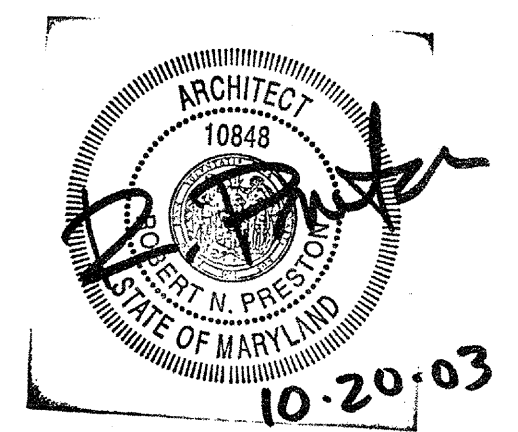
THE PRESTON PARTNERSHIP, LLC A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600 ATLANTA, GEORGIA 30328 TELEPHONE: 770 396 7248 FAX: 770 396 2945

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CONSULTANT

SEAL



PROJECT

KENLSTONE ARCHLANDS 348 QUINCE ORCHARD ROAD SALEM/BURGESS, MARYLAND

FOR

ARCHSTONE COMMUNITIES 6631 OLD DOMINION DRIVE MCLEAN, VIRGINIA 22101 703-883-3333

REVISIONS

RELEASED FOR CONSTRUCTION 01/21/03

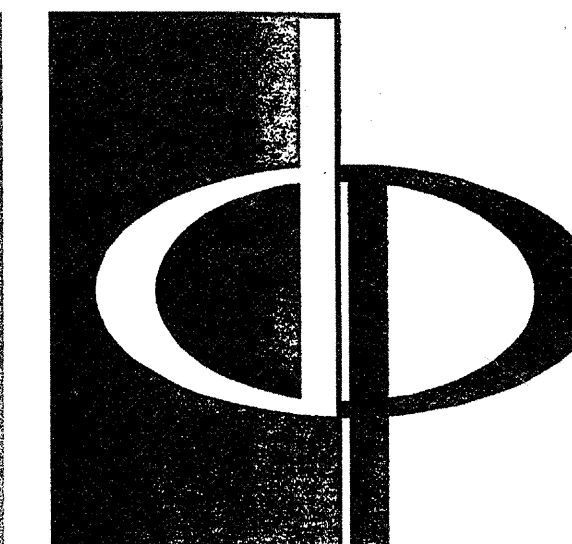
Table with columns for DATE and JOB NUMBER, showing a date change from 01/21/03 to 02/17/03.

Table with columns for DRAWN BY, CHECKED BY, and DRAWING TITLE, showing ML and SM as drafters and GENERAL NOTES as the title.

GENERAL NOTES

DRAWING NUMBER GN-01

COMMENTS



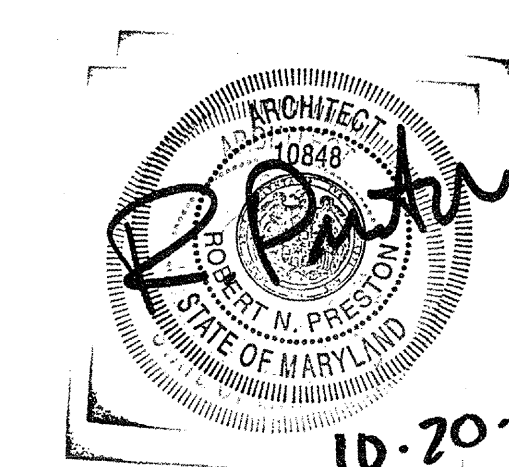
THE PRESTON PARTNERSHIP, LLC  
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PROJECT

ARCHSTONE  
KENTLANDS

949 QUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

FOR

ARCHSTONE  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3333

REVISIONS

RELEASED FOR CONSTRUCTION 01/18/03  
TOM POPOFF REVIEW COMMENTS 01/18/03

DATE

01/31/03

JOB NUMBER

0211702

DRAWN BY

ML

CHECKED BY

SM

DRAWING TITLE

GENERAL NOTES

DRAWING NUMBER

GN-02

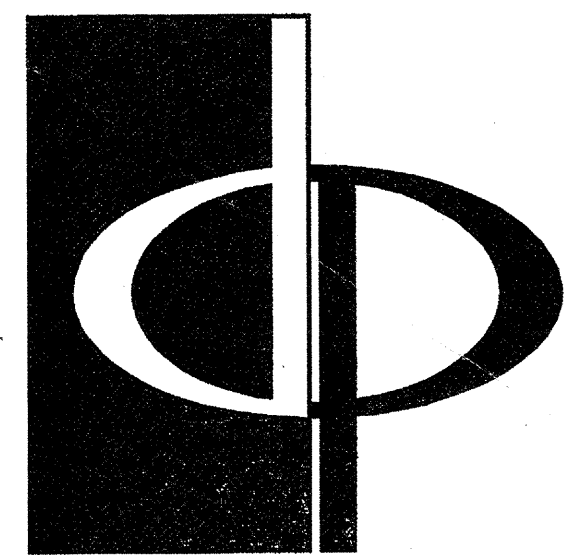
COMMENTS

### GENERAL NOTES

1. THE CONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY, SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ALL COSTS SUBMITTED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED. ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED, SHALL BE VERIFIED WITH THE OWNER OR ARCHITECT.
2. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE STATE & LOCAL CODES.
3. ALL SITE WORK AND LANDSCAPING SHALL BE ESTABLISHED AND DESIGNED BY OTHERS (THAN THE ARCHITECT).
4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF WORK, AND FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
5. ANY ERRORS, OMISSIONS OR INCONSISTENCIES ON THESE DRAWINGS OR ANY VARIATIONS OR DISCREPANCIES BETWEEN THESE DRAWINGS AND ACTUAL SITE AND CONSTRUCTION CONDITIONS AND/OR REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
6. IN THE EVENT A DISCREPANCY IS FOUND IN THE CONTRACT DOCUMENTS, THE OWNER & ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
7. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
8. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT SITE AND BE RESPONSIBLE FOR ACCURACY AND CORRECTNESS OF SAME.
9. CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES, NOTIFY OWNER & ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
10. ALL WORK AND EQUIPMENT TO BE FULLY GUARANTEED FOR ONE (1) YEAR FROM THE DATE OF C.O. AND ACCEPTANCE FROM ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS.
11. STORE MATERIALS IN SPACES DESIGNATED BY OWNER.
12. REMOVE RUBBISH FROM PREMISES AS OFTEN AS NECESSARY OR AS DIRECTED.
13. ALL WORK AND EQUIPMENT SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER BEFORE TURNING SAME OVER TO OWNER.
14. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT AND/OR OWNER FOR APPROVAL PRIOR TO ORDERING AND INSTALLATION FOR ANY EQUIPMENT.
15. THE GENERAL BUILDING PERMIT(S) SHALL BE OBTAINED AND PAID FOR BY THE OWNER. IMPACT FEES SHALL ALSO BE PAID FOR BY THE OWNER. THE GENERAL CONTRACTOR SHALL SECURE THE GENERAL BUILDING PERMIT(S) FROM THE OWNER PRIOR TO CONSTRUCTION. THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL OTHER PERMITS, CERTIFICATES AND APPROVALS REQUIRED IN CONNECTION WITH ALL WORK UNDER THESE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, RULES & REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION.
16. THERE SHALL BE NO DEVIATION FROM DRAWINGS AND SPECIFICATIONS WITHOUT THE WRITTEN APPROVAL OF THE OWNER, ARCHITECT AND/OR ENGINEER.
17. THE CONTRACTOR SHALL EMPLOY, AS REQUIRED BY GOVERNING AUTHORITIES, AN APPROVED TESTING LABORATORY TO MAKE ALL TESTS FOR CONCRETE, SOIL COMPACTION AND YIELDING TO INSURE COMPLIANCE WITH PLANS, STANDARDS AND CODES. REFER TO CONC. SPEC. FOR FREQUENCY OF TESTING REQUIRED. COSTS SHALL BE INCLUDED IN THE CONTRACT.
18. DRYWALL INSTALLATION SHALL BE IN CONFORMANCE WITH THE GYPSUM ASSOCIATION'S RECOMMENDED PRACTICES FOR THICKNESS, NAILING, TAPING AND STUD BRACING, UNLESS NOTED OTHERWISE.
19. ALL LUMBER SHALL BE GRADE MARKED.
20. REFER TO ELEC. AND LANDSCAPE DRAWINGS FOR EXTERIOR BUILDING LIGHTING.
21. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR LOCATION OF SIDEWALKS AND DETAILS.
22. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR SITE DETAILS.
23. REFER TO CIVIL DRAWINGS FOR DIMENSIONAL CONTROL PLAN AND GRADING.
24. REFER TO CIVIL DRAWINGS FOR FIRE HYDRANT LOCATIONS.
25. REFER TO ELEC. AND LANDSCAPE DRAWINGS FOR TRANSFORMER LOCATIONS (TO BE VERIFIED WITH LOCAL UTILITY SERVICE).
26. REFER TO CIVIL DRAWINGS FOR CURB CUTS.
27. OSB, IS AN ACCEPTABLE SUBSTITUTE FOR PLYWOOD.

### REVISION #10 SUMMARY

A UNIT TYPE ALL UPDATED



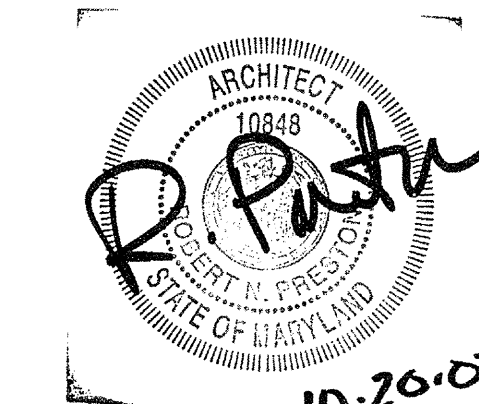
THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

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ATLANTA, GEORGIA 30328  
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CONSULTANT

SEAL



PROJECT

ARCHSTONE  
KENTLANDS  
342 QUINCE ORCHARD ROAD  
GAITHERSBURG, MARYLAND

FOR

**ARCHSTONE**  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS

RELEASED FOR CONSTRUCTION 07/18/03

DATE 07/18/03

JOB NUMBER 021108

DRAWN BY

CHECKED BY STM

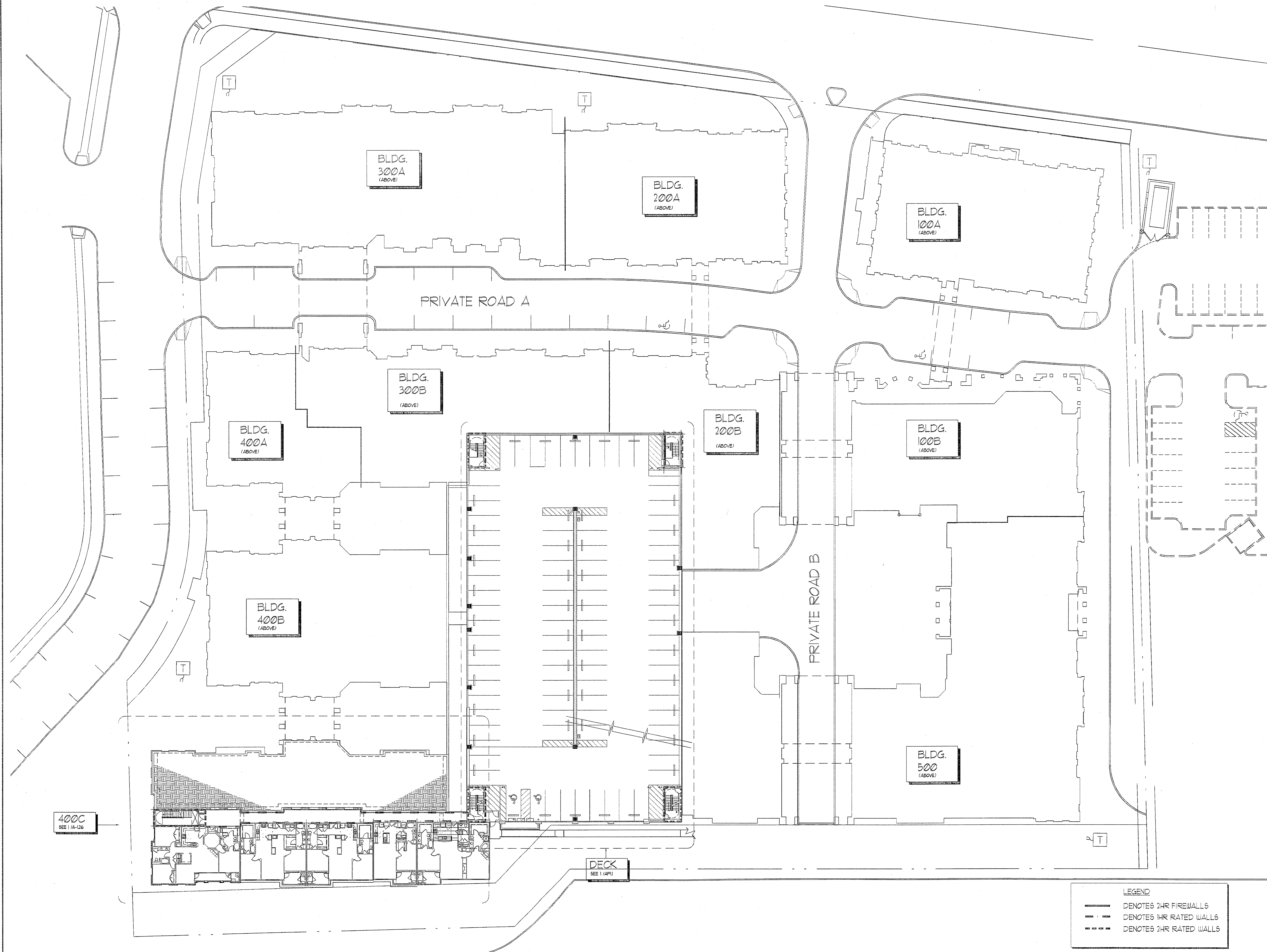
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PROJECT BASEMENT LEVEL

DRAWING NUMBER

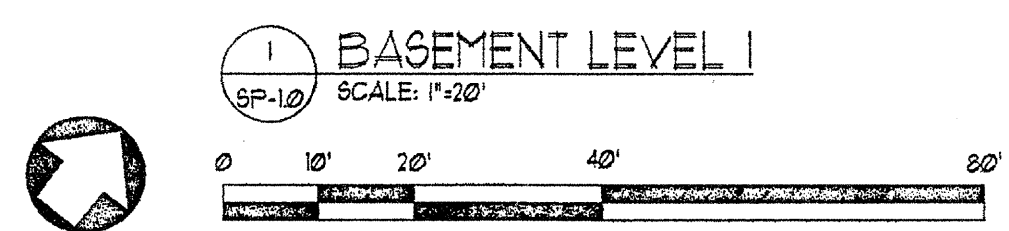
SP-1.0

COMMENTS



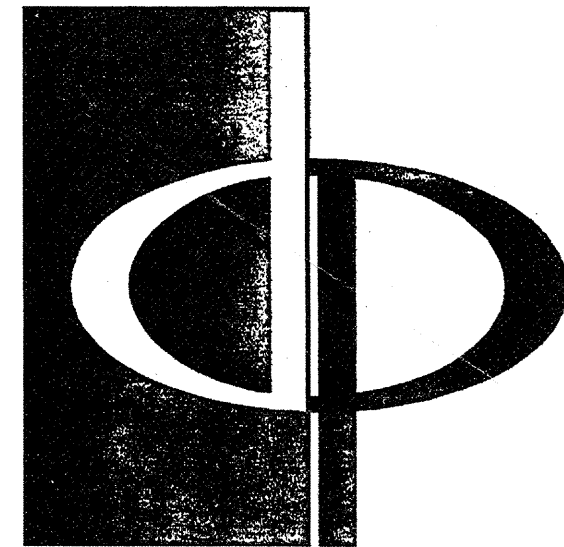
LEGEND

- DENOTES 2HR FIREWALLS
- - - DENOTES 1HR RATED WALLS
- - - DENOTES 2HR RATED WALLS



400C  
SEE 1/A-126

DECK  
SEE 1/APU



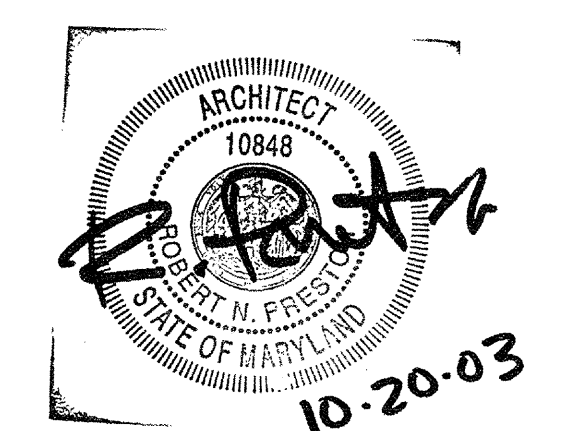
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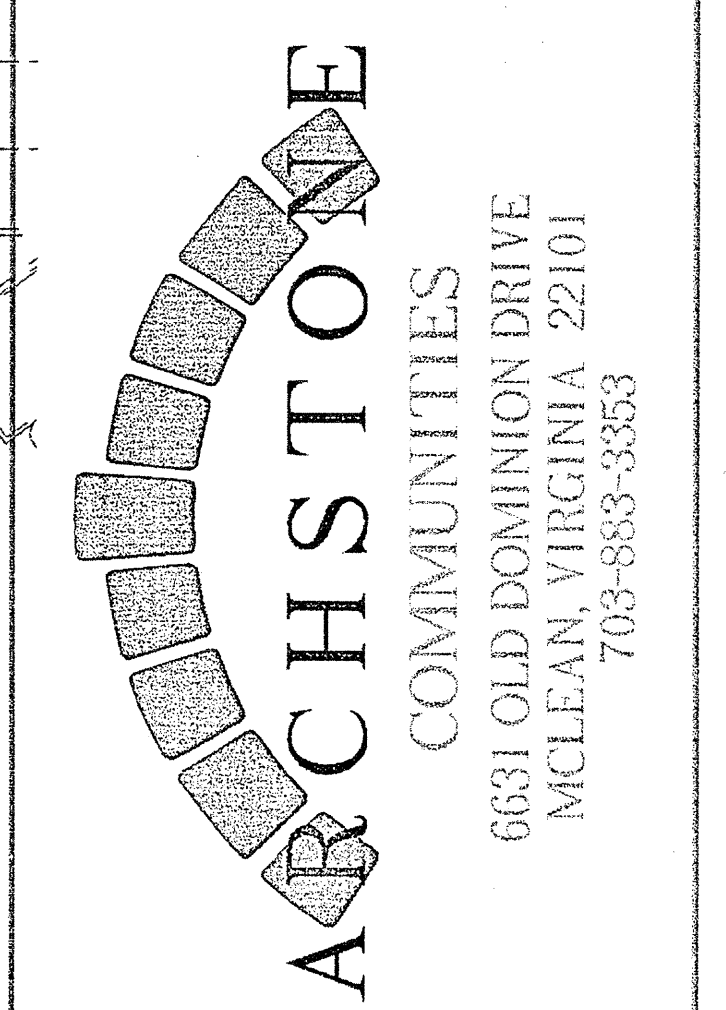
SEAL



PROJECT

ARCHSTONE  
KENTLANDS  
348 GUNCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

FOR



REVISIONS

RELEASED FOR CONSTRUCTION 01/18/03

DATE 01/11/03

JOB NUMBER 0211702

DRAWN BY

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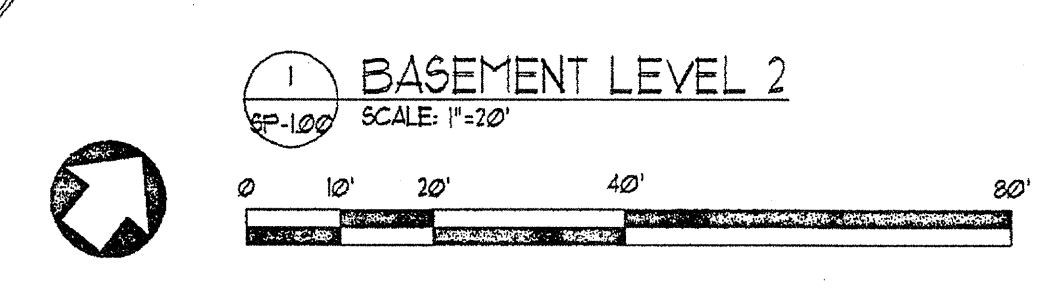
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PROJECT BASEMENT LVL.2

DRAWING NUMBER

SP-1.00

COMMENTS



1 BASEMENT LEVEL 2  
SCALE: 1"=30'

LEGEND	
	DENOTES 2HR FIREWALLS
	DENOTES 1HR RATED WALLS
	DENOTES 2HR RATED WALLS

DECK  
SEE 1/AMU

LOWEST LEVEL  
OF PARKING  
DECK

BLDG.  
400C  
(ABOVE)

BLDG.  
400B  
(ABOVE)

BLDG.  
400A  
(ABOVE)

BLDG.  
300B  
(ABOVE)

BLDG.  
300A  
(ABOVE)

BLDG.  
200A  
(ABOVE)

BLDG.  
200B  
(ABOVE)

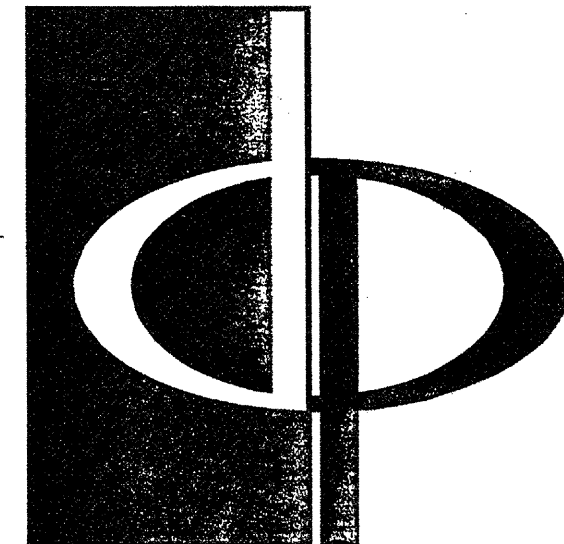
BLDG.  
100B  
(ABOVE)

BLDG.  
100A  
(ABOVE)

BLDG.  
500  
(ABOVE)

PRIVATE ROAD B

PRIVATE ROAD A



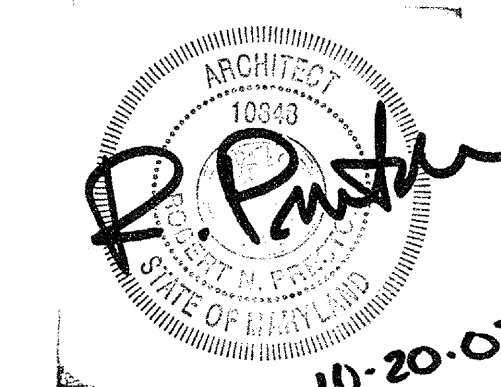
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ARCHSTONE  
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945 GUNGE ORCHARD ROAD  
GAITHERSBURG, MARYLAND

FOR

ARCHSTONE  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS

RELEASED FOR CONSTRUCTION 07/18/03

DATE 07/31/03

JOB NUMBER 02111028

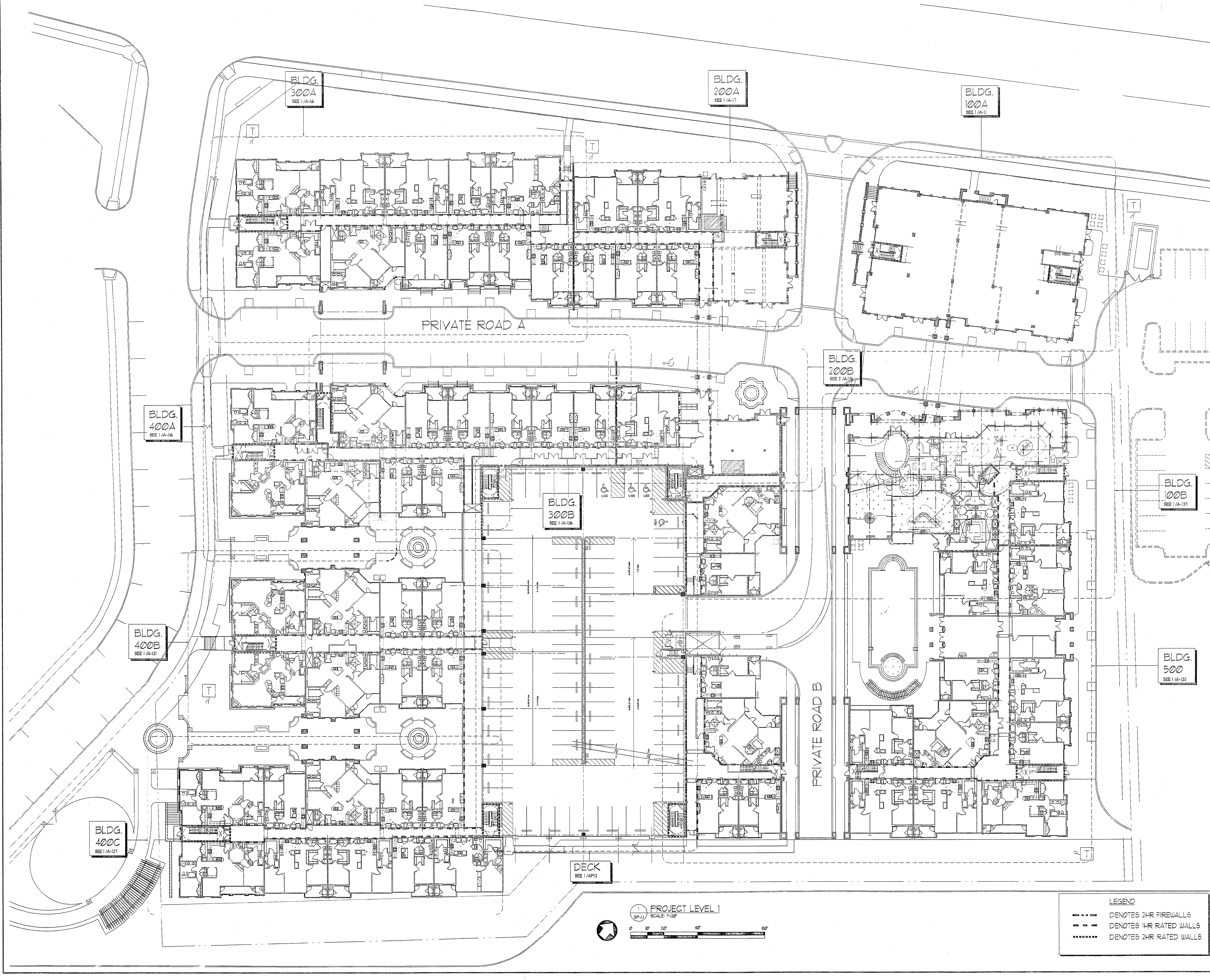
DRAWN BY

CHECKED BY GTM

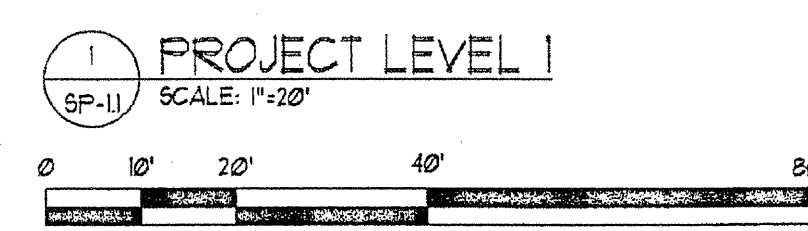
DRAWING TITLE PROJECT LEVEL 1

DRAWING NUMBER SP-11

COMMENTS

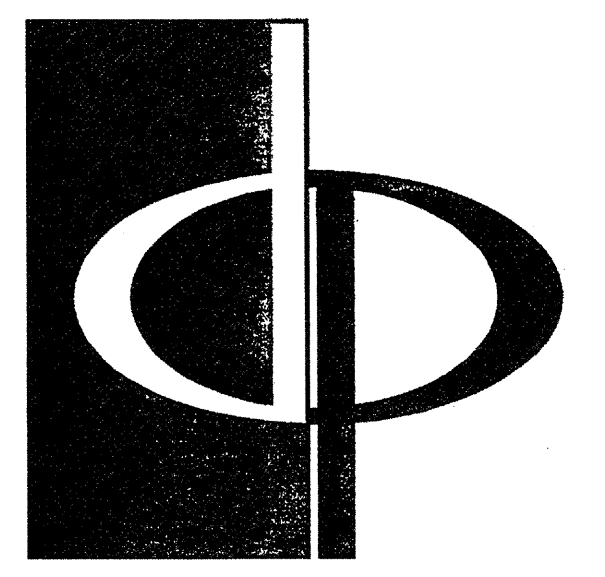


DECK  
SEE 1/A/P12



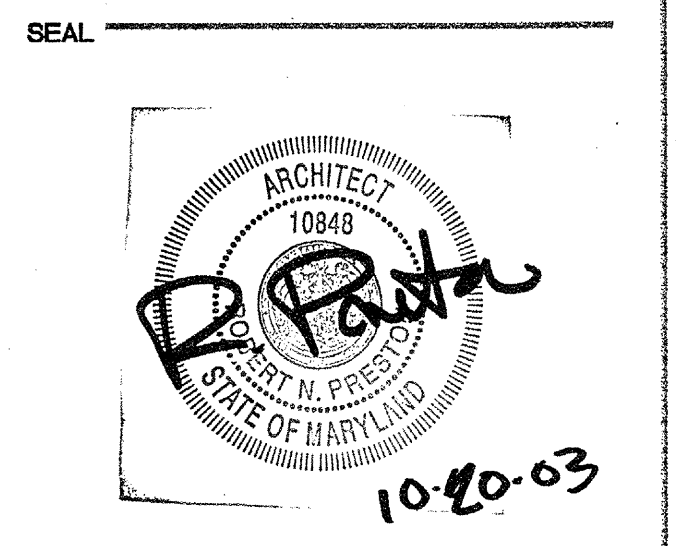
PROJECT LEVEL 1  
SCALE: 1/4"=1'-0"

LEGEND	
---	DENOTES 2HR FIREWALLS
- - -	DENOTES 1HR RATED WALLS
.....	DENOTES 2HR RATED WALLS

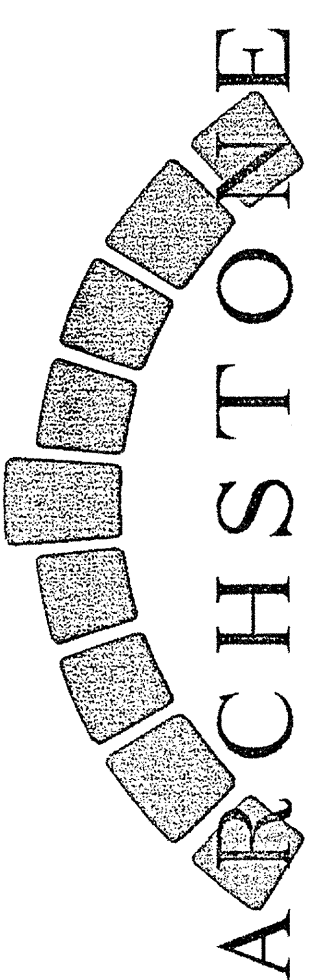


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CONSULTANT \_\_\_\_\_



PROJECT  
 ARCHSTONE  
 KENTLANDS  
 945 QUINCE ORCHARD ROAD  
 GAITHERSBURG, MARYLAND

FOR  
  
 COMMUNITIES  
 6631 OLD DOMINION DRIVE  
 MCLEAN, VIRGINIA 22101  
 703-883-3353

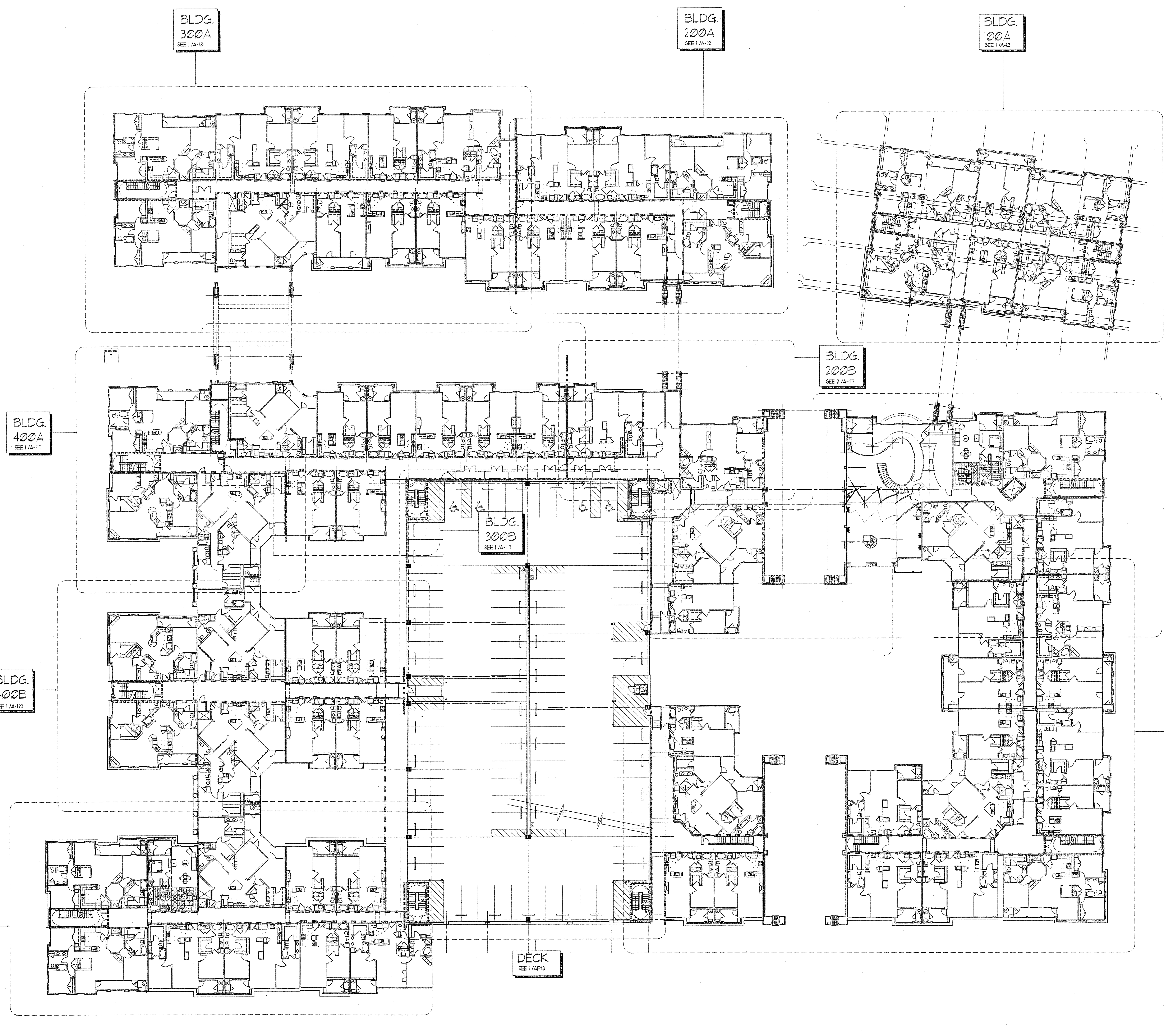
REVISIONS  
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NO.	DATE	DESCRIPTION

DATE \_\_\_\_\_  
 JOB NUMBER \_\_\_\_\_  
 DRAWN BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_  
 DRAWING TITLE \_\_\_\_\_

PROJECT  
 LEVEL 2  
 DRAWING NUMBER \_\_\_\_\_  
 COMMENTS \_\_\_\_\_

SP-12



BLDG.  
 400C  
 SEE 1/A-128

BLDG.  
 400B  
 SEE 1/A-122

BLDG.  
 400A  
 SEE 1/A-117

BLDG.  
 300A  
 SEE 1/A-18

BLDG.  
 200A  
 SEE 1/A-19

BLDG.  
 100A  
 SEE 1/A-12

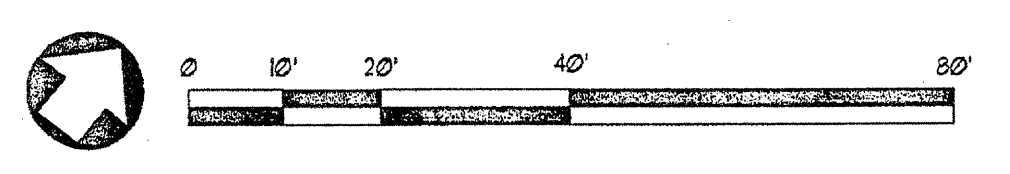
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 200B  
 SEE 2/A-117

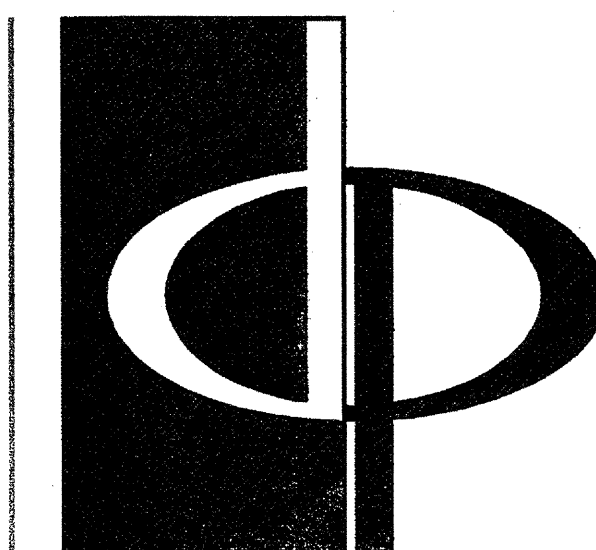
BLDG.  
 300B  
 SEE 1/A-117

BLDG.  
 100B  
 SEE 1/A-138

BLDG.  
 500  
 SEE 1/A-139

DECK  
 SEE 1/A-131





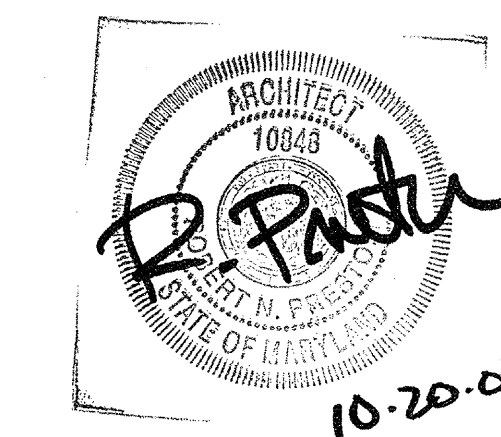
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SEAL



PROJECT

ARCHSTONE  
KENTLANDS  
343 QUINCE ORCHARD ROAD  
SAITHERSBURG, MARYLAND

FOR

**ARCHSTONE**  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3333

REVISIONS

RELEASED FOR CONSTRUCTION 07/18/03

DATE

01/31/03

JOB NUMBER

021708

DRAWN BY

CHECKED BY

STM

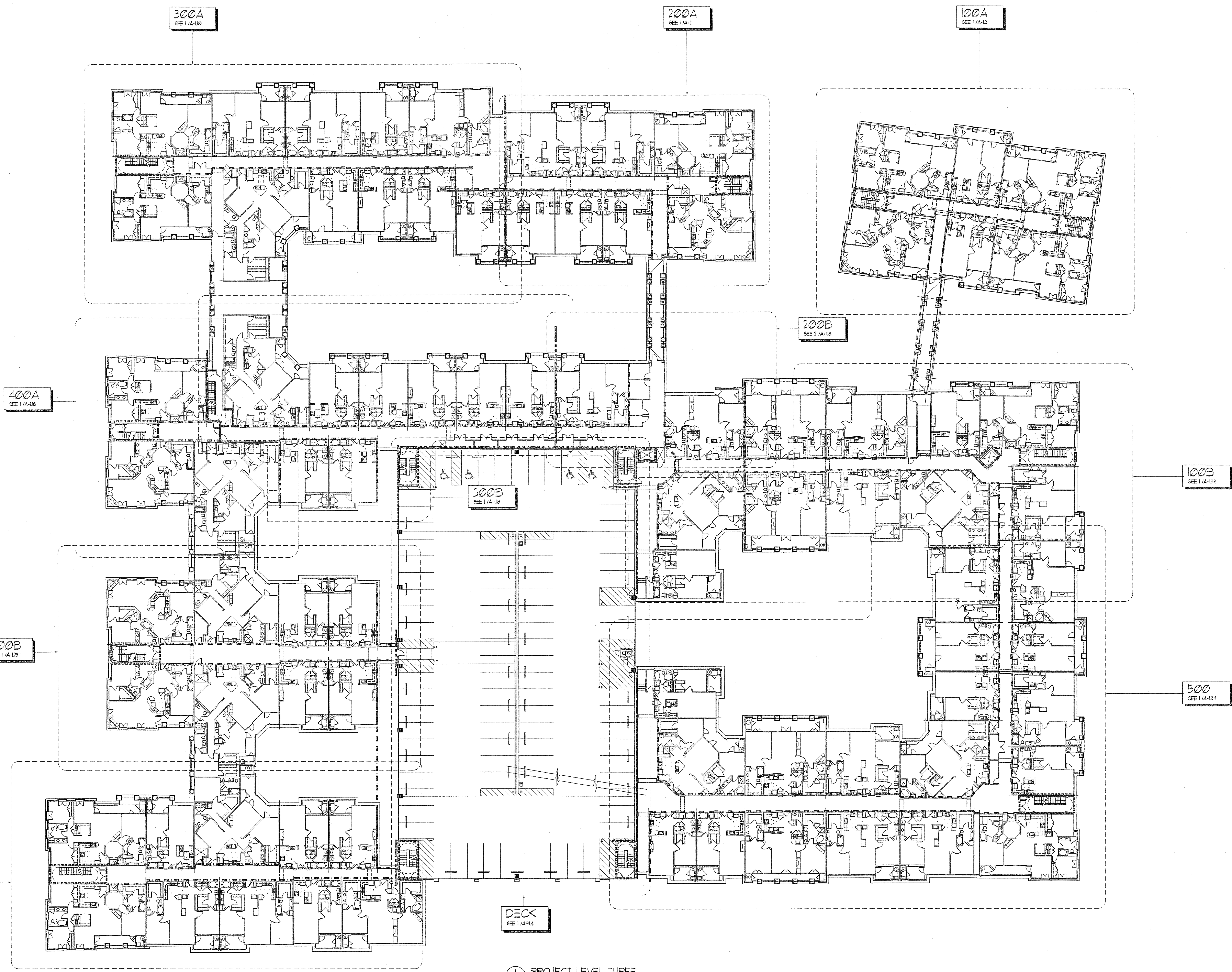
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PROJECT  
LEVEL 3

DRAWING NUMBER

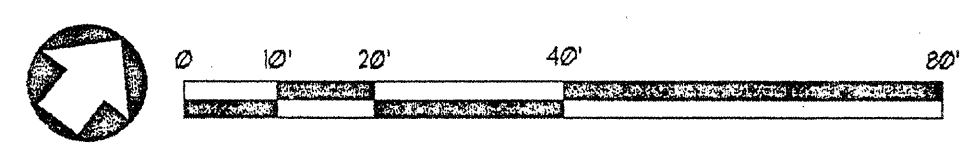
SP-13

COMMENTS



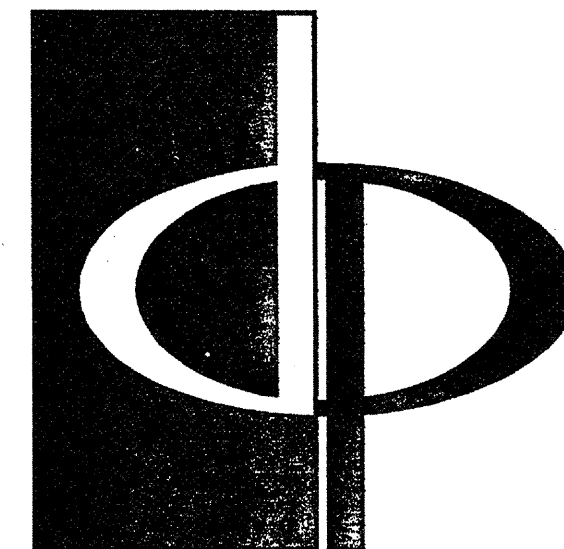
DECK  
SEE 1/A/P14

PROJECT LEVEL THREE  
SCALE: 1" = 20'-0"



LEGEND	
---	DENOTES 2HR FIREWALLS
- - -	DENOTES 1HR RATED WALLS
.....	DENOTES 2HR RATED WALLS





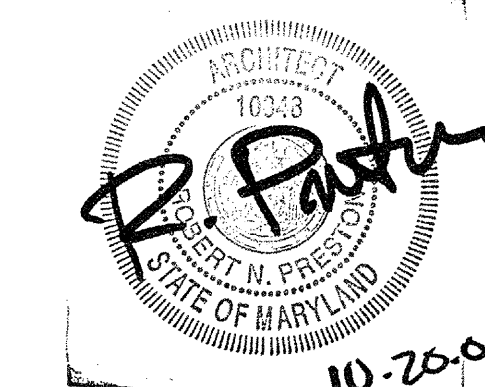
THE PRESTON PARTNERSHIP, LLC  
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PROJECT

ARCHSTONE  
KENTLANDS  
349 QUINCE ORCHARD ROAD  
GAITHERSBURG, MARYLAND

FOR

**ARCHSTONE**  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3333

REVISIONS

RELEASED FOR CONSTRUCTION 01/31/03

DATE 01/31/03

JOB NUMBER 0211702

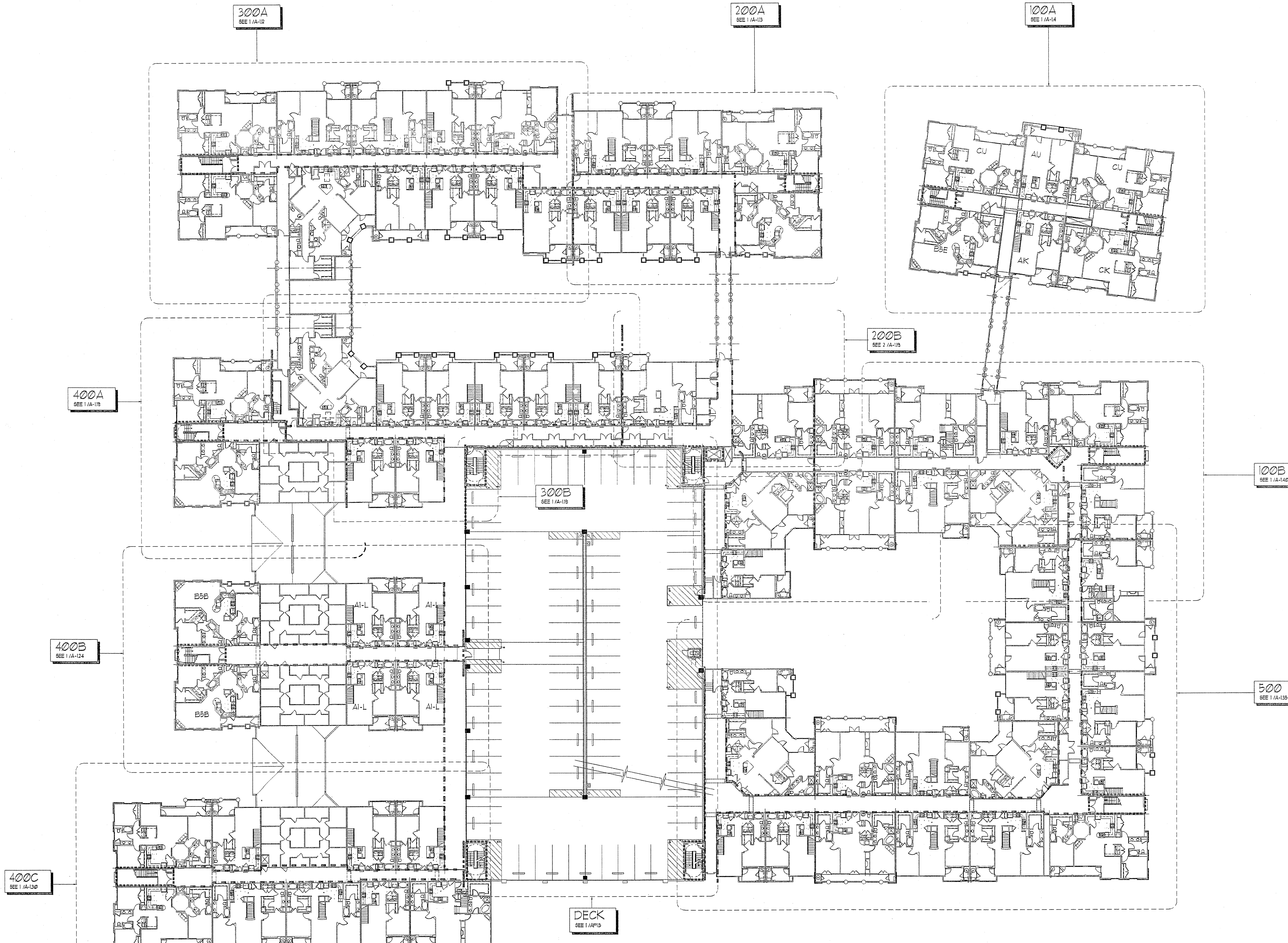
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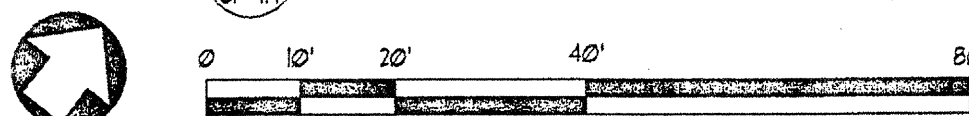
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DRAWING NUMBER SP-14

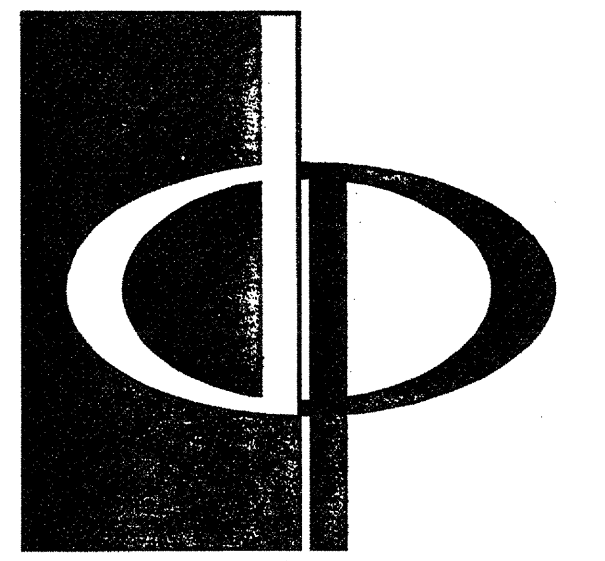
COMMENTS



1 PROJECT LEVEL 4  
SP-14  
SCALE 1/4"=1'-0"



**LEGEND**  
- - - - DENOTES 2HR FIREWALLS  
- · - · DENOTES 1HR RATED WALLS  
· · · · · DENOTES 2HR RATED WALLS



THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

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ATLANTA, GEORGIA 30328  
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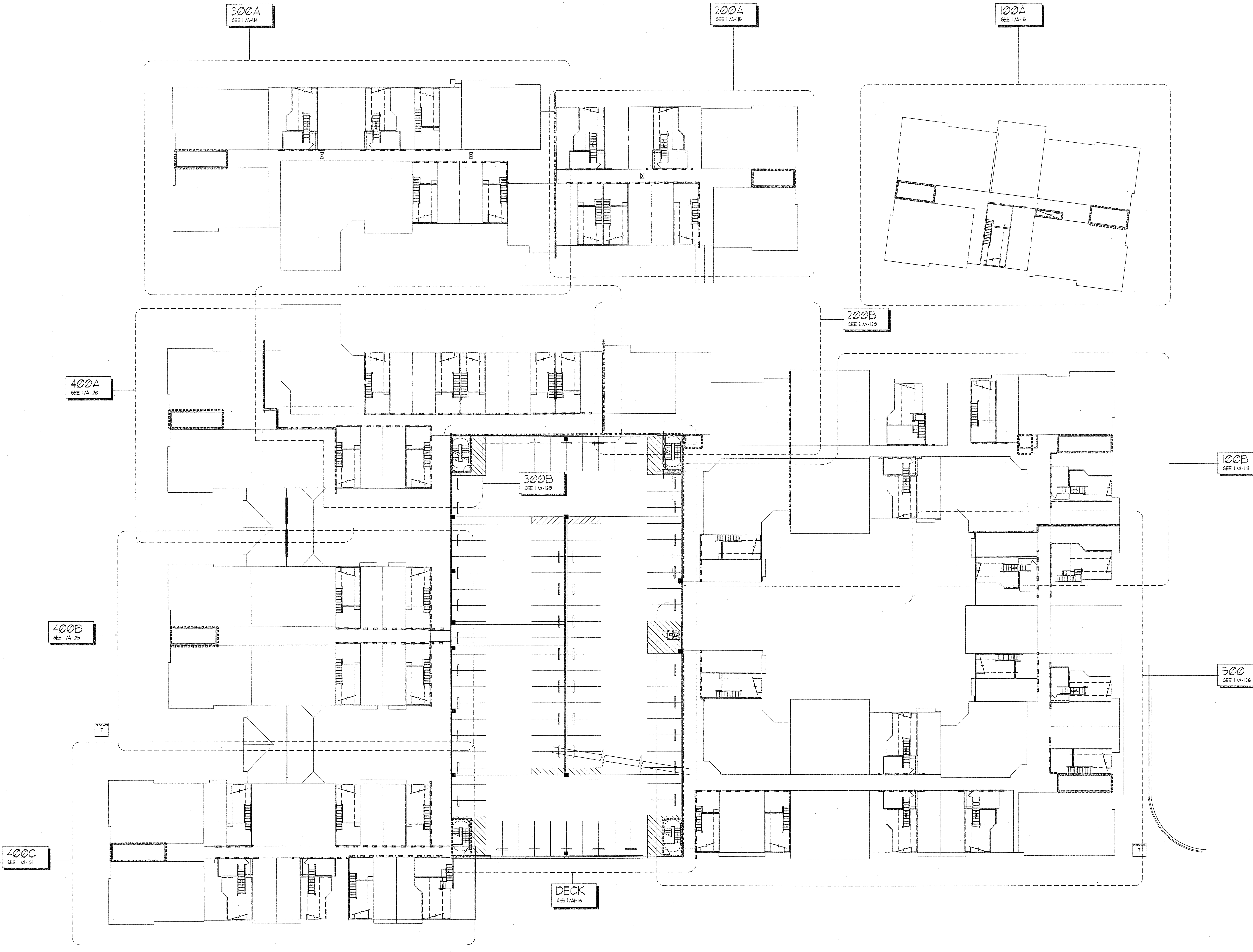
PROJECT  
ARCHSTONE  
KENTLANDS  
549 QUINCE ORCHARD ROAD  
GAITHERSBURG, MARYLAND

FOR

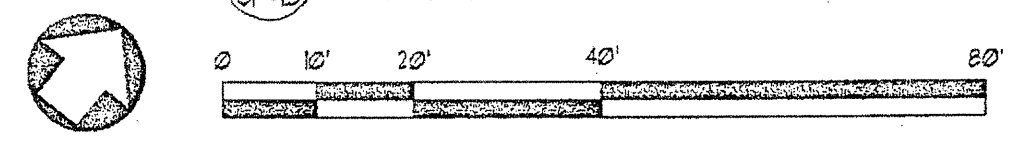
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COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS  
RELEASED FOR CONSTRUCTION 07/18/03

DATE	01/31/03
JOB NUMBER	021708
DRAWN BY	
CHECKED BY	STM
DRAWING TITLE	PROJECT LEVEL 5
DRAWING NUMBER	SP-15
COMMENTS	

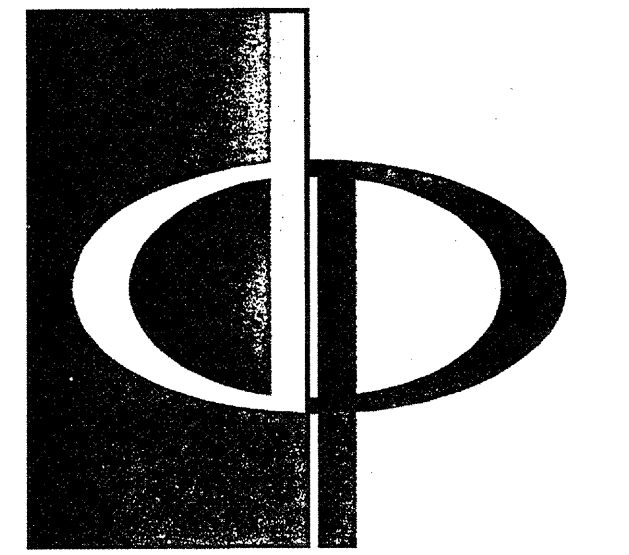


PROJECT LEVEL 5  
SCALE: 1/8" = 1'-0"



LEGEND

---	DENOTES 2-HR FIREWALLS
- - -	DENOTES 1-HR RATED WALLS
.....	DENOTES 2-HR RATED WALLS



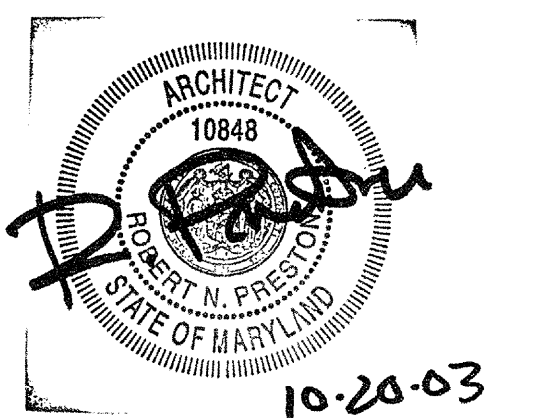
THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
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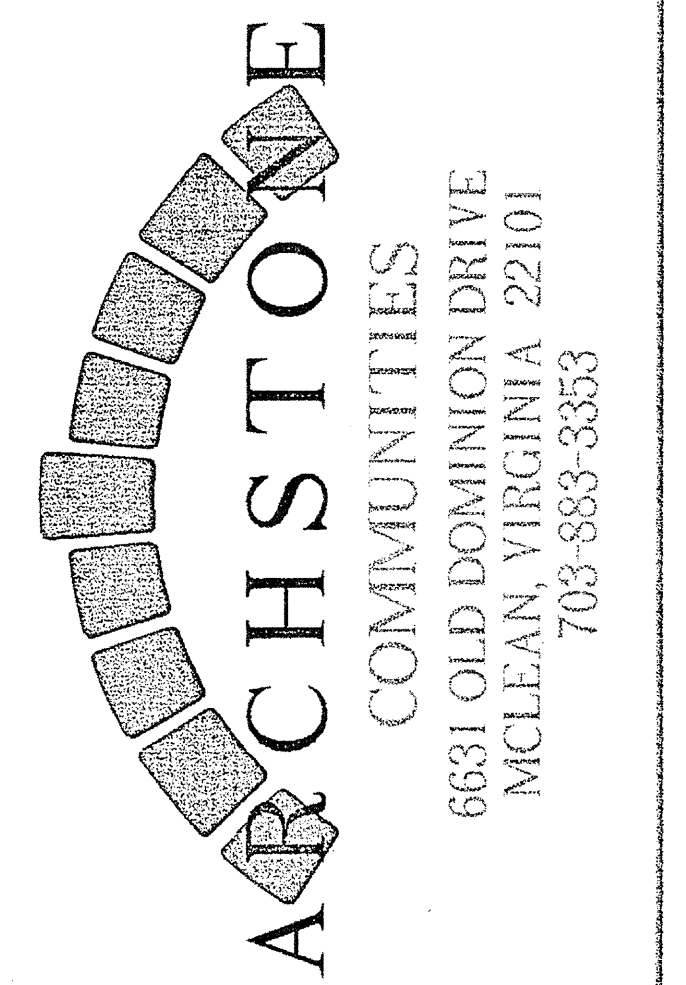
SEAL



PROJECT

ARCHSTONE  
KENTLANDS  
343 QUINCE ORCHARD ROAD  
GATHERERSBURG, MARYLAND

FOR



REVISIONS

RELEASED FOR CONSTRUCTION 07/18/03

DATE 07/31/03

JOB NUMBER 0211702

DRAWN BY

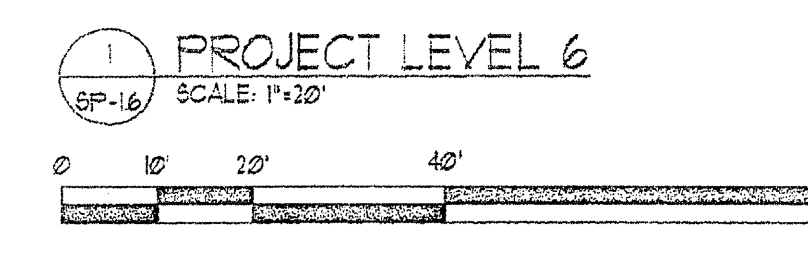
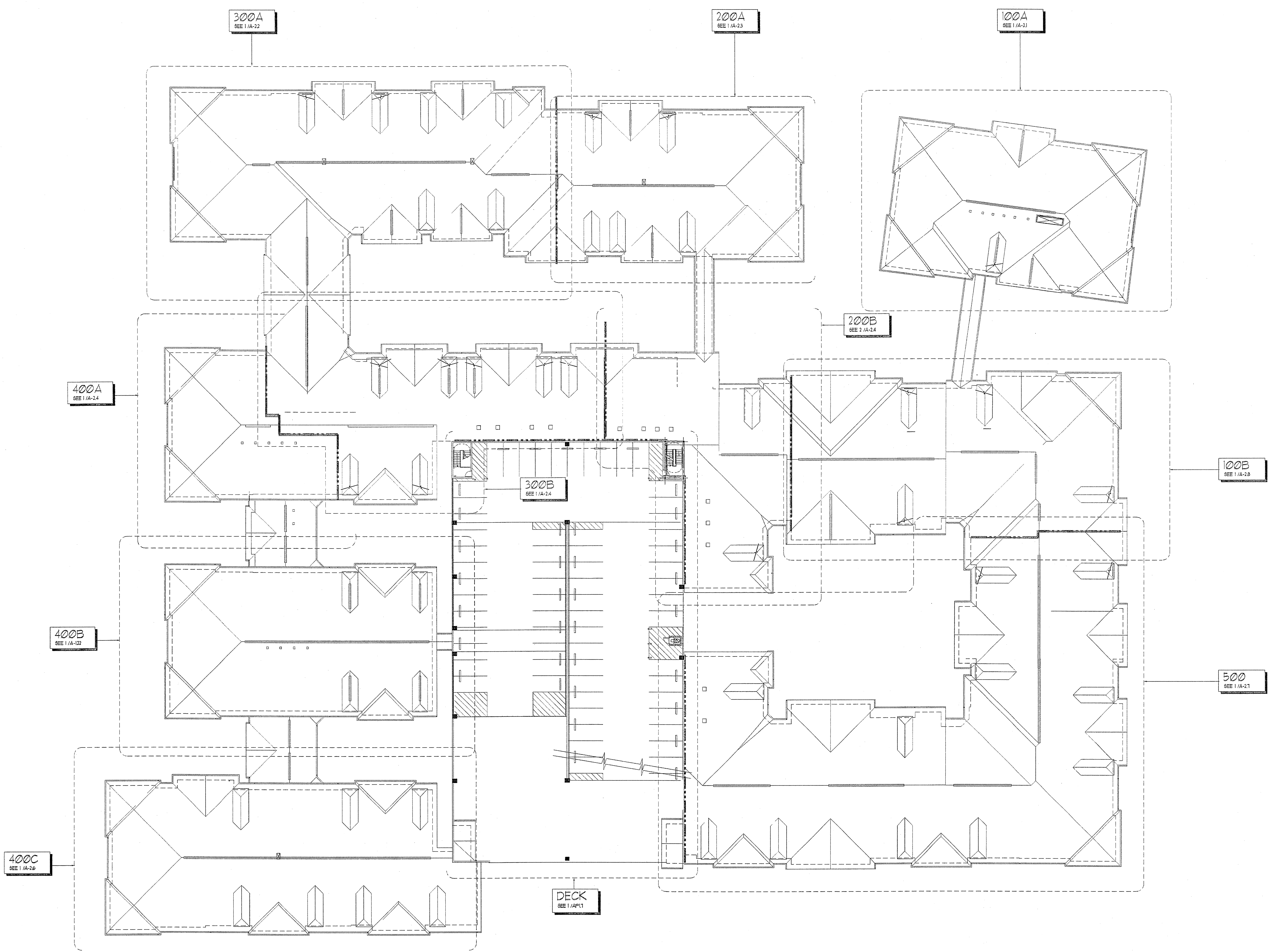
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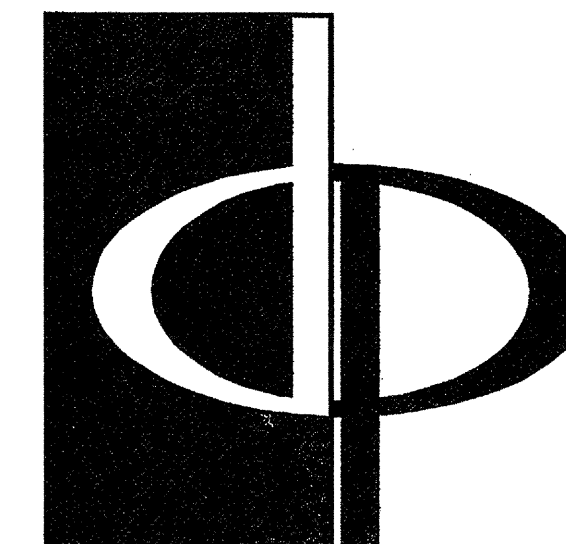
DRAWING TITLE PROJECT LEVEL 6

DRAWING NUMBER

SP-1.6

COMMENTS





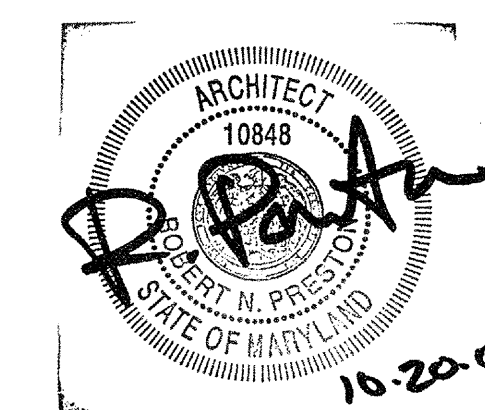
THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
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SEAL



PROJECT

ARCHSTONE  
KENTLANDS  
848 QUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

FOR

ARCHSTONE  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS

RELEASED FOR CONSTRUCTION 07/16/03

DATE 01/31/03

JOB NUMBER 021122

DRAWN BY STM

CHECKED BY STM

DRAWING TITLE BUILDING LINE LOCATIONS

DRAWING NUMBER CD-0

COMMENTS

KENTLANDS 211708 10/17/2003

FLOOR	BUILDING		TOTAL SF	OCCUPANT LOAD 200 SF/OCCUPANT
	100A	100B		
MEZZANINE	218	1,571		
4th	9,342	13,515	24,646	123
3rd	9,342	13,515	22,857	114
2nd	9,342	9,852	19,194	96
1st	8,953	8,353	17,311	87
<b>TOTAL SF</b>	<b>37,197</b>	<b>46,811</b>	<b>84,008</b>	

FLOOR	BUILDING		TOTAL SF	OCCUPANT LOAD 200 SF/OCCUPANT
	200A	200B		
MEZZANINE	1,108	218		
4th	9,375	7,203	17,908	90
3rd	9,375	7,203	16,583	83
2nd	9,375	7,203	16,583	83
1st	9,375	7,203	16,583	83
<b>TOTAL SF</b>	<b>38,608</b>	<b>29,050</b>	<b>67,658</b>	

FLOOR	BUILDING		TOTAL SF	OCCUPANT LOAD 200 SF/OCCUPANT
	300A	300B		
MEZZANINE	1,108	1,538		
4th	16,805	10,107	29,546	148
3rd	16,805	10,107	26,912	136
2nd	15,294	9,441	24,724	124
1st	15,294	9,441	24,724	124
<b>TOTAL SF</b>	<b>65,286</b>	<b>40,620</b>	<b>105,906</b>	

FLOOR	BUILDING			TOTAL SF	OCCUPANT LOAD 200 SF/OCCUPANT
	400A	400B	400C		
MEZZANINE		872	1,553		
4th	4,933	11,181	13,281	31,804	159
3rd	5,688	11,515	13,833	31,048	155
2nd	5,688	11,515	13,833	31,048	155
1st	5,211	10,725	13,532	29,468	147

NFPA 13 ARCHSTONE KENTLANDS 211708 10/17/2003

CONSTRUCTION TYPE 5A MAXIMUM FLOORS 3  
OCCUPANCY TYPE R2 MAX AREA/FLOOR Aa = 12,000

SPRINKLER SYSTEM 13

AREA INCREASE FORMULA

$$A_a = A_t + \frac{A_t * I_f}{100} + \frac{A_t * I_s}{100}$$

AREA INCREASE DUE TO FRONTAGE

$$I_f = 100 \left[ \frac{F}{P} - 0.25 \right] * \frac{W}{30}$$

I\_f = AREA INCREASE DUE TO FRONTAGE (PERCENT)  
F = BUILDING PERIMETER WHICH FRONTS ON A PUBLIC WAY OR OPEN SPACE HAVING 20 FEET OPEN MIN WIDTH  
P = PERIMETER OF ENTIRE BUILDING  
W = MINIMUM WIDTH OF PUBLIC WAY OR SPACE (W/30 SHALL NOT EXCEED 1.0)

AREA INCREASE DUE TO SPRINKLER SYSTEM

$$I_s = 200 \text{ FOR NFPA 13R SYSTEM}$$

BUILDING NUMBER	BUILDING #	FLRS	I_s	F	P	ACTUAL W
100	NORTH	4	200	141	141	28.00
	SOUTH	4	200	120	201	24.00
	EAST	4	200	380	380	30.00
	WEST	4	200	278	384	24.00

TOTAL F = 929  
TOTAL P = 1,086  
AVERAGE W = 27.13  
I\_f = 54.04  
A\_a = 42,484  
A\_a PER FLOOR = 31,883  
AREA PROPOSED = 24,646

BUILDING NUMBER	BUILDING #	FLRS	I_s	F	P	ACTUAL W
200	NORTH	4	200	142	142	30.00
	SOUTH	4	200	60	160	25.00
	EAST	4	200	235	353	27.00
	WEST	4	200	235	351	30.00

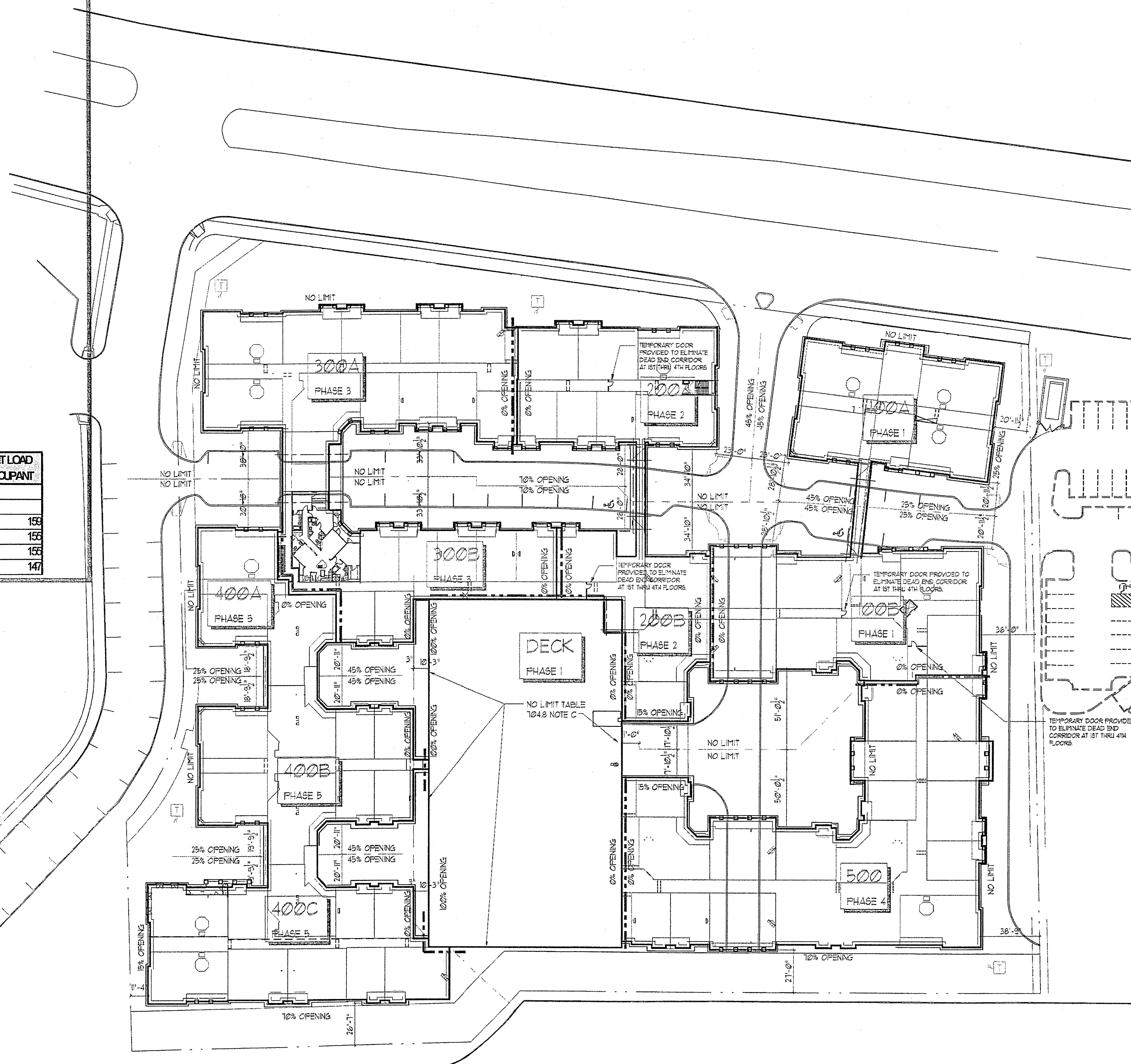
TOTAL F = 733  
TOTAL P = 1,026  
AVERAGE W = 28.38  
I\_f = 43.93  
A\_a = 41,272

BUILDING NUMBER	BUILDING #	FLRS	I_s	F	P	ACTUAL W
400	NORTH	4	200	52	52	30.00
	SOUTH	4	200	210	210	30.00
	EAST	4	200	324	587	30.00
	WEST	4	200	532	532	30.00

TOTAL F = 1,118  
TOTAL P = 1,381  
AVERAGE W = 30.00  
I\_f = 55.98  
A\_a = 42,715  
A\_a PER FLOOR = 32,036  
AREA PROPOSED = 31,804

BUILDING NUMBER	BUILDING #	FLRS	I_s	F	P	ACTUAL W
500	NORTH	4	200	344	424	30.00
	SOUTH	4	200	252	252	30.00
	EAST	4	200	208	208	30.00
	WEST	4	200	0	103	30.00

TOTAL F = 804  
TOTAL P = 987  
AVERAGE W = 30.00  
I\_f = 56.48  
A\_a = 42,775  
A\_a PER FLOOR = 32,081  
AREA PROPOSED = 28,420



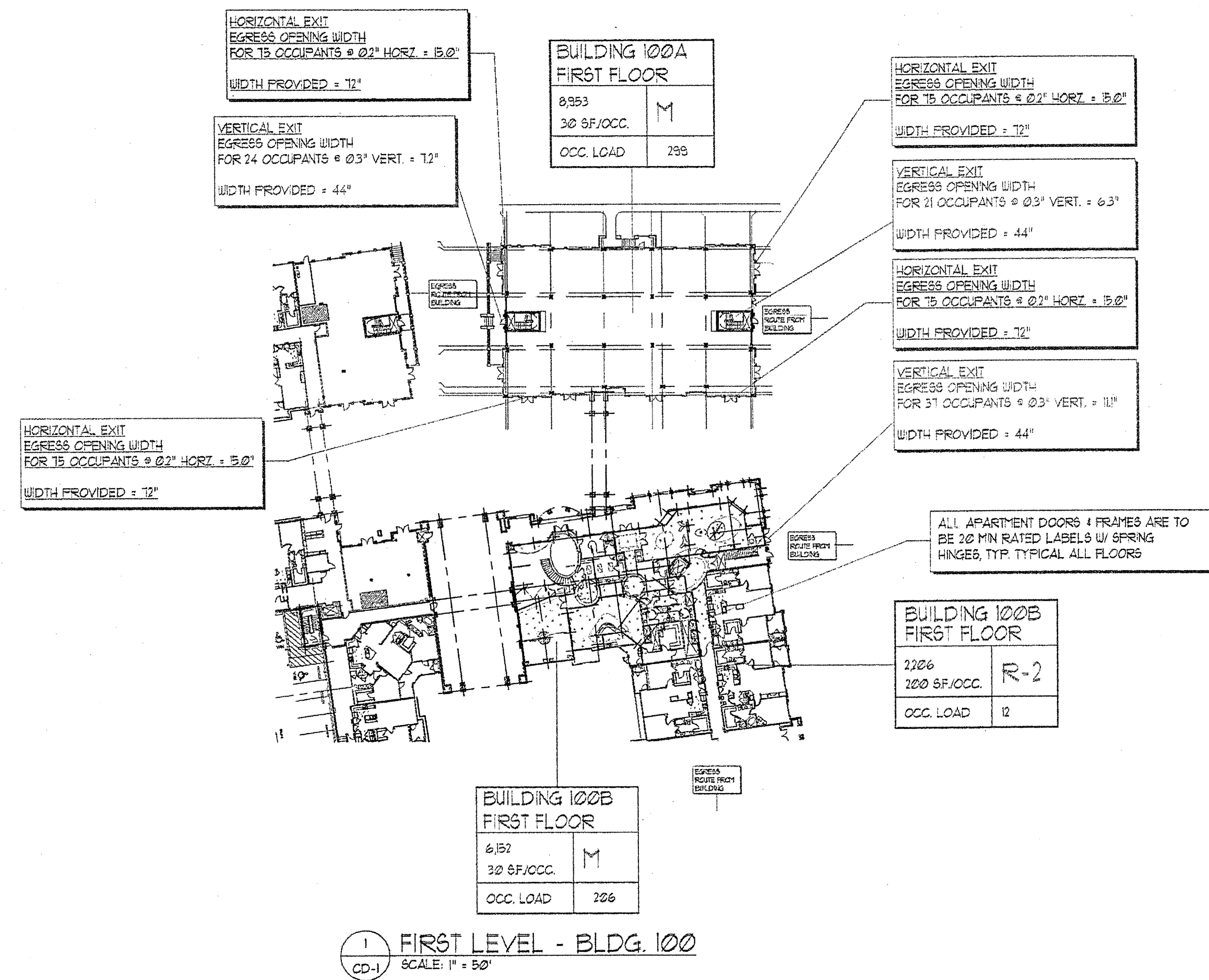
1 BUILDING LINE LOCATIONS AND PHASING PLAN  
SCALE: 1"=40'

TABLE 1043  
UNPROTECTED OPENINGS

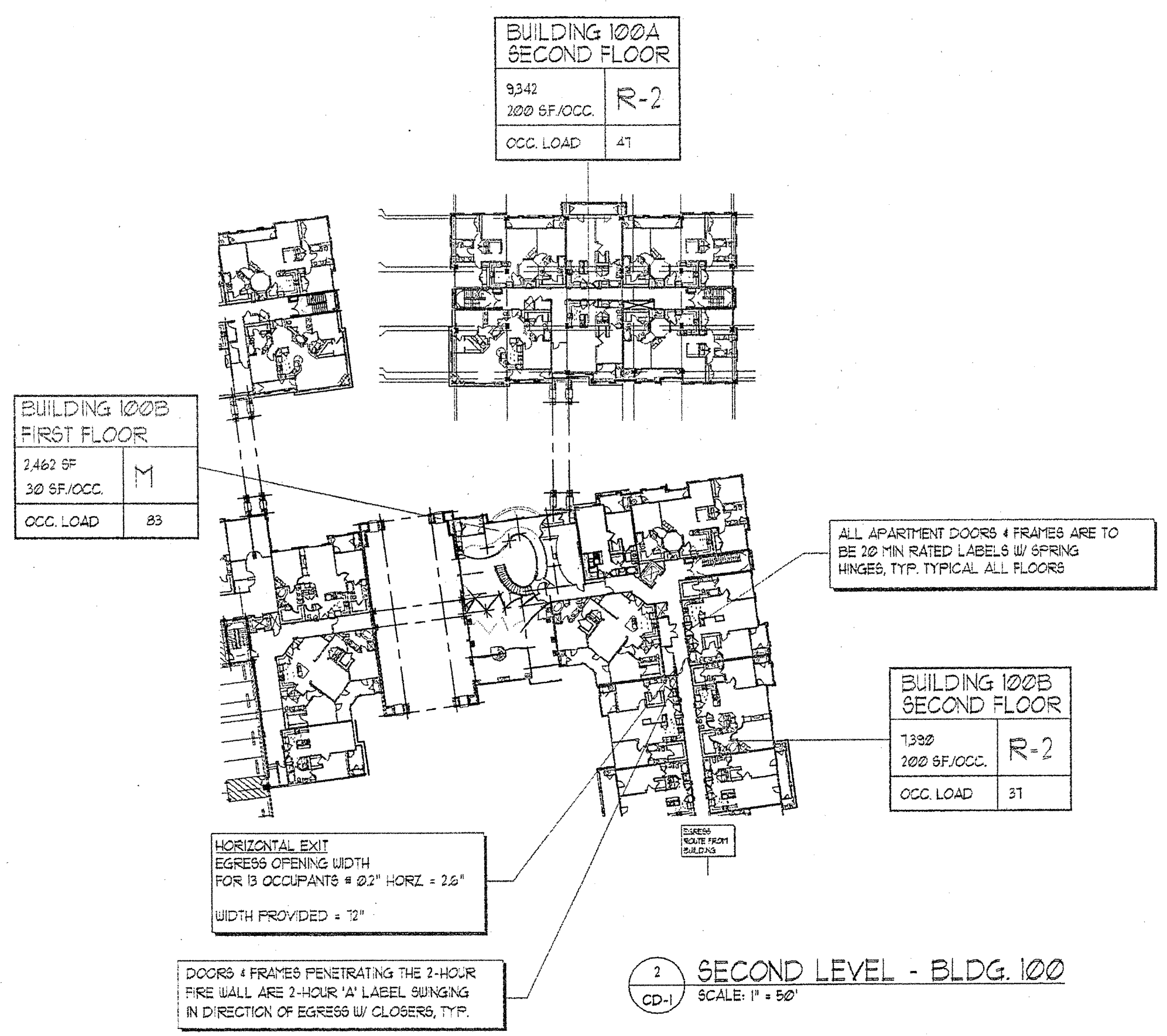
OPENING	NOT PERMITTED
0' TO 3'	NOT PERMITTED
3' TO 5'	NOT PERMITTED
5' TO 10'	15% MAX
10' TO 15'	5% MAX
15' TO 20'	25% MAX
20' TO 25'	45% MAX
25' TO 30'	75% MAX
GREATER THAN 30'	NO LIMIT

TABLE 602  
EXTERIOR WALL FIRE RESISTANCE

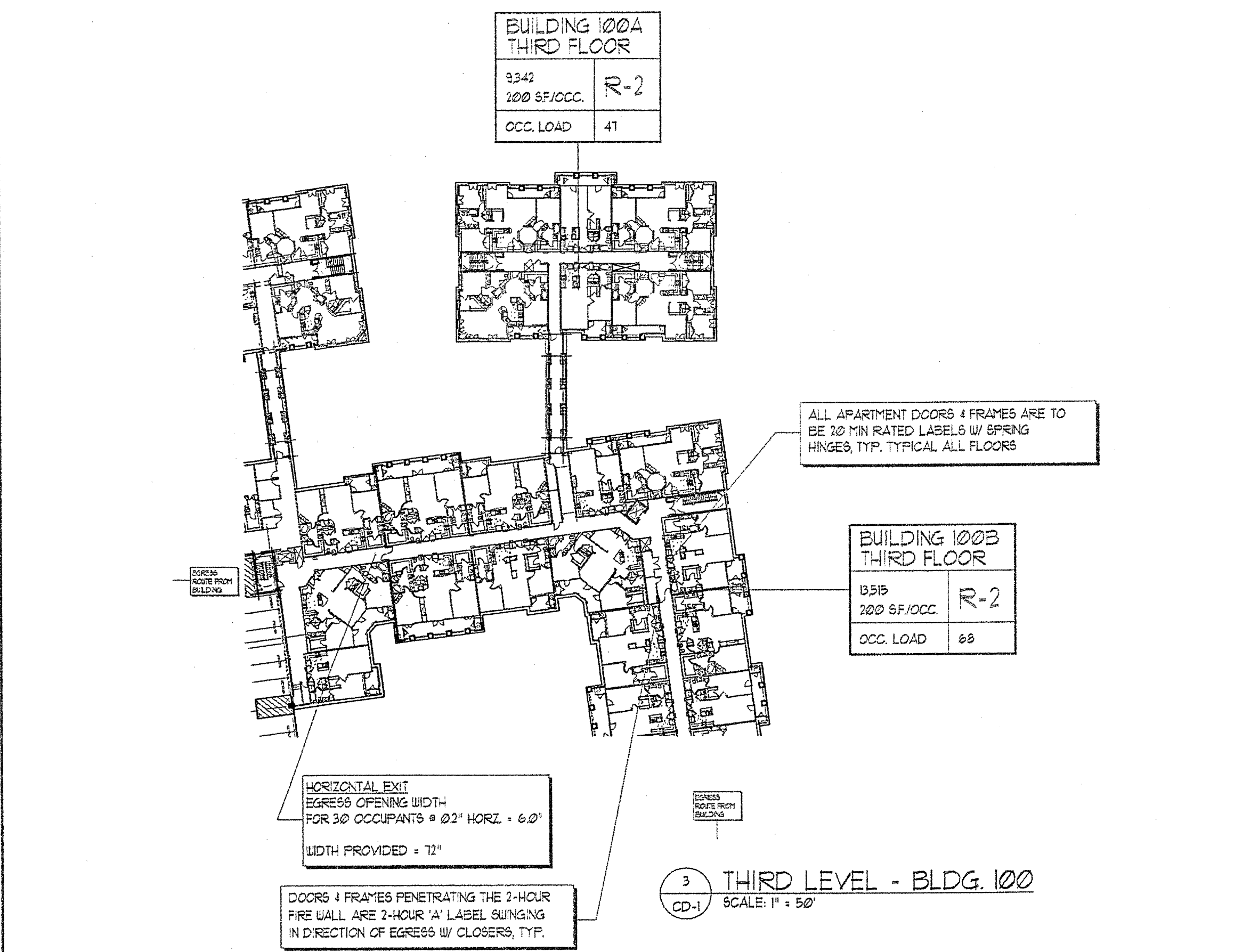
DISTANCE	CONSTRUCTION TYPE	WALL RATING
0' TO 5'	TYPE V PROTECTED	1 HOUR
5' TO 10'	SPRINKLERED	1 HOUR
10' TO 30'		1 HOUR
GREATER THAN 30'		2 HOUR



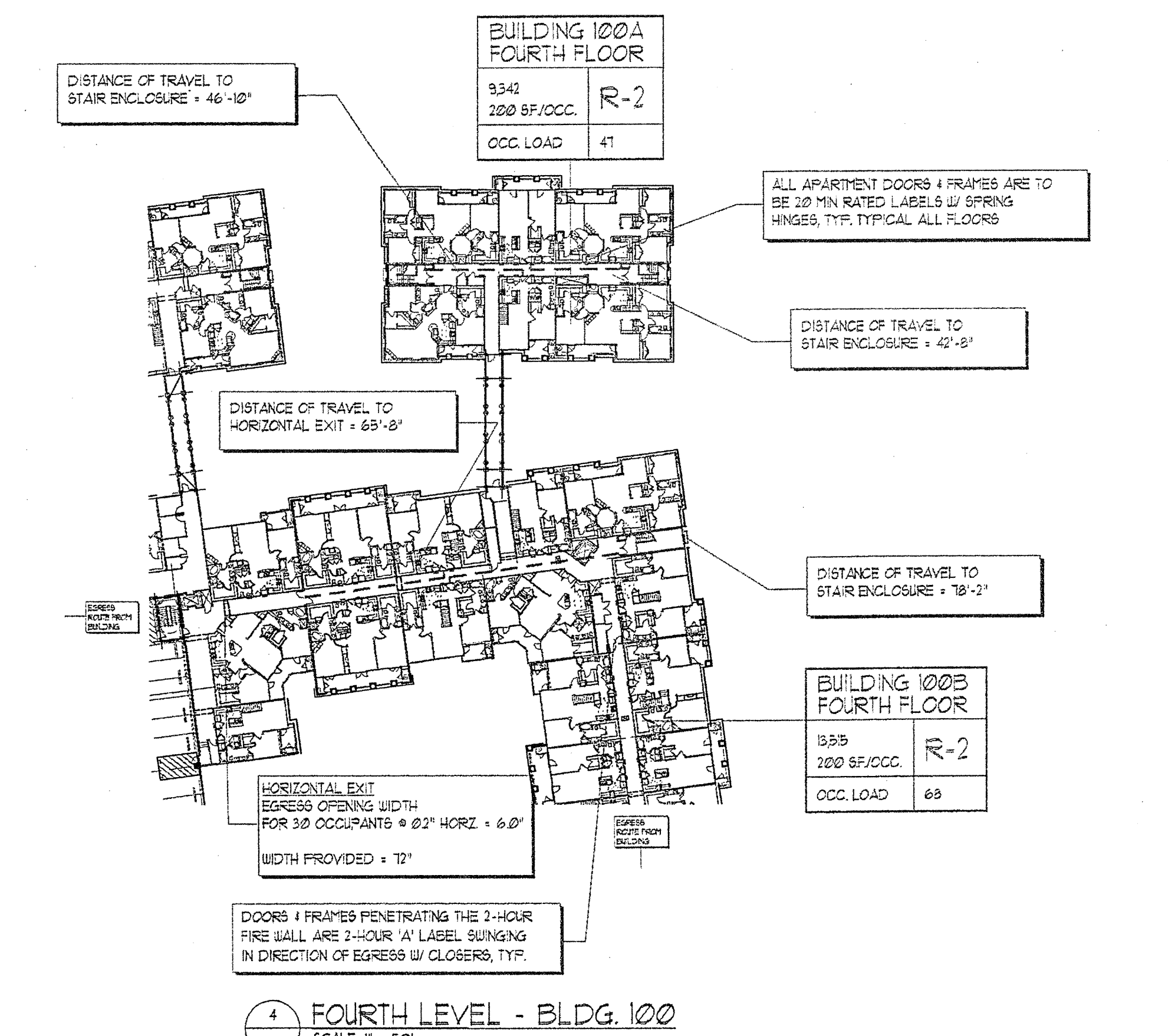
1 FIRST LEVEL - BLDG. 100  
CD-1 SCALE: 1" = 50'



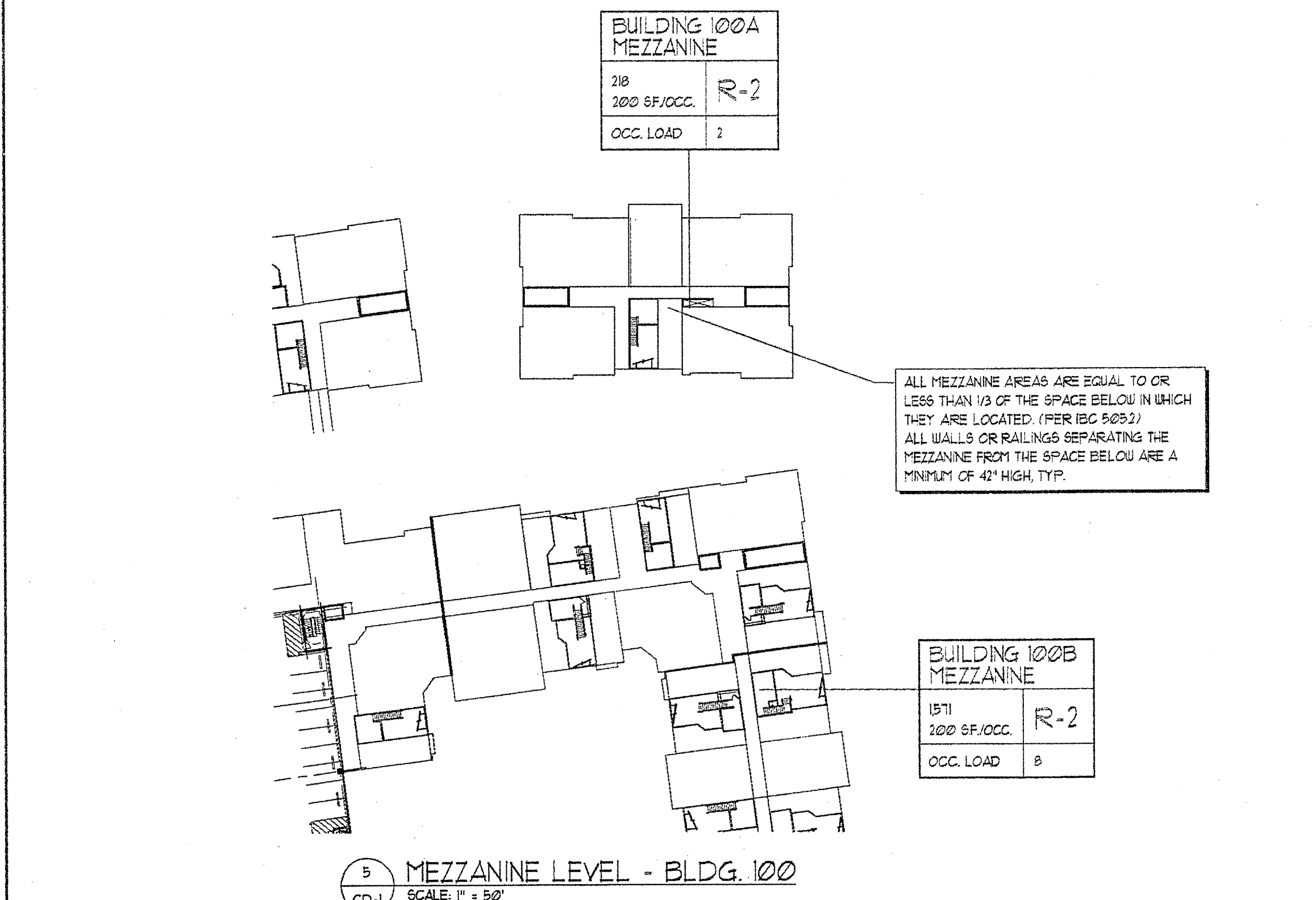
2 SECOND LEVEL - BLDG. 100  
CD-1 SCALE: 1" = 50'



3 THIRD LEVEL - BLDG. 100  
CD-1 SCALE: 1" = 50'

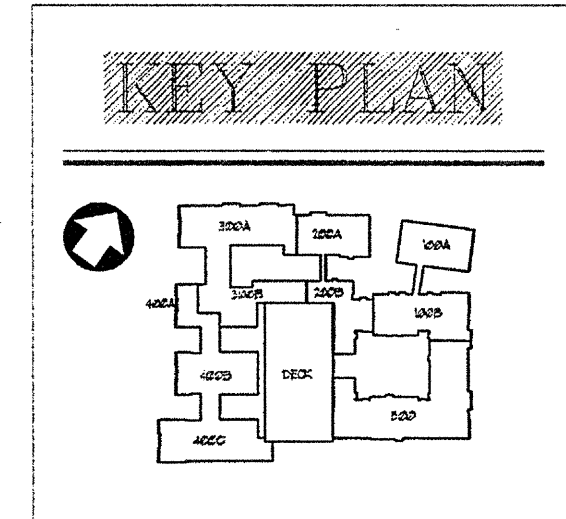
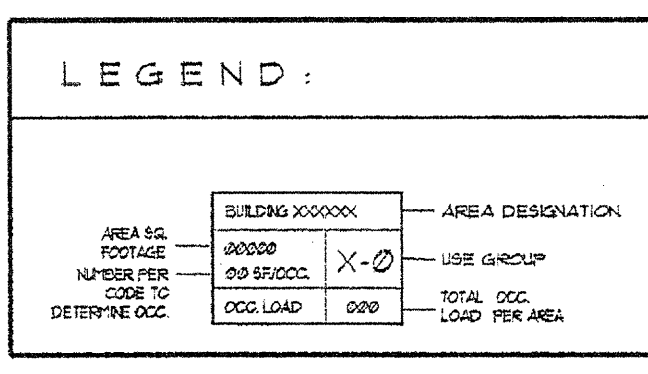


4 FOURTH LEVEL - BLDG. 100  
CD-1 SCALE: 1" = 50'



5 MEZZANINE LEVEL - BLDG. 100  
CD-1 SCALE: 1" = 50'

BUILDING CODE DATA:		
BUILDING IDENTIFICATION	BUILDING 100	
BUILDING OCCUPANCY CLASSIFICATION (IBC 310.1)	R-2 (APARTMENT HOUSES)	
AREA ALLOWED PER FLOOR (IBC TABLE 503)	SEE CD-0	
AREA PROVIDED PER FLOOR	SEE CD-0	
AREA OF UNITS	SEE CD-0	
COMMON AREA	SEE CD-0	
SF INCREASE ALLOWABLE BY AREA MODIFICATION (IBC 506.1)	$A_1 + A_2 \left( \frac{A_{12}}{A_{11}} \right) \left( \frac{A_{13}}{A_{11}} \right) + A_3 \left( \frac{A_{14}}{A_{11}} \right) \left( \frac{A_{15}}{A_{11}} \right) + A_4 \left( \frac{A_{16}}{A_{11}} \right) \left( \frac{A_{17}}{A_{11}} \right) + A_5 \left( \frac{A_{18}}{A_{11}} \right) \left( \frac{A_{19}}{A_{11}} \right)$	
TYPE OF CONSTRUCTION (IBC 602.5)	TYPE V - 1 HOUR PROTECTED, SPRINKLED	
BUILDING HEIGHT ALLOWANCE (IBC 504.2)	60' - 0"	
BUILDING HEIGHT PROVIDED	SEE A4 SERIES	
HIGH RISE CRITERIA INVOKED (IBC 403.1)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (BUILDING TOP FLOOR IS LESS THAN 75' ABOVE LOWEST LEVEL FOR FIRE TRUCKS)	
NUMBER OF STORIES ALLOWED (IBC 504.2)	4 STORIES	
NUMBER OF STORIES PROVIDED	4 STORIES AND MEZZANINE (IBC 505)	
FIRE RATING (IBC TABLE 601)	WALLS AND PARTITIONS	OPENING PROTECTIVES
FIRE WALLS (IBC TABLE 705.4)	2-HOUR	2-HOUR A DOOR
MIXED OCCUPANCY SEPARATION BUSINESS UNDER RESIDENTIAL (IBC TABLE 307.3.3)	1-HOUR	3/4 HOUR
INTERIOR BEARING WALLS	1-HOUR	-
EXTERIOR BEARING WALLS: LESS THAN 30' SEPARATION	1-HOUR	3/4-HOUR E DOOR
EXTERIOR BEARING WALLS: GREATER THAN 30' SEPARATION	UNPROTECTED	UNPROTECTED
CORRIDOR WALLS	1-HOUR	20 MIN DOOR & PARTS 3/4 HR. C-DOOR ELSEWHERE
EXTERIOR EXIT STAIRWAYS (IBC 1005.3.6.5)	2-HOUR	1 1/2-HOUR B DOOR
ELEVATOR SHAFT WALLS (IBC 1014)	2-HOUR	1 1/2-HOUR B DOOR
REFUSE CHUTE SHAFT WALL (IBC 1014)	2-HOUR	1 1/2-HOUR B DOOR
REFUSE CHUTE ACCESS & TERMINATION ROOM (IBC 1013.3)	1-HOUR	3/4-HOUR C DOOR
FLOOR/CEILING CONSTRUCTION	1-HOUR	-
ROOF/CEILING CONSTRUCTION	1-HOUR	-
STRUCTURAL BEAMS, GIRDERS, TRUSSES, & ARCHES	1-HOUR	-
STRUCTURAL COLUMNS	1-HOUR	-
FIREWALLS REQUIRED (IBC 705)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
TYPE OF CONSTRUCTION	<input type="checkbox"/> MASONRY <input type="checkbox"/> METAL <input type="checkbox"/> FT. WOOD <input checked="" type="checkbox"/> GYP BOARD	
PROJECTIONS REQUIRED (IBC 109.3.2 & 109.6)	EXTERIOR WALL: 0' ROOF: 0'	
STAIRS (IBC 1003.3.3)	<input type="checkbox"/> OPEN <input checked="" type="checkbox"/> ENCLOSED	
STAIR WIDTH (IBC 1003.3.3)	MIN. REQUIRED: 44" MIN. PROVIDED: 44"	
NUMBER OF FLOORS CONNECTED	4	
ELEVATOR LOBBIES REQUIRED (IBC 1014.1)	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	
FLOOR LOCATIONS	1, 2, 3, 4	
FIRE PROTECTION SYSTEM	<input checked="" type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R (INT'L FIRE CODE 903.3.1.1)	
SPRINKLER SYSTEM (IBC 903.2.8)	REQUIRED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO PROVIDED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
STAND PIPES REQUIRED (IBC 903.3)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (GREATER THAN 30' ABOVE FD VEHICLE ACCESS)	
(IBC 903.3, EXCEPTION 4)	TYPE: CLASS 1 <input checked="" type="checkbox"/> DRY <input type="checkbox"/> WET	
FIRE EXTINGUISHERS (NFPA 10 TABLE 3-2.1)	MAX. TRAVEL DISTANCE ALLOWED: 75'-0" TRAVEL DISTANCE PROVIDED: 10'-0"	
FIRE HAZARD CLASS (NFPA 10 1-5)	MAXIMUM AREA PER EXTINGUISHER: 1250 SF CLASS A, LIGHT (LOW HAZARD)	
SMOKE SEPARATION / DRAFTSTOPPING		
FLOOR CAVITY (IBC 116.3.2)	NOT REQUIRED (EXCEPTION 1)	
ATTIC AREA (IBC 116.4.2)	NOT REQUIRED (EXCEPTION 2)	
MEANS OF EGRESS		
EXITS REQUIRED (IBC TABLE 1005.2.1)	PER BUILDING: 2 MINIMUM WITHIN ALLOWED DISTANCE OF TRAVEL PER FLOOR: 2 MINIMUM WITHIN ALLOWED DISTANCE OF TRAVEL	
ROOM WITH MORE THAN 50 OCCUPANTS (IBC TABLE 1004.2.1)	2 EXITS	
COMMON PATH OF TRAVEL (IBC 1004.2.5)	75 FT. MAXIMUM	
INTERIOR UNIT TRAVEL DISTANCE (NFPA 101 302.6.1)	MAXIMUM ALLOWED: 05 FT	
EXTERIOR UNIT TRAVEL DISTANCE (NFPA 101 302.6.2)	MAXIMUM ALLOWED: 200 FT MAXIMUM PROVIDED: SEE PLANS	
DEAD END CORRIDOR (IBC 1004.3.2.3)	MAXIMUM DIST. ALLOWED: 20 FT MAXIMUM DIST. PROVIDED: 20 FT	
UNITS OF EGRESS (NFPA 101 TABLE 13.3.1)	REQUIRED: 2" PER PERSON (HORIZ) - 3" PER PERSON (VERT) PROVIDED: (SEE BASEMENT AND FIRST LEVEL PLANS)	
ROOF ACCESS (IBC 1009.3.3.1)	<input type="checkbox"/> STAIR <input type="checkbox"/> LADDER <input type="checkbox"/> STAIR TOWER <input checked="" type="checkbox"/> N/A	
OPENING PROTECTION REQUIRED (IBC TABLE 104.8)	ASSUMED PROPERTY LINE LESS THAN 15' <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO ADJACENT STRUCT GREATER THAN 30' <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	



**THE PRESTON PARTNERSHIP, LLC**  
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CONSULTANT

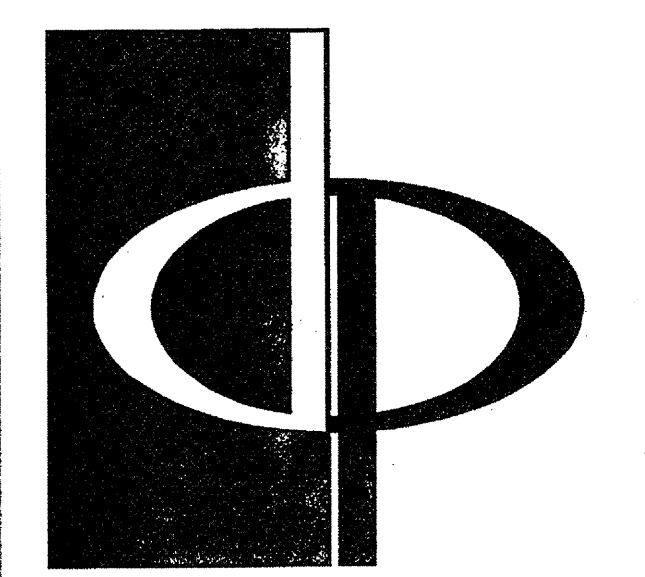
PROJECT: ARCHSTONE KENTLANDS  
548 QUINCE ORCHARD ROAD  
GATHERERSBURG, MARYLAND

FOR: ARCHSTONE COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3333

REVISIONS:  
RELEASED FOR CONSTRUCTION 01/31/03

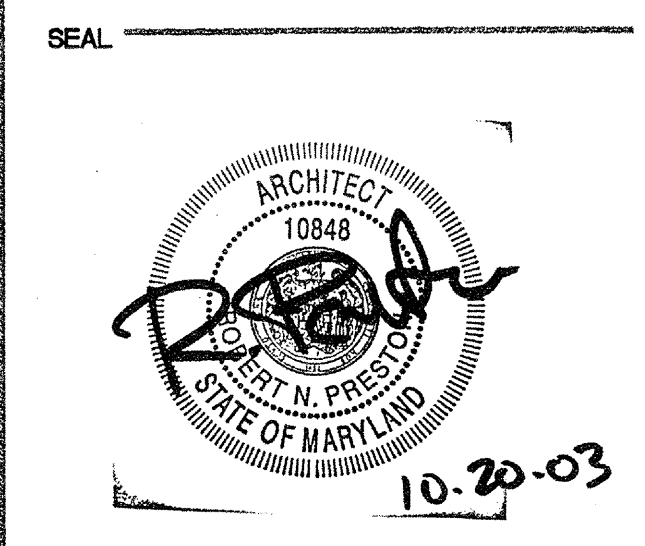
DATE: 01/31/03  
JOB NUMBER: 021102  
DRAWN BY: STM  
CHECKED BY: STM  
DRAWING TITLE: BUILDING 100 CODE DATA  
DRAWING NUMBER: CD-1

BUILDING CODE DATA:	
BUILDING IDENTIFICATION	BUILDING 300
BUILDING OCCUPANCY CLASSIFICATION (IBC 310.1)	R-2 (APARTMENT HOUSES)
AREA ALLOWED PER FLOOR (IBC TABLE 503)	SEE CD-3
AREA PROVIDED PER FLOOR	SEE CD-3
AREA OF UNITS	SEE CD-3
COMMON AREA	SEE CD-3
SP INCREASE ALLOWABLE BY AREA MODIFICATION (IBC 506.1)	$A_1 + A_2 \cdot \left(\frac{A_1}{100}\right) \cdot \left(\frac{A_2}{100}\right) \cdot \left(\frac{A_3}{100}\right) \cdot \left(\frac{A_4}{100}\right)$ $A_1 = 7,000 \cdot \left(\frac{1,000 \cdot 0.46}{100}\right) \cdot \left(\frac{1,000 \cdot 0.46}{100}\right)$
TYPE OF CONSTRUCTION (IBC 602.5)	TYPE V - 1-HOUR PROTECTED, SPRINKLED
BUILDING HEIGHT ALLOWANCE (IBC 604.2)	6'-0" - 0"
BUILDING HEIGHT PROVIDED	SEE A4 SERIES
HIGH RISE CRITERIA INVOKED (IBC 403.1)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (BUILDING TOP FLOOR IS LESS THAN 10' ABOVE LOWEST LEVEL FOR FIRE TRUCKS)
NUMBER OF STORES ALLOWED (IBC 504.2)	4 STORES
NUMBER OF STORES PROVIDED	4 STORES AND MEZZANINE (IBC 505)
FIRE RATINGS (IBC TABLE 601)	WALLS AND PARTITIONS
FIRE WALLS (IBC TABLE 703.4)	2-HOUR
MIXED OCCUPANCY SEPARATION BUSINESS UNDER RESIDENTIAL (IBC TABLE 303.3)	N/A
INTERIOR BEARING WALLS	1-HOUR
EXTERIOR BEARING WALLS: LESS THAN 30' SEPARATION	3/4-HOUR E DOOR
EXTERIOR BEARING WALLS: GREATER THAN 30' SEPARATION	UNPROTECTED
CORRIDOR WALLS	1-HOUR
EXTERIOR EXIT STAIRWAYS (IBC 1005.3.6.5)	2-HOUR
ELEVATOR SHAFT WALLS (IBC 101.4)	2-HOUR
REFUSE CHUTE SHAFT WALL (IBC 101.4)	2-HOUR
REFUSE CHUTE ACCESS & TERMINATION ROOM (IBC 1011.3)	1-HOUR
FLOOR/CEILING CONSTRUCTION	1-HOUR
ROOF/CEILING CONSTRUCTION	1-HOUR
STRUCTURAL BEAMS, GIRDERS, TRUSSES, & ARCHES	1-HOUR
STRUCTURAL COLUMNS	1-HOUR
FIREWALLS REQUIRED (IBC 705)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
TYPE OF CONSTRUCTION	<input type="checkbox"/> MASONRY <input type="checkbox"/> METAL <input type="checkbox"/> FT. WOOD <input checked="" type="checkbox"/> GYP BOARD
PROJECTIONS REQUIRED (IBC 105.5.1 & 105.6)	EXTERIOR WALL: 0" ROOF: 0"
STAIRS (IBC 1003.3)	<input type="checkbox"/> OPEN <input checked="" type="checkbox"/> ENCLOSED
STAIR WIDTH (IBC 1003.3.1)	MIN. REQUIRED: 44" MIN. PROVIDED: 44"
NUMBER OF FLOORS CONNECTED	4
ELEVATOR LOBBIES REQUIRED (IBC 1011.1)	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
FLOOR LOCATIONS	1, 2, 3, 4
FIRE PROTECTION SYSTEM	<input checked="" type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R (INT'L FIRE CODE 903.3.1)
SPRINKLER SYSTEM (IBC 903.2.8)	REQUIRED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO PROVIDED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
STAND PIPES REQUIRED (IBC 905.3) (IBC 905.3, EXCEPTION #1)	REQUIRED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (GREATER THAN 30' ABOVE PD VEHICLE ACCESS)
FIRE EXTINGUISHERS (NFPA 10 TABLE 3-2.1)	TYPE: CLASS 1 <input checked="" type="checkbox"/> DRY <input type="checkbox"/> WET MAX. TRAVEL DISTANCE ALLOWED: 15'-0" TRAVEL DISTANCE PROVIDED: 70'-0" MAXIMUM AREA PER EXTINGUISHER: 1125.0 SF
FIRE HAZARD CLASS (NFPA 10 1-5)	CLASS A LIGHT (LOW) HAZARD
SMOKE SEPARATION / DRAFTSTOPPING	
FLOOR CAVITY (IBC 716.3.2)	NOT REQUIRED (EXCEPTION #1)
ATTIC AREA (IBC 716.4.2)	NOT REQUIRED (EXCEPTION #1)
MEANS OF EGRESS	
EXITS REQUIRED (IBC TABLE 1005.2.1)	PER BUILDING: 2 MINIMUM WITHIN ALLOWED DISTANCE OF TRAVEL PER FLOOR: 2 MINIMUM WITHIN ALLOWED DISTANCE OF TRAVEL
ROOM WITH MORE THAN 50 OCCUPANTS (IBC TABLE 1004.2.1)	2 EXITS
COMMON PATH OF TRAVEL (IBC 1004.2.5)	75 FT. MAXIMUM
INTERIOR UNIT TRAVEL DISTANCE (NFPA 101 302.6.1)	MAXIMUM ALLOWED: 105 FT.
EXTERIOR UNIT TRAVEL DISTANCE (NFPA 101 302.6.2)	MAXIMUM ALLOWED: 200 FT. MAXIMUM PROVIDED: SEE PLANS
DEAD END CORRIDOR (IBC 1004.3.2.3)	MAXIMUM DIST. ALLOWED: 20 FT. MAXIMUM DIST. PROVIDED: 20 FT.
UNITS OF EGRESS (NFPA 101 TABLE 1.3.3.1)	REQUIRED: 2' PER PERSON (HORIZ) - 3' PER PERSON (VERT) PROVIDED: (SEE BASEMENT AND FIRST LEVEL PLANS)
ROOF ACCESS (IBC 1003.3.3.1)	<input type="checkbox"/> STAIR <input type="checkbox"/> LADDER <input type="checkbox"/> STAIR TOWER <input checked="" type="checkbox"/> N/A
OPENING PROTECTION REQUIRED (IBC TABLE 104.8)	ASSUMED PROPERTY LINE LESS THAN 10' <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO ADJACENT STRUCT GREATER THAN 30' <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO



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CONSULTANT

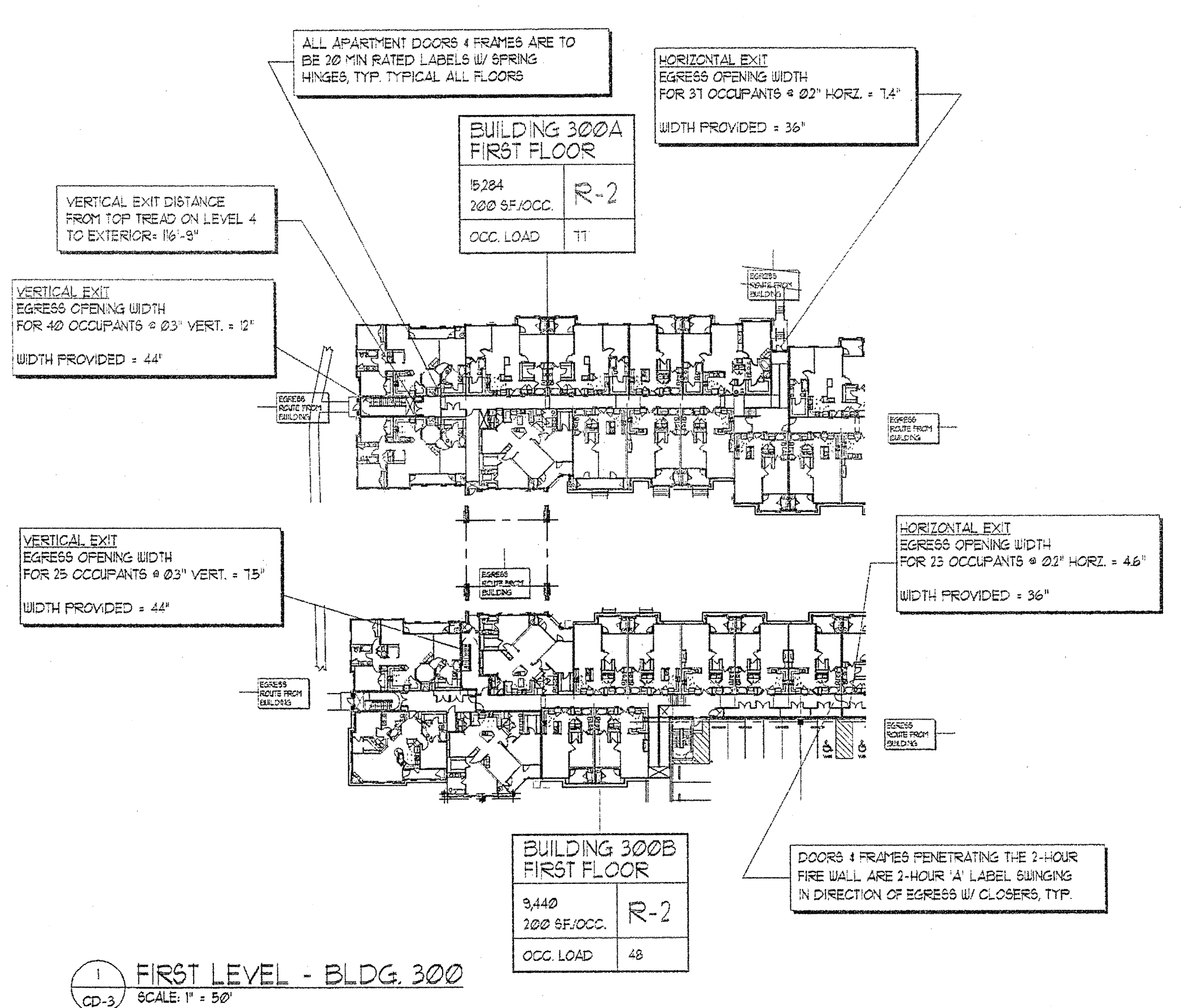


PROJECT  
ARCHSTONE  
KENTLANDS  
845 QUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

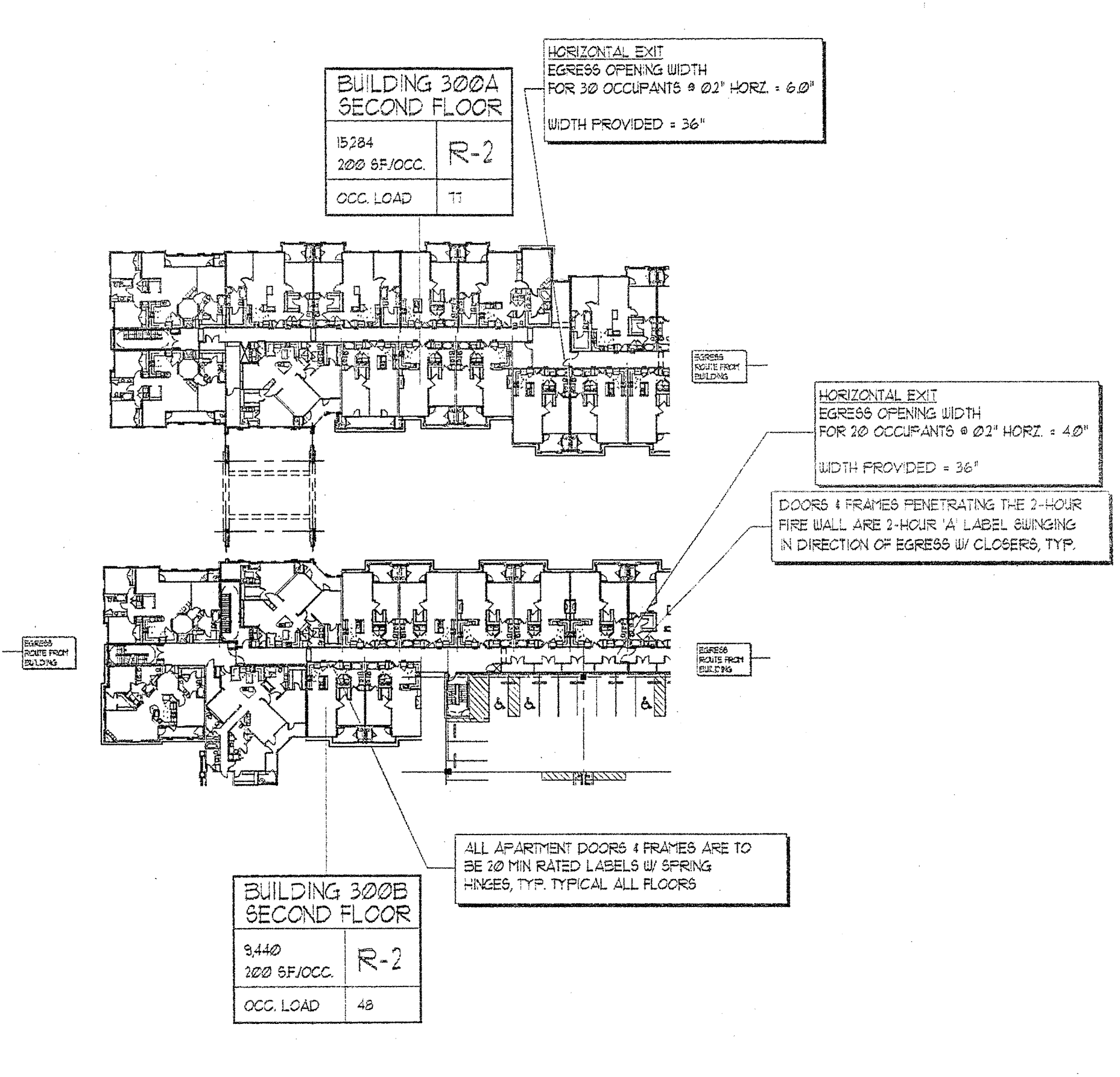
FOR  
ARCHSTONE  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS  
RELEASED FOR CONSTRUCTION 07/18/03

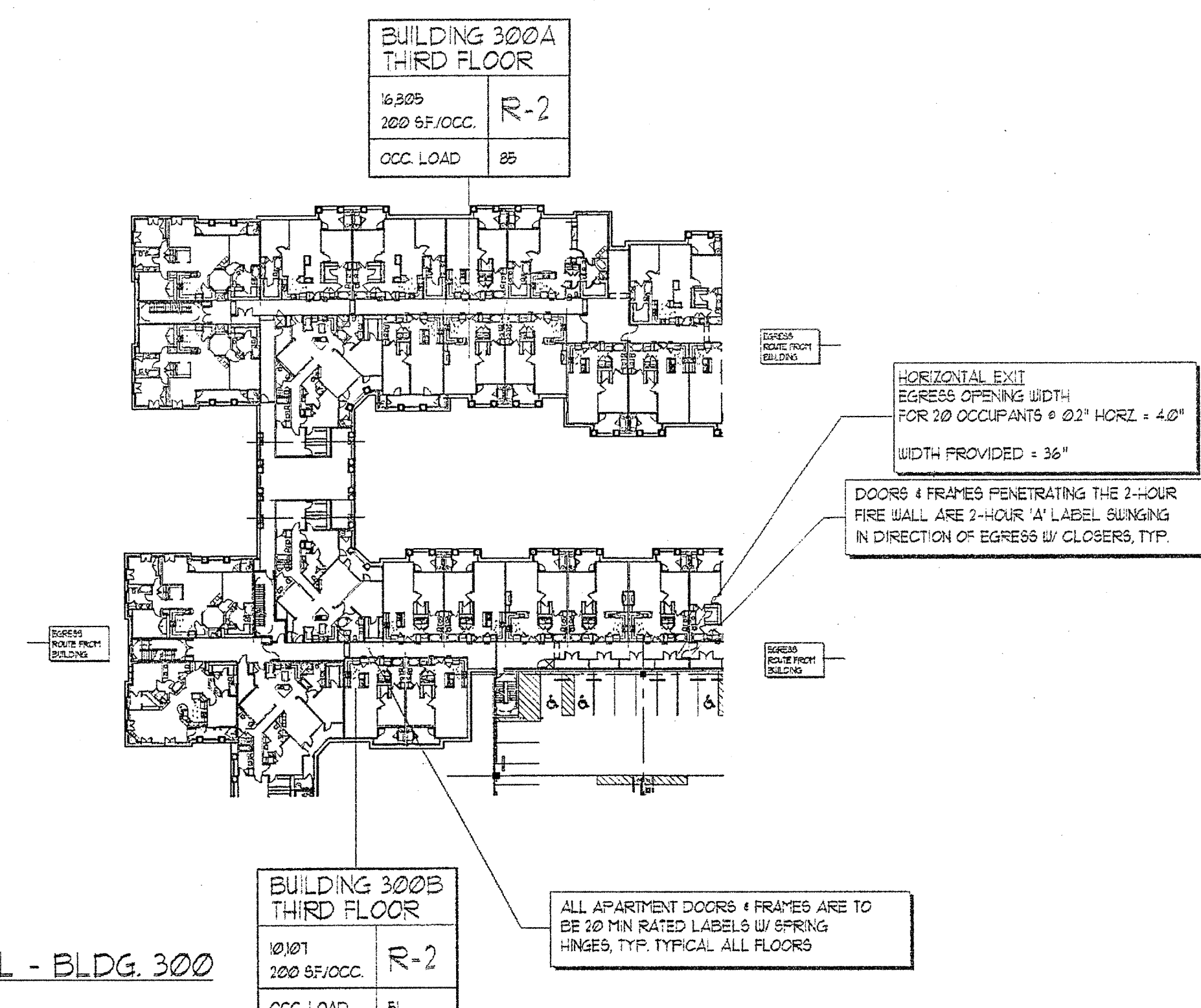
DATE 01/31/03  
JOB NUMBER 021102  
DRAWN BY STM  
CHECKED BY STM  
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DRAWING NUMBER CD-3  
COMMENTS



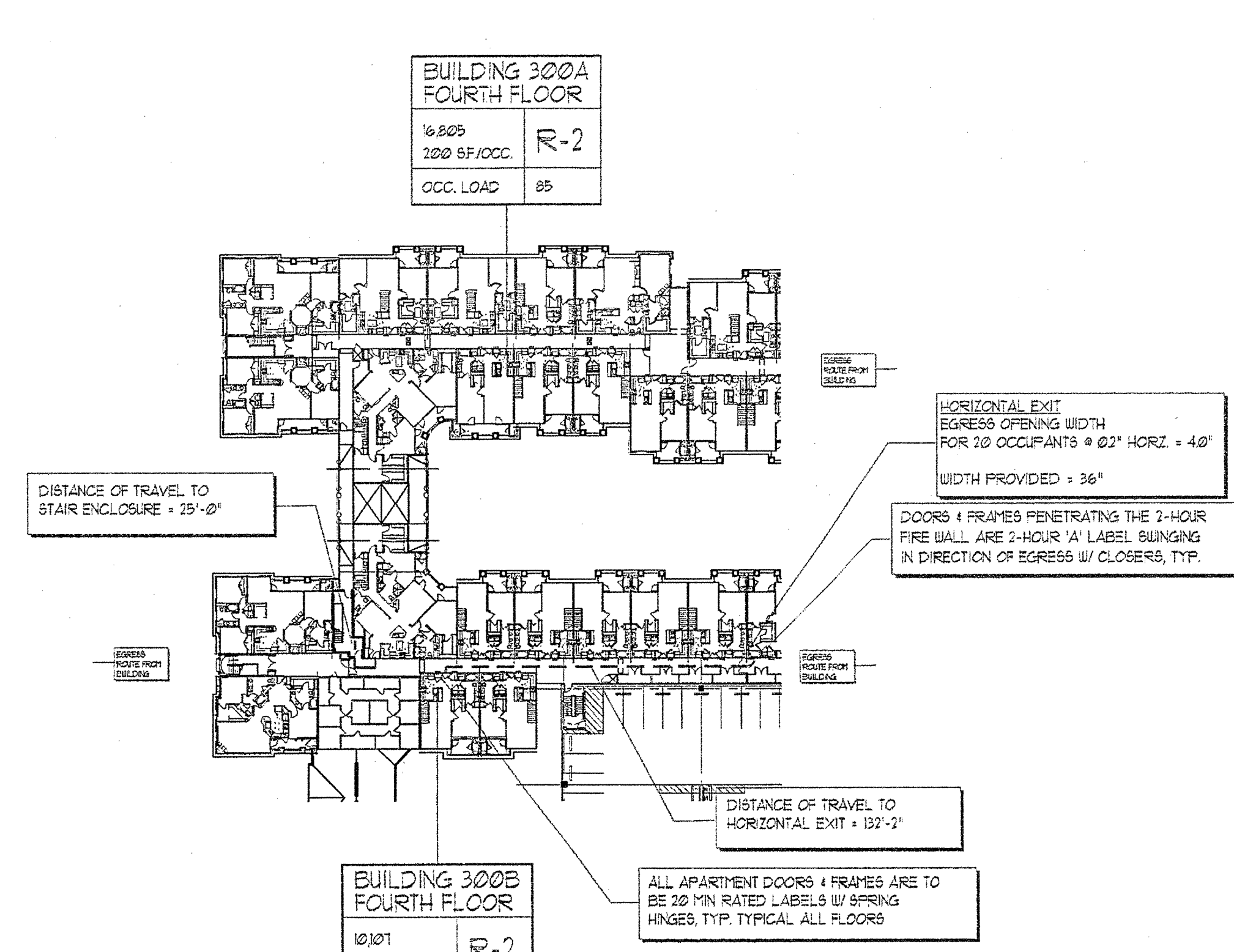
1 FIRST LEVEL - BLDG. 300  
CD-3 SCALE: 1" = 50'



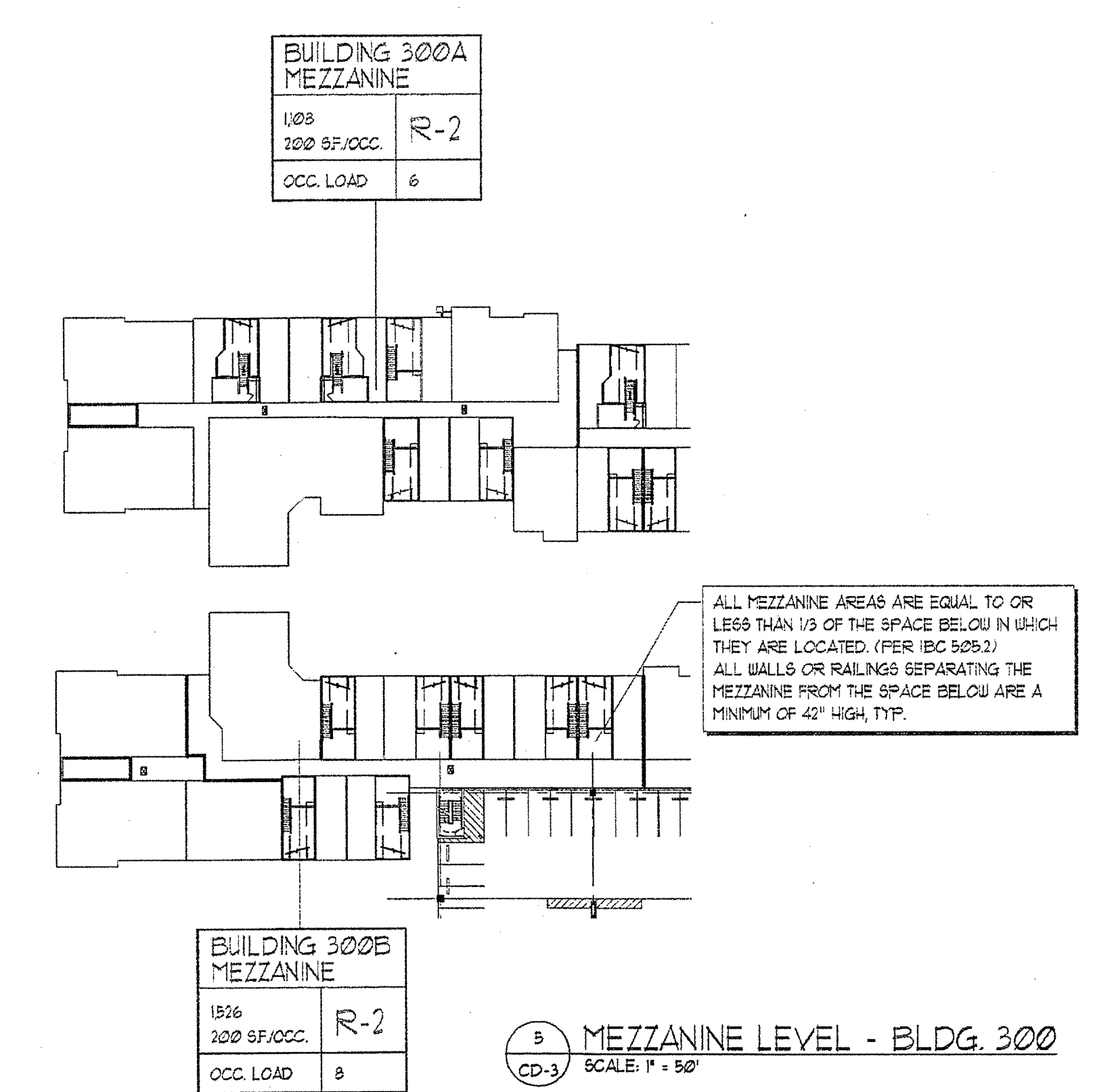
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CD-3 SCALE: 1" = 50'



3 THIRD LEVEL - BLDG. 300  
CD-3 SCALE: 1" = 50'



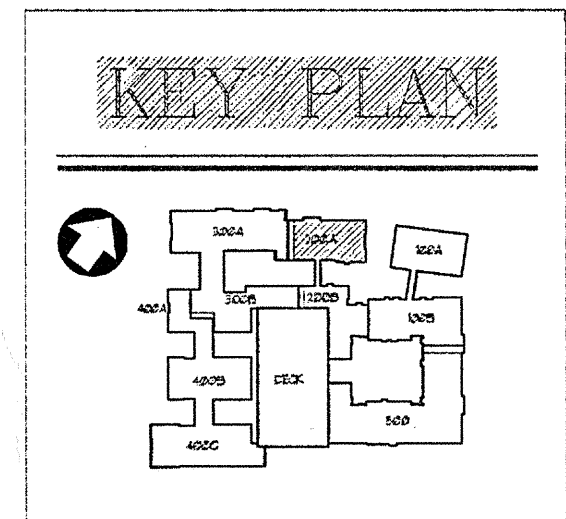
4 FOURTH LEVEL - BLDG. 300  
CD-3 SCALE: 1" = 50'

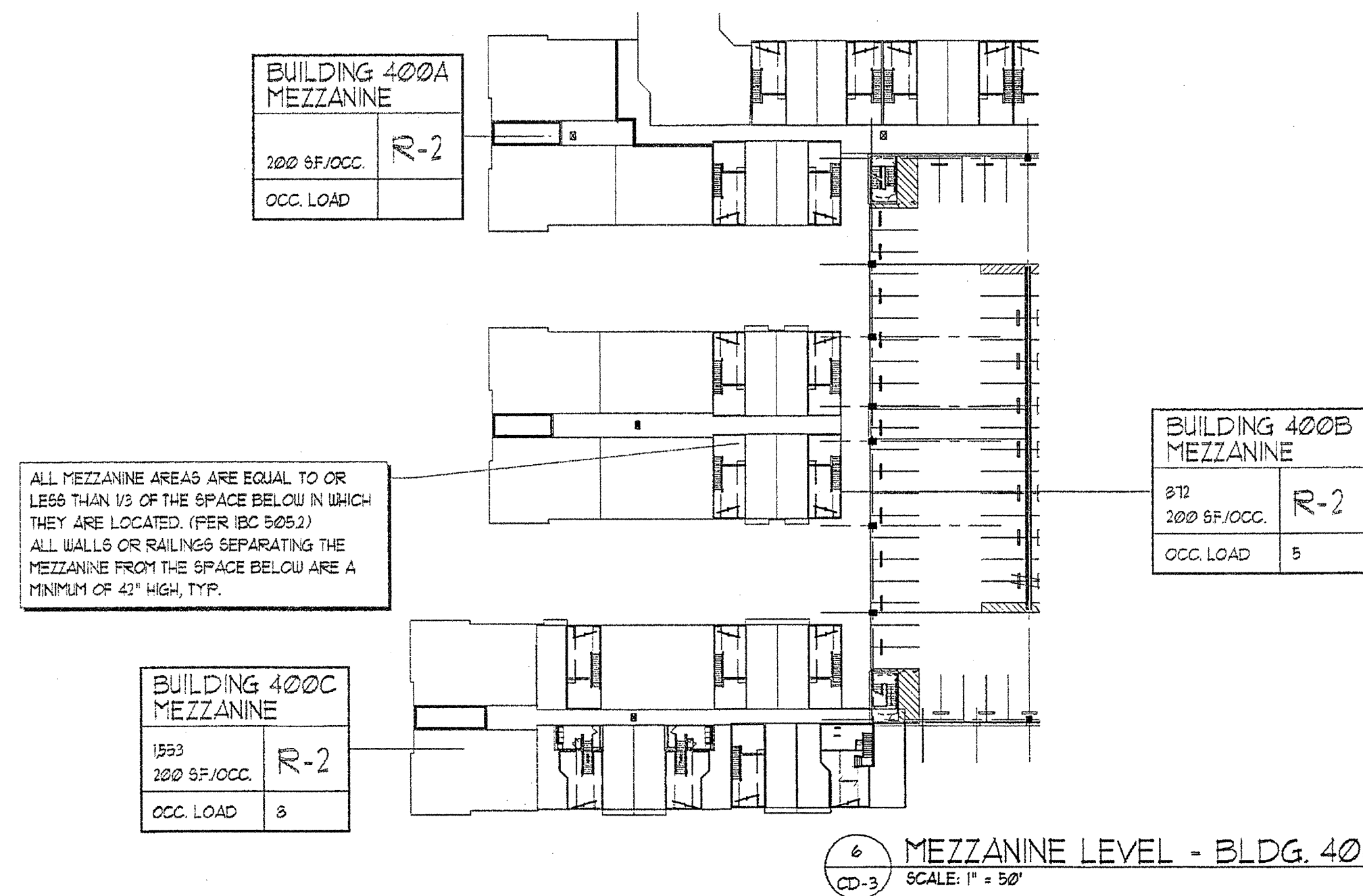
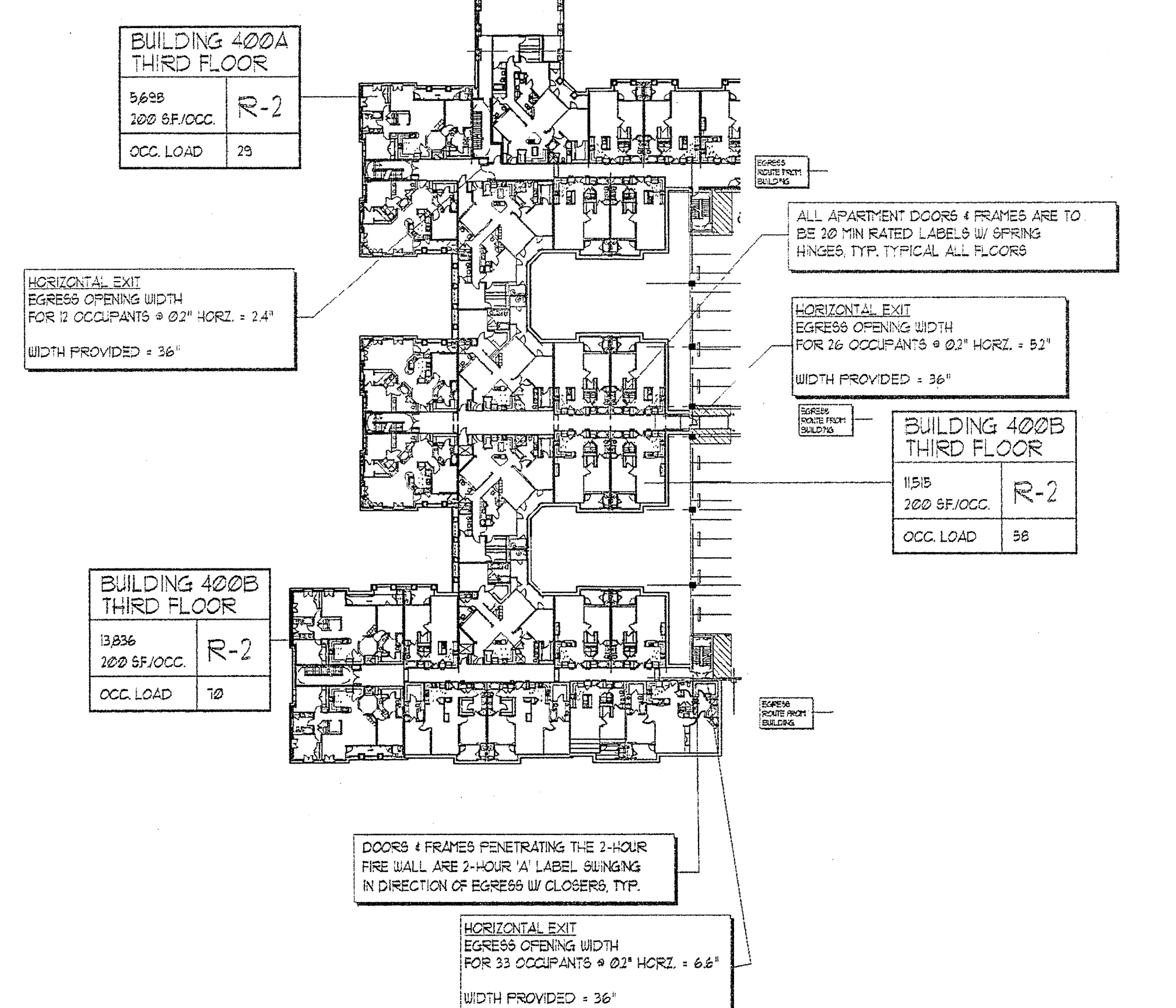
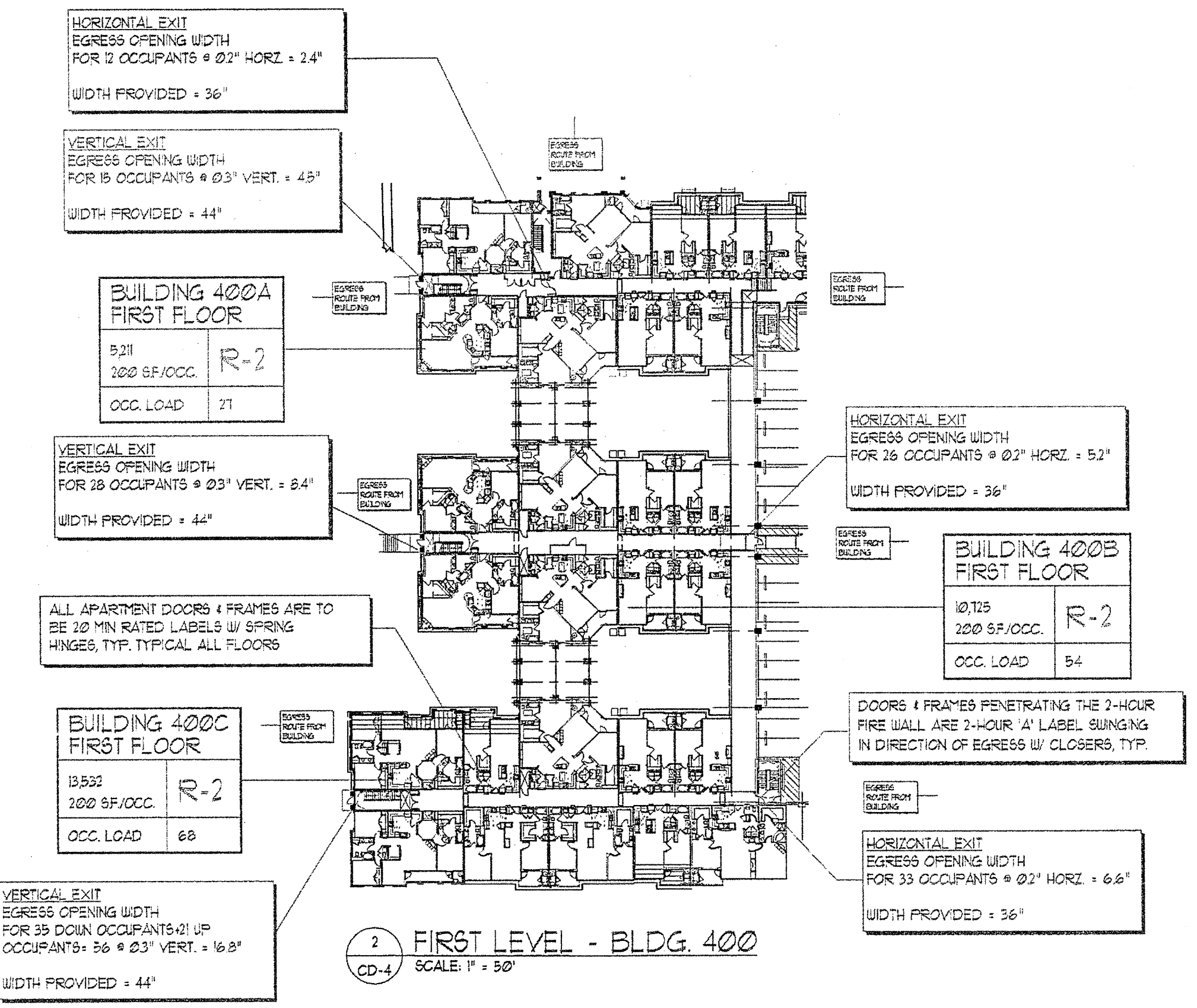
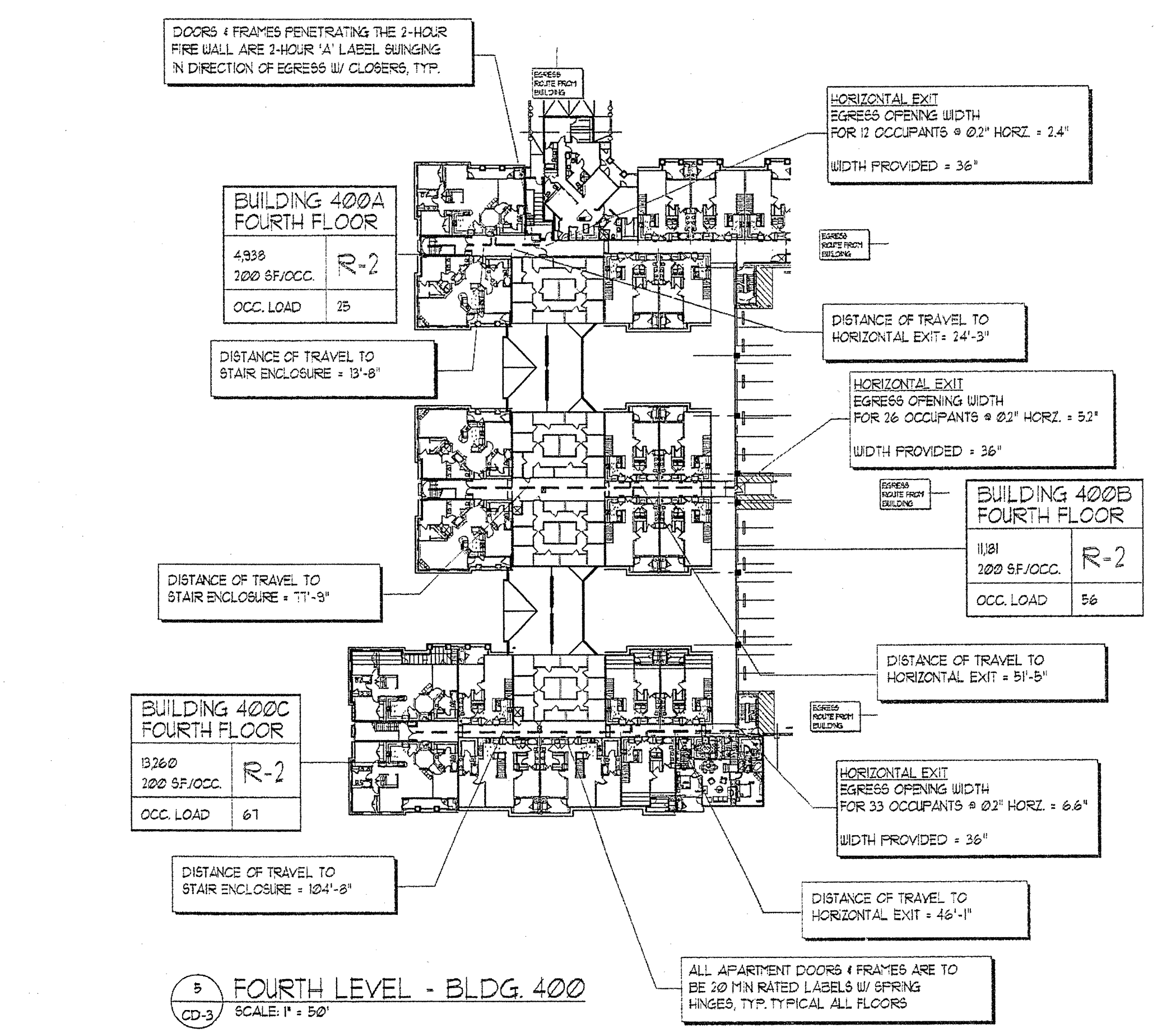
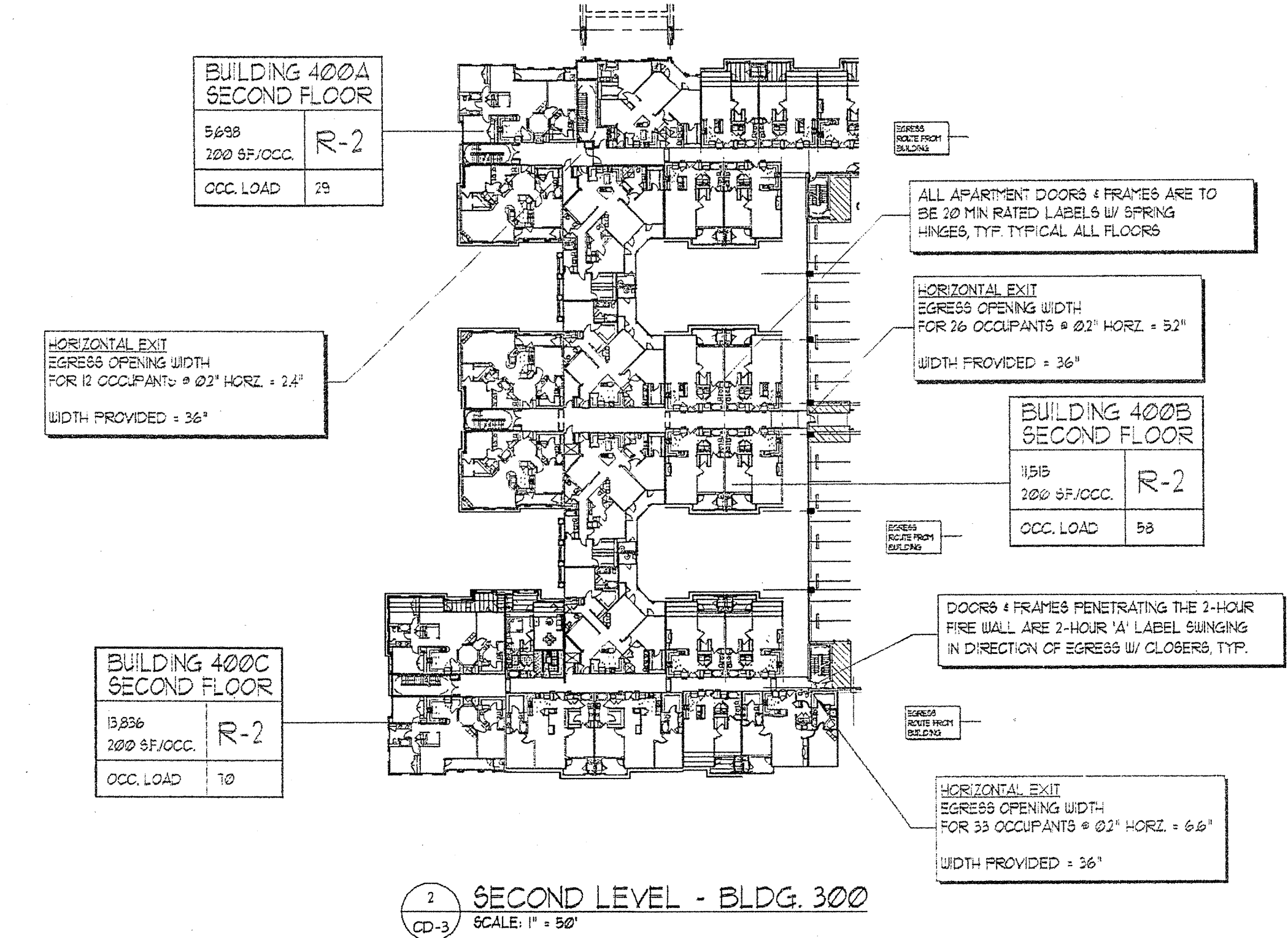
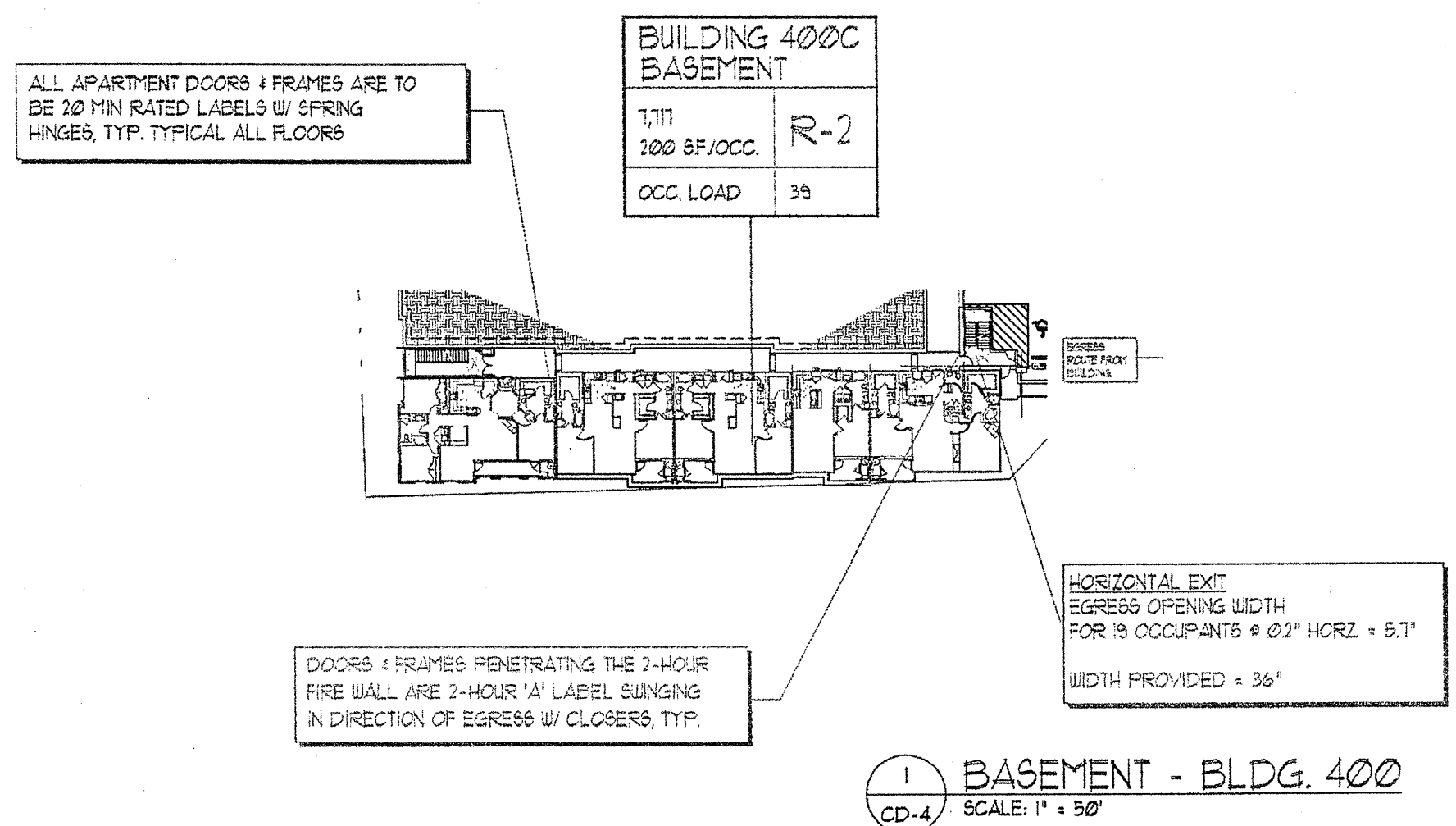


5 MEZZANINE LEVEL - BLDG. 300  
CD-3 SCALE: 1" = 50'

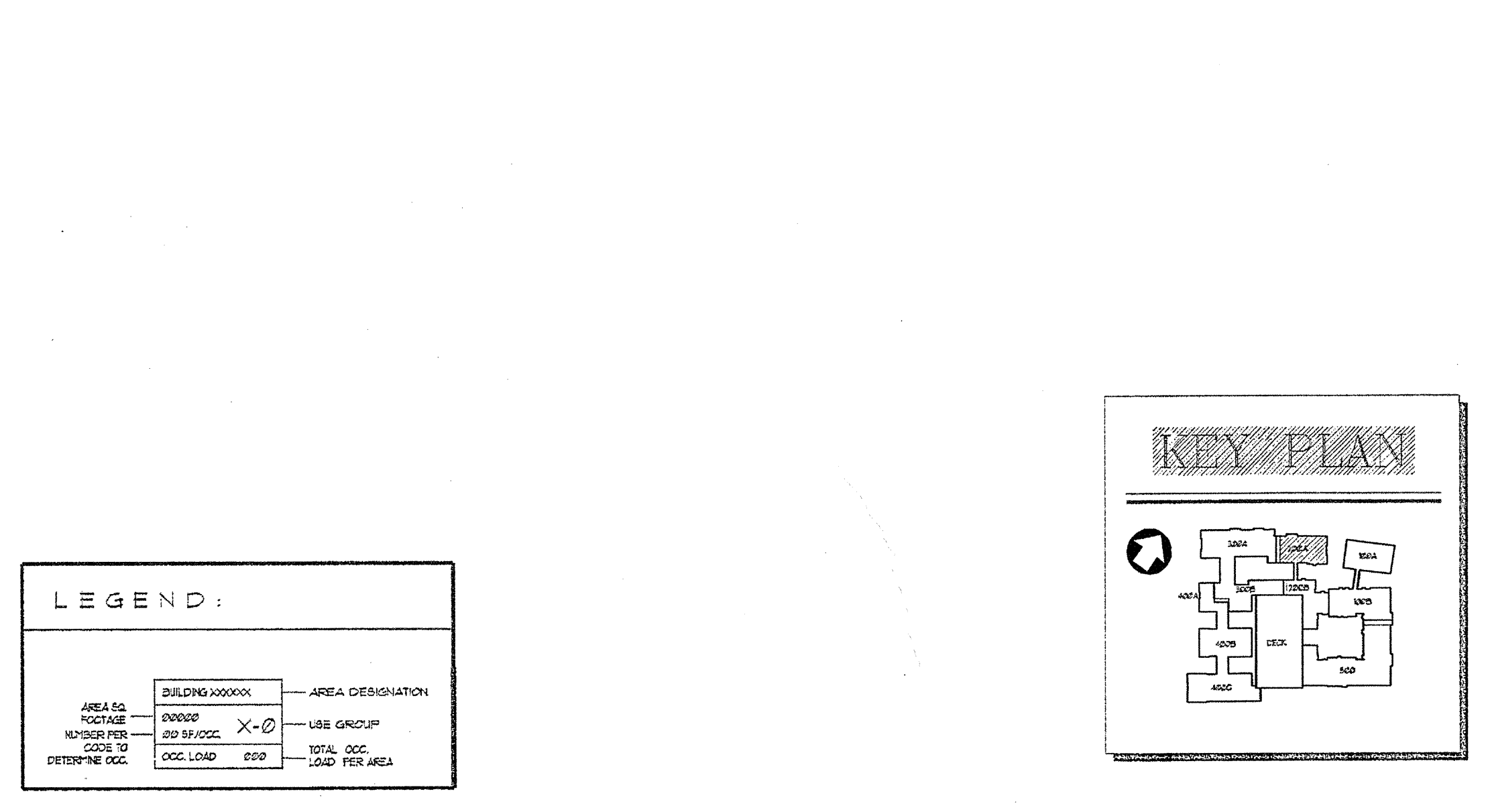
LEGEND:

AREA TO EXCLUDE	00000	AREA DESIGNATION
NUMBER PER CODE 12	00000	USE GROUP
GEOMETRY CODE	00000	TOTAL OCC. LOAD PER AREA





BUILDING CODE DATA:		
BUILDING IDENTIFICATION	BUILDING 400	
BUILDING OCCUPANCY CLASSIFICATION (IBC 301.1)	R-2 (APARTMENT HOUSES)	
AREA ALLOWED PER FLOOR (IBC TABLE 503)	SEE CD-0	
AREA PROVIDED PER FLOOR	SEE CD-0	
AREA OF UNITS	SEE CD-0	
COMMON AREA	SEE CD-0	
SF INCREASE ALLOWABLE BY AREA MODIFICATION (IBC 506.1)	$A_1 + A_2 \times (\frac{A_1}{100}) + (\frac{A_2^2}{10000})$ $A_3 + 0.000 \times (\frac{0.000 \times 0.16}{100}) + (\frac{0.000^2}{10000})$	
TYPE OF CONSTRUCTION (IBC 601.2)	TYPE V - 1 HOUR PROTECTED, SPRINKLED	
BUILDING HEIGHT ALLOWANCE (IBC 504.2)	6'-0" - 0"	
BUILDING HEIGHT PROVIDED	SEE A4 SERIES	
HIGH RISE CRITERIA INVOKED (IBC 403.1)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (BUILDING TOP FLOOR IS LESS THAN 15' ABOVE LOWEST LEVEL FOR FIRE TRUCKS)	
NUMBER OF STORIES ALLOWED (IBC 504.3)	4 STORIES	
NUMBER OF STORIES PROVIDED	4 STORIES AND MEZZANINE (IBC 505)	
FIRE RATING (IBC TABLE 601)	WALLS AND PARTITIONS	OPENING PROTECTIVES
FIRE WALLS (IBC TABLE 705.4)	2-HOUR	2-HOUR A DOOR
MIXED OCCUPANCY SEPARATION, BUSINESS UNDER RESIDENTIAL (IBC TABLE 302.3.3)	N/A	N/A
INTERIOR BEARING WALLS	1-HOUR	-
EXTERIOR BEARING WALLS, LESS THAN 30' SEPARATION	1-HOUR	3/4-HOUR E DOOR
EXTERIOR BEARING WALLS, GREATER THAN 30' SEPARATION	UNPROTECTED	UNPROTECTED
CORRIDOR WALLS	1-HOUR	20 MIN DOOR @ APRTS, 3/4 HR. G-DOOR ELSEWHERE
EXTERIOR EXIT STAIRWAYS (IBC 1005.3.6.3)	2-HOUR	1 1/2-HOUR B DOOR
ELEVATOR SHAFT WALLS (IBC 707.4)	2-HOUR	1 1/2-HOUR B DOOR
REFUSE CHUTE SHAFT WALL (IBC 707.4)	2-HOUR	1 1/2-HOUR B DOOR
REFUSE CHUTE ACCESS & TERMINATION ROOM (IBC 707.13.3)	1-HOUR	3/4-HOUR C DOOR
FLOOR/CEILING CONSTRUCTION	1-HOUR	-
ROOF/CEILING CONSTRUCTION	1-HOUR	-
STRUCTURAL BEAMS, GIRDERS, TRUSSES, & ARCHES	1-HOUR	-
STRUCTURAL COLUMNS	1-HOUR	-
FIREWALLS REQUIRED (IBC 709)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
TYPE OF CONSTRUCTION	<input type="checkbox"/> MASONRY <input type="checkbox"/> METAL <input type="checkbox"/> FT. WOOD <input checked="" type="checkbox"/> GYP BOARD	
PROJECTIONS REQUIRED (IBC 709.5.2 & 709.5.6)	EXTERIOR WALL: 0" ROOF: 0"	
STAIRS (IBC 1003.3.3)	<input type="checkbox"/> OPEN <input checked="" type="checkbox"/> ENCLOSED	
STAIR WIDTH (IBC 1003.3.3)	MIN REQUIRED: 44" MIN PROVIDED: 44"	
NUMBER OF FLOORS CONNECTED	4	
ELEVATOR LOBBIES REQUIRED (IBC 1071.4)	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	
FLOOR LOCATIONS	1, 2, 3, 4	
FIRE PROTECTION SYSTEM	<input checked="" type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R (INTL. FIRE CODE 903.3.1)	
SPRINKLER SYSTEM (IBC 903.2.8)	REQUIRED: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO PROVIDED: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
STAND PIPES REQUIRED (IBC 905.3)	REQUIRED: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (GREATER THAN 30' ABOVE FD VEHICLE ACCESS)	
(IBC 905.3), EXCEPTION #1	TYPE: CLASS I <input checked="" type="checkbox"/> DRY <input type="checkbox"/> WET	
FIRE EXTINGUISHERS (NFPA 10 TABLE 3-21)	MAX. TRAVEL DISTANCE ALLOWED: 75'-0" TRAVEL DISTANCE PROVIDED: 70'-0" MAXIMUM AREA PER EXTINGUISHER: 1,125 SF	
FIRE HAZARD CLASS (NFPA 10 1-5)	CLASS A, LIGHT (LOW) HAZARD	
SMOKE SEPARATION / DRAFTSTOPPING		
FLOOR CAVITY (IBC 716.3.2)	NOT REQUIRED (EXCEPTION #1)	
ATTIC AREA (IBC 716.4.2)	NOT REQUIRED (EXCEPTION #2)	
MEANS OF EGRESS		
EXITS REQUIRED (IBC TABLE 1009.2.1)	PER BUILDING: 2 MINIMUM WITHIN ALLOWED DISTANCE OF TRAVEL PER FLOOR: 2 MINIMUM WITHIN ALLOWED DISTANCE OF TRAVEL	
ROOM WITH MORE THAN 50 OCCUPANTS (IBC TABLE 1004.2.1)	2 EXITS	
COMMON PATH OF TRAVEL (IBC 1004.2.5)	75 FT. MAXIMUM	
INTERIOR UNIT TRAVEL DISTANCE (NFPA 101 302.6.1)	MAXIMUM ALLOWED: 105 FT.	
EXTERIOR UNIT TRAVEL DISTANCE (NFPA 101 302.6.2)	MAXIMUM ALLOWED: 100 FT. MAXIMUM PROVIDED: SEE PLANS	
DEAD END CORRIDOR (IBC 1004.3.3.3)	MAXIMUM DIST. ALLOWED: 50 FT. MAXIMUM DIST. PROVIDED: 20 FT.	
UNITS OF EGRESS (NFPA 101 TABLE 7.3.3.1)	REQUIRED: 2' PER PERSON (HORIZ); 3' PER PERSON (VERT) PROVIDED: (SEE BASEMENT AND FIRST LEVEL PLANS)	
ROOF ACCESS (IBC 1023.3.12)	<input type="checkbox"/> STAIR <input type="checkbox"/> LADDER <input type="checkbox"/> STAIR TOWER <input checked="" type="checkbox"/> N/A	
OPENING PROTECTION REQUIRED (IBC TABLE 704.8)	ASSUMED PROPERTY LINE LESS THAN 15' <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO ADJACENT STRUCT GREATER THAN 30' <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	



THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
FAX: 770 396 2945  
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CONSULTANT

ARCHITECT  
10248  
10-20-03

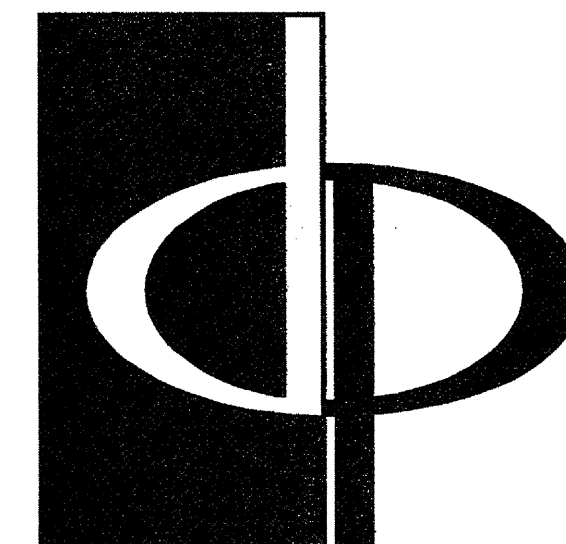
PROJECT  
ARCHSTONE  
KENTLANDS  
949 QUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

FOR

ARCHSTONE  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS  
RELEASED FOR CONSTRUCTION 07/16/03

DATE 01/31/03  
JOB NUMBER 021102B  
DRAWN BY STY  
CHECKED BY STY  
DRAWING TITLE BUILDING 400 CODE DATA  
DRAWING NUMBER CD-4  
COMMENTS



THE PRESTON PARTNERSHIP, LLC  
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CONSULTANT

SEAL



PROJECT

ARCHSTONE  
KENTLANDS

848 QUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

FOR

ARCHSTONE  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS

RELEASED FOR CONSTRUCTION 07/18/03

DATE 01/31/03

JOB NUMBER 0211702

DRAWN BY 6TM

CHECKED BY 6TM

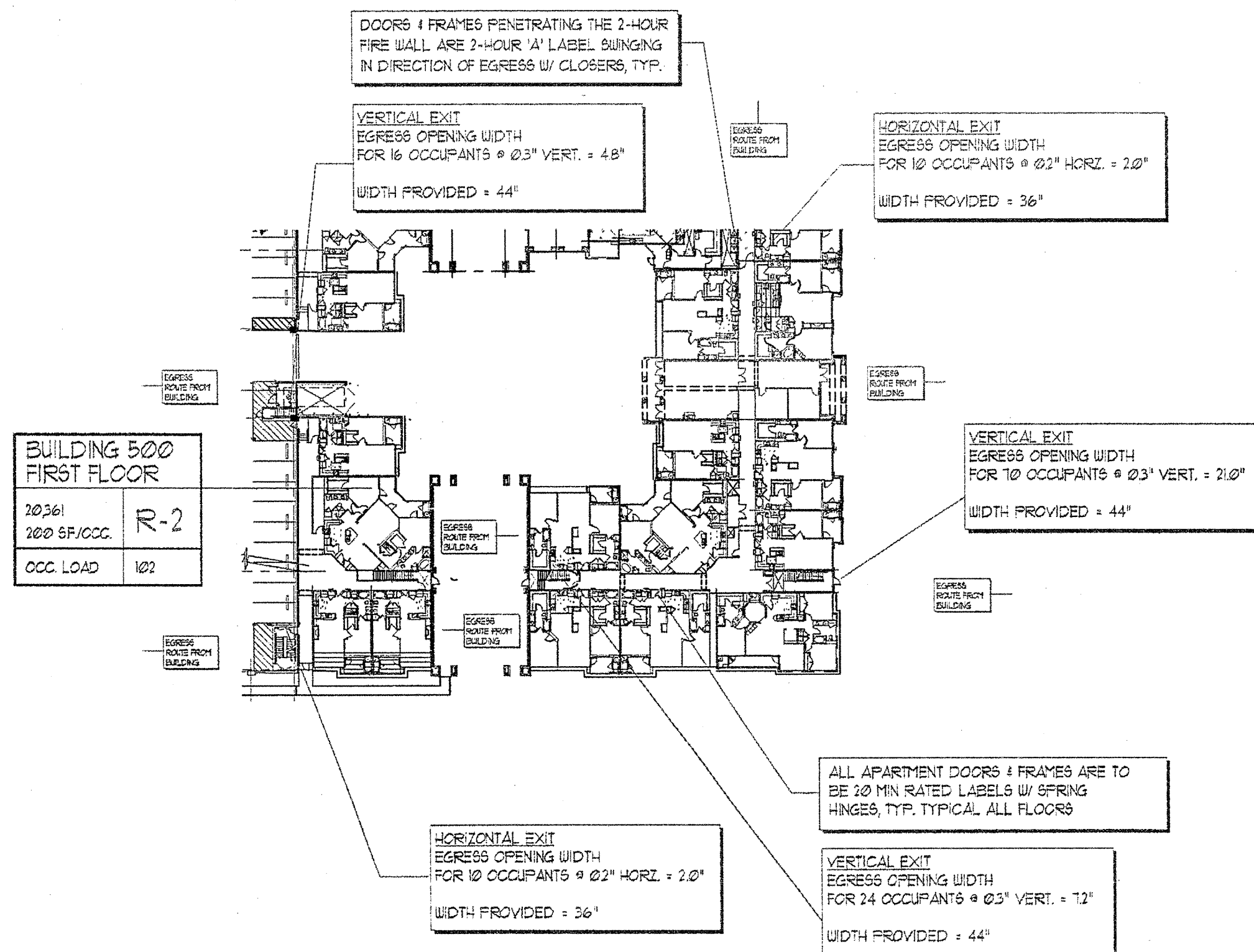
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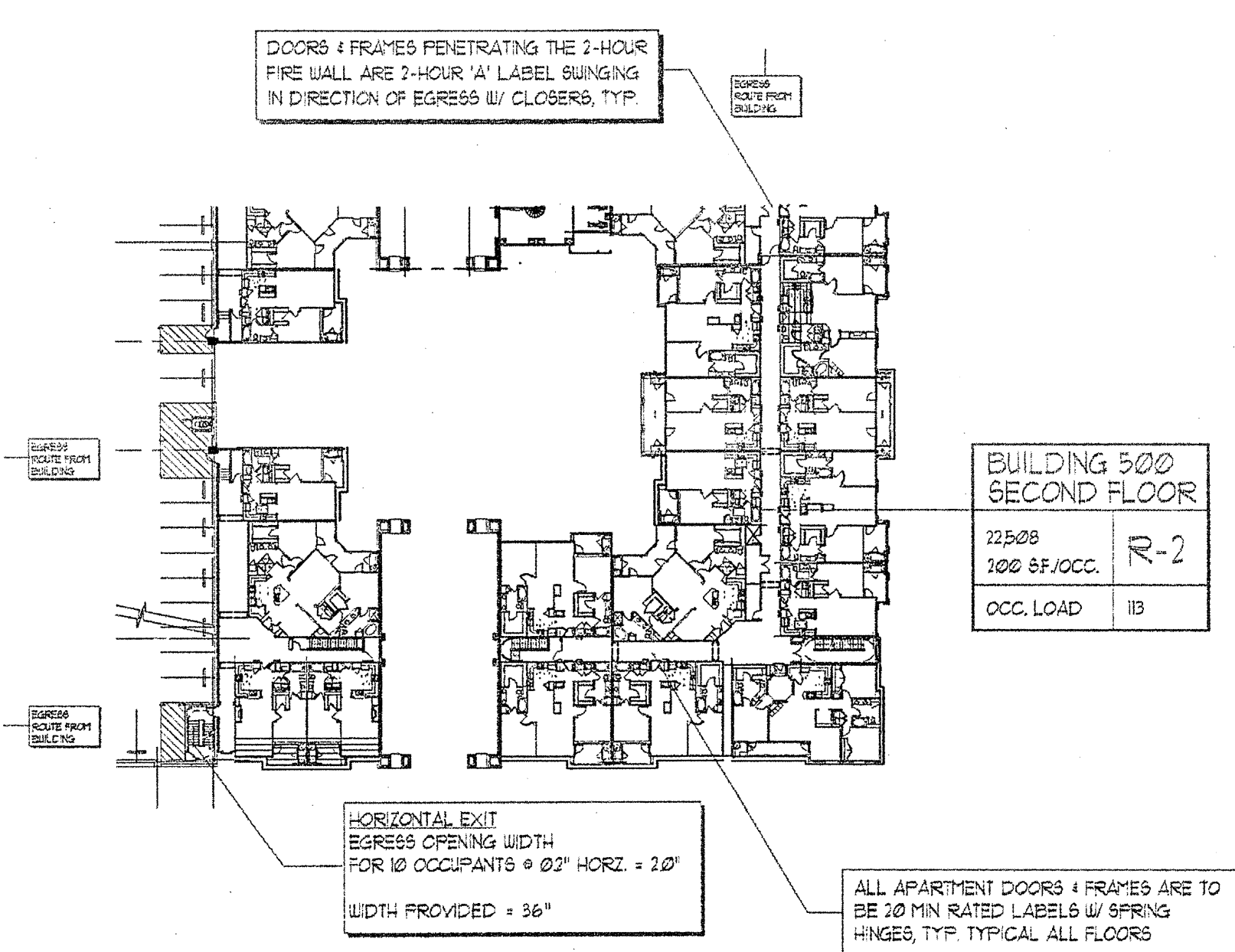
COMMENTS

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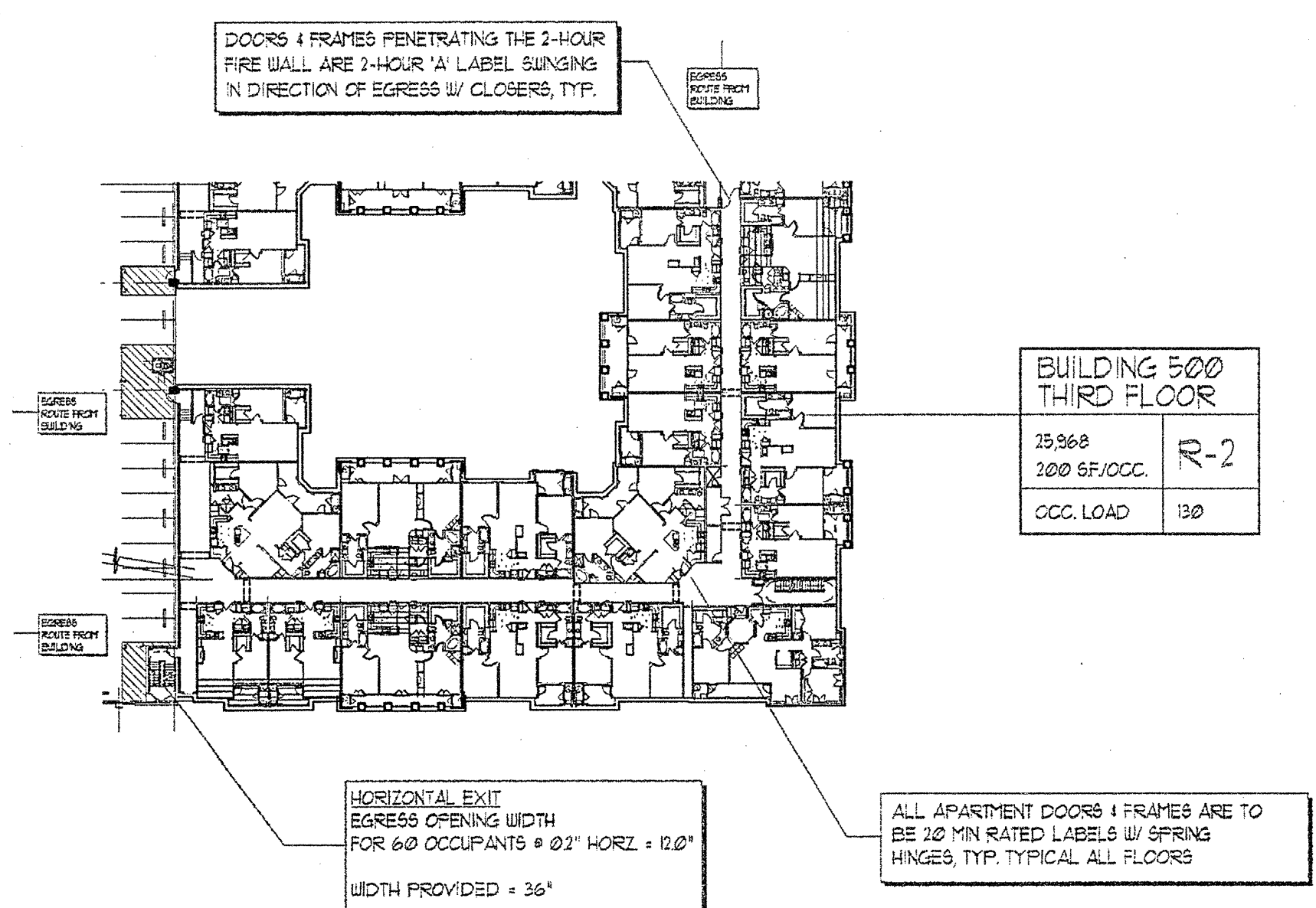
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BUILDING OCCUPANCY CLASSIFICATION (IBC 310.1)	R-2 (APARTMENT HOUSES)	
AREA ALLOWED PER FLOOR (IBC TABLE 503)	SEE CD-0	
AREA PROVIDED PER FLOOR	SEE CD-0	
AREA OF UNITS	SEE CD-0	
COMMON AREA	SEE CD-0	
SF INCREASE ALLOWABLE BY AREA MODIFICATION (IBC 506.1)	$A_1 + A_2 \left( \frac{A_3}{A_1} \right)^2 \left( \frac{A_4}{A_2} \right)^2$ $A_1 = 12,000$ , $A_2 = 12,000$ , $A_3 = 12,000$ , $A_4 = 12,000$	
TYPE OF CONSTRUCTION (IBC 602.5)	TYPE V - 1 HOUR PROTECTED, SPRINKLED	
BUILDING HEIGHT ALLOWANCE (IBC 504.2)	60'-0"	
BUILDING HEIGHT PROVIDED	SEE A-4 SERIES	
HIGH RISE CRITERIA INVOKED (IBC 403.1)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (BUILDING TOP FLOOR IS LESS THAN 15' ABOVE LOWEST LEVEL FOR FIRE TRUCKS)	
NUMBER OF STORIES ALLOWED (IBC 504.2)	4 STORIES	
NUMBER OF STORIES PROVIDED	4 STORIES AND MEZZANINE (IBC 505)	
FIRE RATINGS (IBC TABLE 601)	WALLS AND PARTITIONS	OPENING PROTECTIVES
FIRE WALLS (IBC TABLE 705.4)	2-HOUR	2-HOUR A DOOR
MIXED OCCUPANCY SEPARATION (IBC TABLE 502.3.3)	N/A	N/A
INTERIOR BEARING WALLS	1-HOUR	-
EXTERIOR BEARING WALLS: LESS THAN 30' SEPARATION	1-HOUR	3/4-HOUR E DOOR
EXTERIOR BEARING WALLS: GREATER THAN 30' SEPARATION	UNPROTECTED	UNPROTECTED
CORRIDOR WALLS	1-HOUR	20 MIN. DOOR @ APTS 3/4 HR. C-DOOR ELSEWHERE
EXTERIOR EXIT STAIRWAYS (IBC 1009.3.6.5)	2-HOUR	1 1/2-HOUR B DOOR
ELEVATOR SHAFT WALLS (IBC 107.4)	2-HOUR	1 1/2-HOUR B DOOR
REFUSE CHUTE ACCESS & TERMINATION ROOM (IBC 107.4)	2-HOUR	1 1/2-HOUR B DOOR
REFUSE CHUTE ACCESS & TERMINATION ROOM (IBC 107.3.3)	1-HOUR	3/4-HOUR C DOOR
FLOOR/CEILING CONSTRUCTION	1-HOUR	-
ROOF/CEILING CONSTRUCTION	1-HOUR	-
STRUCTURAL BEAMS, GIRDERS, TRUSSES, & ARCHES	1-HOUR	-
STRUCTURAL COLUMNS	1-HOUR	-
FIREWALLS REQUIRED (IBC 705)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
TYPE OF CONSTRUCTION	<input type="checkbox"/> MASONRY <input type="checkbox"/> METAL <input type="checkbox"/> FT. WOOD <input checked="" type="checkbox"/> GYP BOARD	
PROJECTIONS REQUIRED (IBC 1005.5.2 & 1005.6)	EXTERIOR WALL: 0' ROOF: 0'	
STAIRS (IBC 1003.3.3)	<input type="checkbox"/> OPEN <input checked="" type="checkbox"/> ENCLOSED	
STAIR WIDTH (IBC 1003.3.1)	MIN. REQUIRED: 44"	MIN. PROVIDED: 44"
NUMBER OF FLOORS CONNECTED	4	
ELEVATOR LOBBIES REQUIRED (IBC 107.1.4)	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	
FLOOR LOCATIONS	1, 2, 3, 4	
FIRE PROTECTION SYSTEM	<input checked="" type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R (INT'L. FIRE CODE 9033.1)	
SPRINKLER SYSTEM (IBC 903.2.8)	REQUIRED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
STAND PIPES REQUIRED (IBC 903.3)	PROVIDED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
(IBC 903.3.1, EXCEPTION #1)	TYPE: CLASS 1 <input checked="" type="checkbox"/> DRY <input type="checkbox"/> WET	
FIRE EXTINGUISHERS (NFPA 10 TABLE 3-2.1)	MAX. TRAVEL DISTANCE ALLOWED: 75'-0"	
	TRAVEL DISTANCE PROVIDED: 10'-0"	
	MAXIMUM AREA PER EXTINGUISHER: 1,130 SF	
FIRE HAZARD CLASS (NFPA 10 1-5)	CLASS A, LIGHT (LOW) HAZARD	
SMOKE SEPARATION / DRAFTSTOPPING		
FLOOR CAVITY (IBC 116.3.2)	NOT REQUIRED (EXCEPTION #1)	
ATTIC AREA (IBC 116.4.2)	NOT REQUIRED (EXCEPTION #2)	
MEANS OF EGRESS		
EXITS REQUIRED (IBC TABLE 1003.2.1)	PER BUILDING: 2 MINIMUM WITHIN ALLOWED DISTANCE OF TRAVEL	
ROOM WITH MORE THAN 50 OCCUPANTS (IBC TABLE 1004.2.1)	PER FLOOR: 2 MINIMUM WITHIN ALLOWED DISTANCE OF TRAVEL	
COMMON PATH OF TRAVEL (IBC 1004.2.5)	75 FT. MAXIMUM	
INTERIOR UNIT TRAVEL DISTANCE (NFPA 101 302.6.1)	MAXIMUM ALLOWED	105 FT.
EXTERIOR UNIT TRAVEL DISTANCE (NFPA 101 302.6.2)	MAXIMUM ALLOWED	200 FT.
	MAXIMUM PROVIDED	SEE PLANS
DEAD END CORRIDOR (IBC 1004.3.2.3)	MAXIMUM DIST. ALLOWED	20 FT.
	MAXIMUM DIST. PROVIDED	20 FT.
UNITS OF EGRESS (NFPA 101 TABLE 13.3.1)	REQUIRED: 2' PER PERSON (HORIZ) - 3' PER PERSON (VERT)	PROVIDED: (SEE BASEMENT AND FIRST LEVEL PLANS)
ROOF ACCESS (IBC 1003.3.3.1)	<input type="checkbox"/> STAIR <input type="checkbox"/> LADDER <input type="checkbox"/> STAIR TOWER <input checked="" type="checkbox"/> N/A	
OPENING PROTECTION REQUIRED (IBC TABLE 104.8)	ASSUMED PROPERTY LINE LESS THAN 15'	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
	ADJACENT STRUCT. GREATER THAN 30'	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO



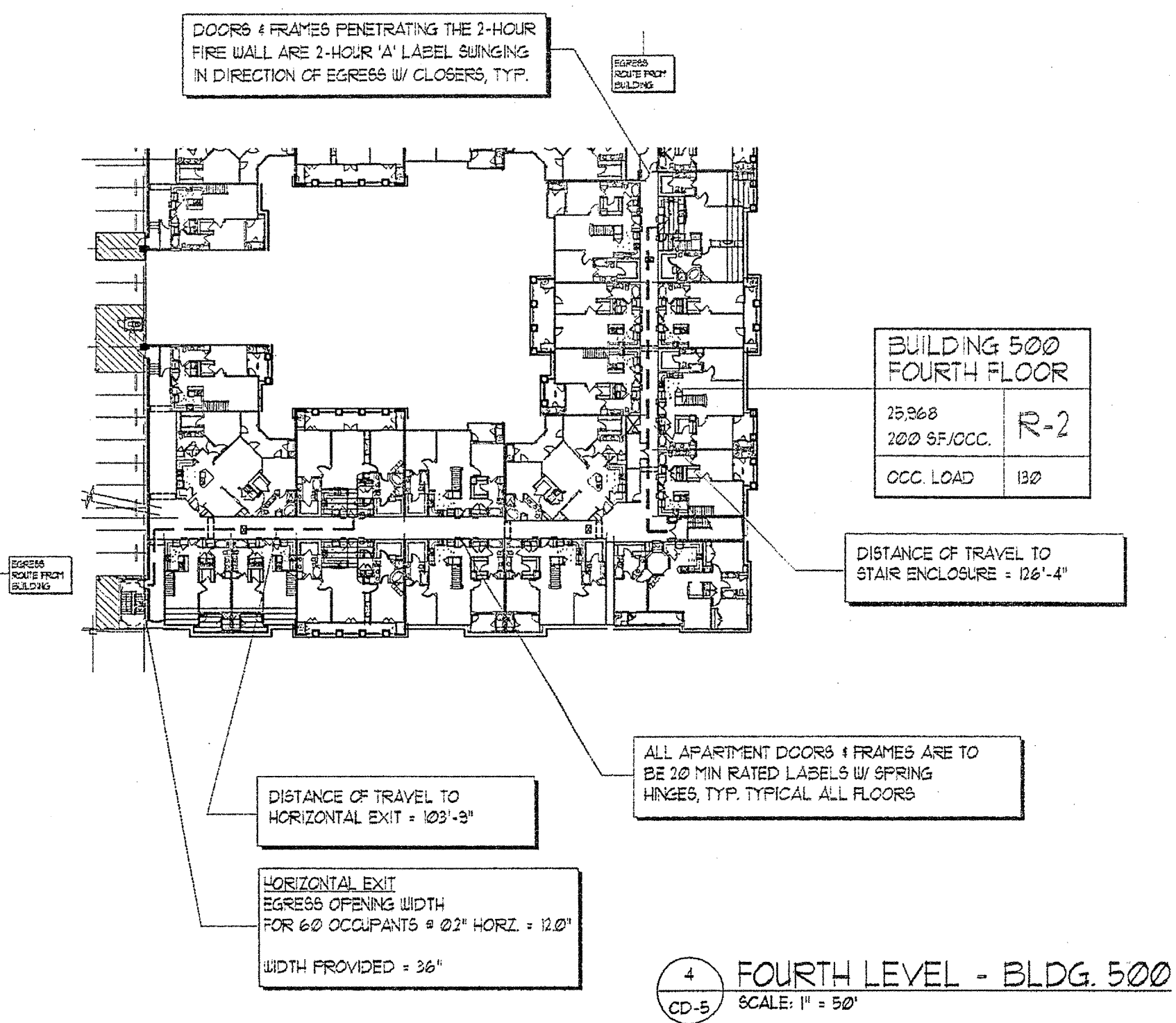
1 FIRST LEVEL - BLDG. 500  
SCALE: 1" = 50'



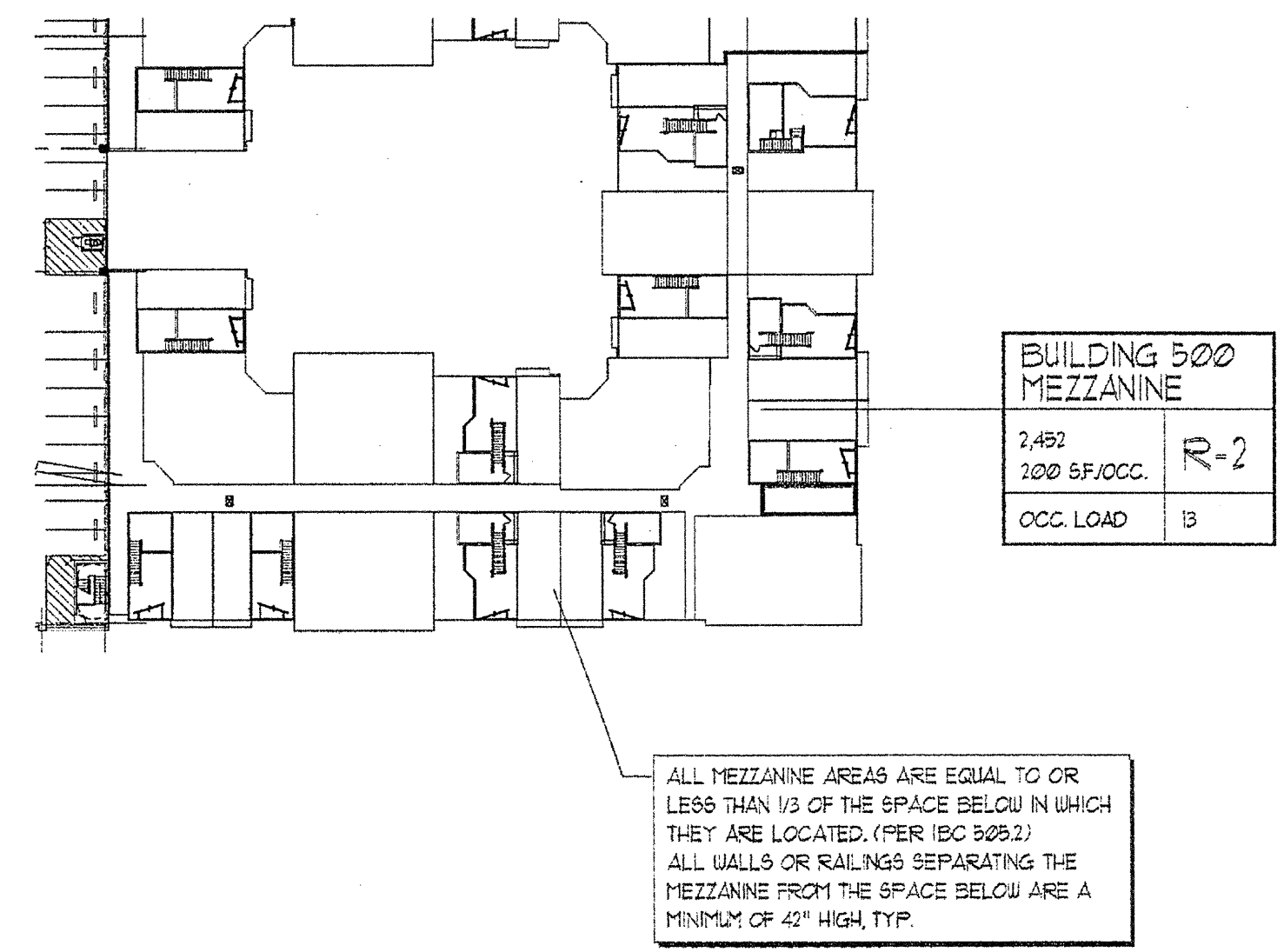
2 SECOND LEVEL - BLDG. 500  
SCALE: 1" = 50'



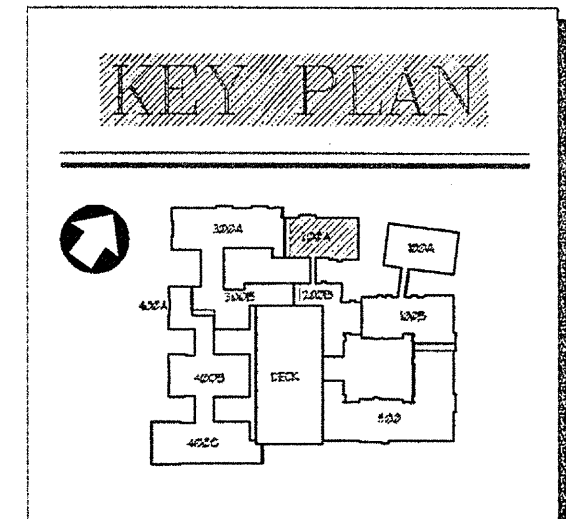
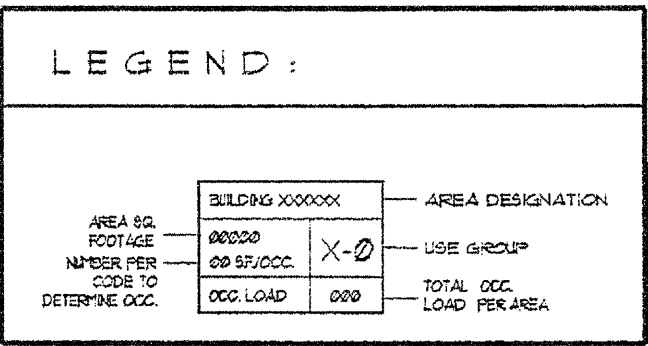
3 THIRD LEVEL - BLDG. 500  
SCALE: 1" = 50'



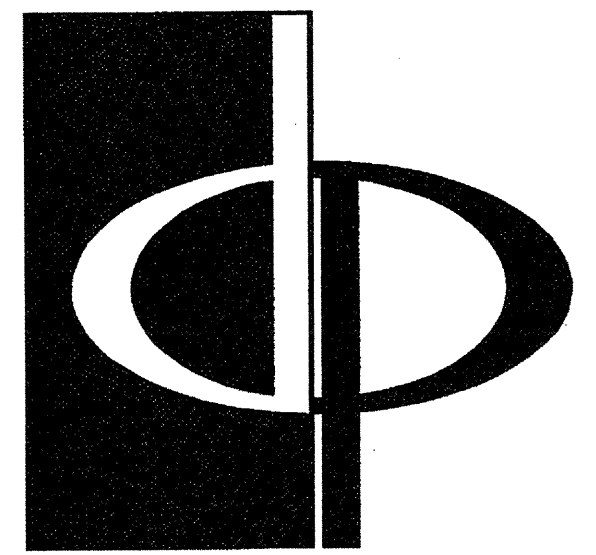
4 FOURTH LEVEL - BLDG. 500  
SCALE: 1" = 50'



5 MEZZANINE LEVEL - BLDG. 500  
SCALE: 1" = 50'







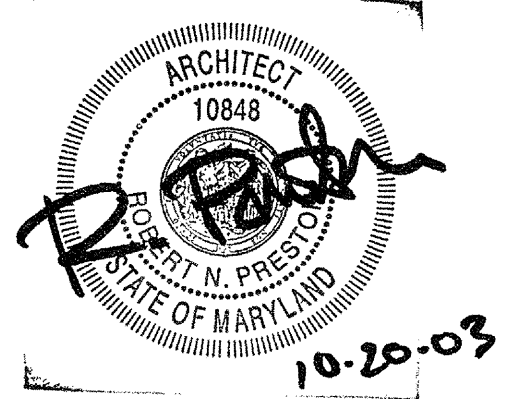
THE PRESTON PARTNERSHIP, LLC  
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CONSULTANT

SEAL



PROJECT

ARCHSTONE  
KENTLANDS

849 QUINCE ORCHARD ROAD  
GAITHERSBURG, MARYLAND

FOR

ARCHSTONE  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-863-3353

REVISIONS

RELEASED FOR CONSTRUCTION 07/18/03

DATE

01/31/03

JOB NUMBER

021128

DRAWN BY

STH

CHECKED BY

STH

DRAWING TITLE

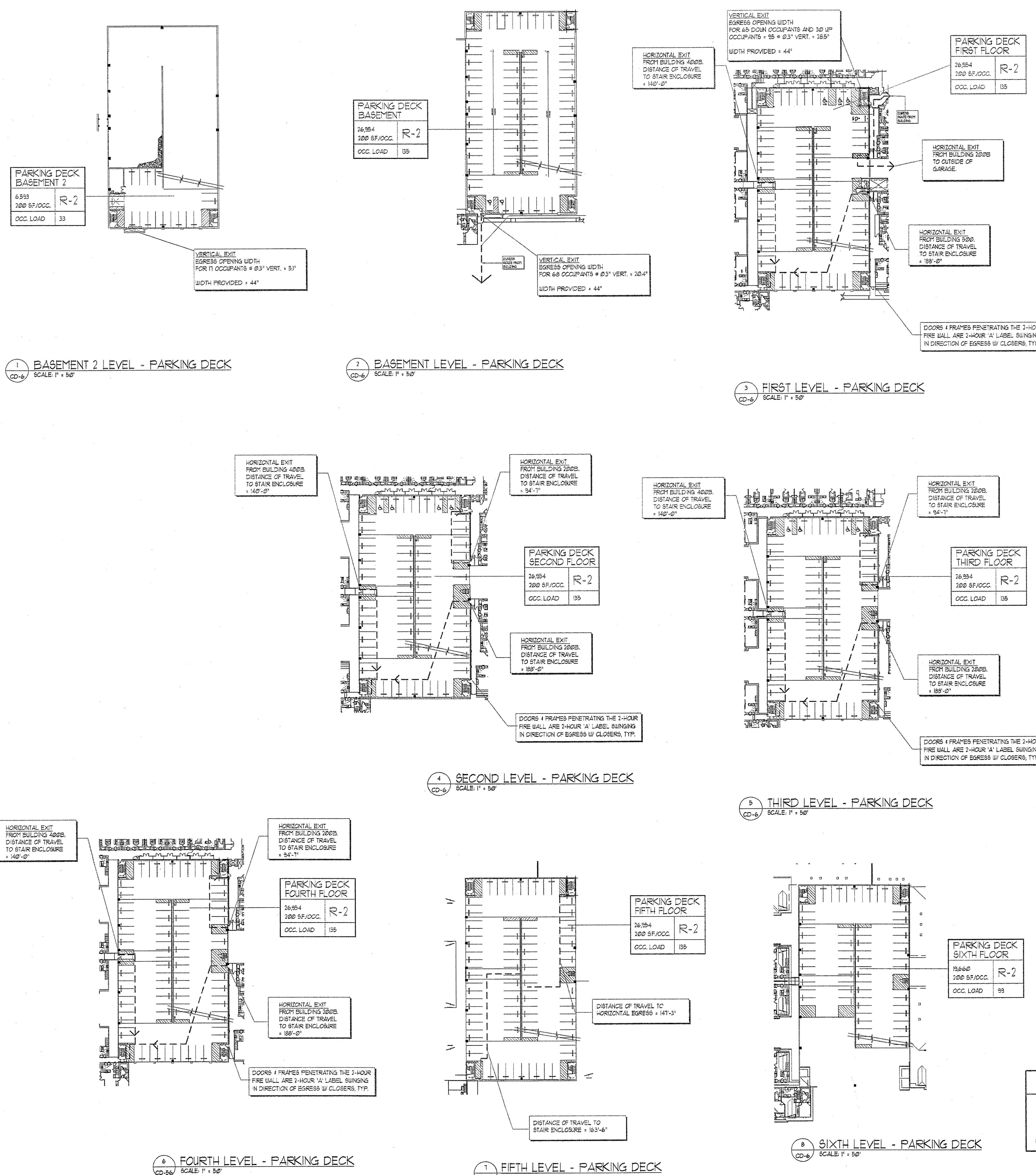
PARKING DECK  
CODE DATA

DRAWING NUMBER

CD-6

COMMENTS

BUILDING CODE DATA:		
BUILDING IDENTIFICATION	PARKING DECK	
BUILDING OCCUPANCY CLASSIFICATION (IBC 310.1)	S-2 (LOW HAZARD STORAGE)	
AREA ALLOWED PER FLOOR (IBC TABLE 503)	SEE CD-6	
AREA PROVIDED PER FLOOR	SEE CD-6	
AREA OF UNITS	SEE CD-6	
COMMON AREA	SEE CD-6	
GF INCREASE ALLOWABLE BY AREA MODIFICATION (IBC 506.1)	$A_u + A_c \left( \frac{A_{u1}}{A_{u2}} \right) \left( \frac{A_{c1}}{A_{c2}} \right) A_u + 1,500 \left( \frac{A_{u1} A_{c1}}{A_{u2} A_{c2}} \right) \left( \frac{A_{u1} A_{c1}}{A_{u2} A_{c2}} \right)$	
TYPE OF CONSTRUCTION (IBC 602.3)	TYPE IIS - PROTECTED, PARTIAL SPRINKLED	
BUILDING HEIGHT ALLOWANCE (IBC TABLE 503)	16'-0"	
BUILDING HEIGHT PROVIDED	SEE A4 SERIES	
HIGH RISE CRITERIA INVOKED (IBC 403.1)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (BUILDING TOP FLOOR IS LESS THAN 75' ABOVE LOWEST LEVEL FOR FIRE TRUCKS)	
NUMBER OF STORIES ALLOWED (IBC TABLE 503)	8 STORIES	
NUMBER OF STORIES PROVIDED	6 STORIES AND BASEMENT	
FIRE RATINGS (IBC TABLE 601)	WALLS AND PARTITIONS	OPENING PROTECTIVES
FIRE WALLS (IBC TABLE 105.4)	2-HOUR	2-HOUR A DOOR
MIXED OCCUPANCY SEPARATION BUSINESS UNDER RESIDENTIAL (IBC TABLE 301.3.3)	N/A	N/A
INTERIOR BEARING WALLS	1-HOUR	-
EXTERIOR BEARING WALLS: LESS THAN 30' SEPARATION	1-HOUR	3/4-HOUR E DOOR
EXTERIOR BEARING WALLS: GREATER THAN 30' SEPARATION	UNPROTECTED	UNPROTECTED
CORRIDOR WALLS	1-HOUR	20 MIN. DOOR & APRTS. 3/4 HR. C-DOOR ELSEWHERE
EXTERIOR EXIT STAIRWAYS (IBC 1009.3.6.5)	2-HOUR	1 1/2-HOUR B DOOR
ELEVATOR SHAFT WALLS (IBC 1074.4)	2-HOUR	1 1/2-HOUR B DOOR
REFUSE CHUTE SHAFT WALL (IBC 1074.4)	2-HOUR	1 1/2-HOUR B DOOR
REFUSE CHUTE ACCESS & TERMINATION ROOM (IBC 1071.3)	1-HOUR	3/4-HOUR C DOOR
FLOOR/CEILING CONSTRUCTION	1-HOUR	-
ROOF/CEILING CONSTRUCTION	1-HOUR	-
STRUCTURAL BEAMS, GIRDERS, TRUSSES, & ARCHES	1-HOUR	-
STRUCTURAL COLUMNS	1-HOUR	-
FIREWALLS REQUIRED (IBC 105)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
TYPE OF CONSTRUCTION	<input checked="" type="checkbox"/> MASONRY <input type="checkbox"/> METAL <input type="checkbox"/> FT. WOOD <input type="checkbox"/> GYP BOARD	
PROJECTIONS REQUIRED (IBC 105.5.2 & 105.6)	EXTERIOR WALL: 0' ROOF: 0'	
STAIRS (IBC 1003.3.3)	<input type="checkbox"/> OPEN <input checked="" type="checkbox"/> ENCLOSED	
STAIR WIDTH (IBC 1003.3.3)	MIN. REQUIRED: 44" MIN. PROVIDED: 44"	
NUMBER OF FLOORS CONNECTED	4	
ELEVATOR LOBBIES REQUIRED (IBC 1071.4)	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	
FLOOR LOCATIONS	1, 2, 3, 4	
FIRE PROTECTION SYSTEM	<input type="checkbox"/> NFPA 3 <input type="checkbox"/> NFPA 13R (INT'L FIRE CODE 303.1.1)	
SPRINKLER SYSTEM (IBC 903.2.8)	REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
STAND PIPES REQUIRED (IBC 903.3)	PROVIDED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
(IBC 903.3) EXCEPTION #1	TYPE: CLASS 1 <input checked="" type="checkbox"/> DRY <input type="checkbox"/> WET	
FIRE EXTINGUISHERS (NFPA 10 TABLE 3-2.1)	MAX. TRAVEL DISTANCE ALLOWED: 75'-0"	
	TRAVEL DISTANCE PROVIDED: 10'-0"	
FIRE HAZARD CLASS (NFPA 10 1-5)	MAXIMUM AREA PER EXTINGUISHER: 1,250 SF	
	CLASS: A, LIGHT (LOW HAZARD)	
SMOKE SEPARATION / DRAFTSTOPPING		
FLOOR CAVITY (IBC 116.3.2)	NOT REQUIRED (EXCEPTION #1)	
ATTIC AREA (IBC 116.4.2)	NOT REQUIRED (EXCEPTION #2)	
MEANS OF EGRESS		
EXITS REQUIRED (IBC TABLE 1009.2.1)	PER BUILDING: 2 MINIMUM WITHIN ALLOWED DISTANCE OF TRAVEL	
ROOM WITH MORE THAN 50 OCCUPANTS (IBC TABLE 1004.2.1)	PER FLOOR: 2 MINIMUM WITHIN ALLOWED DISTANCE OF TRAVEL	
COMMON PATH OF TRAVEL (IBC 1004.2.5)	75 FT. MAXIMUM	
INTERIOR UNIT TRAVEL DISTANCE (NFPA 101 302.6.1)	MAXIMUM ALLOWED: 125 FT.	
EXTERIOR UNIT TRAVEL DISTANCE (NFPA 101 302.6.2)	MAXIMUM ALLOWED: 200 FT.	
	MAXIMUM PROVIDED: SEE PLANS	
DEAD END CORRIDOR (IBC 1004.3.2.3)	MAXIMUM DIST. ALLOWED: 20 FT.	
	MAXIMUM DIST. PROVIDED: 20 FT.	
UNITS OF EGRESS (NFPA 101 TABLE 13.3.1)	REQUIRED: 2" PER PERSON (HORIZ) - 3" PER PERSON (VERT)	
	PROVIDED: (SEE BASEMENT AND FIRST LEVEL PLANS)	
ROOF ACCESS (IBC 1003.3.3.2)	<input type="checkbox"/> STAIR <input type="checkbox"/> LADDER <input type="checkbox"/> STAIR TOWER <input checked="" type="checkbox"/> N/A	
OPENING PROTECTION REQUIRED (IBC TABLE 104.8)	ASSUMED PROPERTY LINE LESS THAN 15' <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
	ADJACENT STRUCT GREATER THAN 30' <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	



1 BASEMENT 2 LEVEL - PARKING DECK  
SCALE: 1" = 50'

2 BASEMENT LEVEL - PARKING DECK  
SCALE: 1" = 50'

3 FIRST LEVEL - PARKING DECK  
SCALE: 1" = 50'

4 SECOND LEVEL - PARKING DECK  
SCALE: 1" = 50'

5 THIRD LEVEL - PARKING DECK  
SCALE: 1" = 50'

6 FOURTH LEVEL - PARKING DECK  
SCALE: 1" = 50'

7 FIFTH LEVEL - PARKING DECK  
SCALE: 1" = 50'

8 SIXTH LEVEL - PARKING DECK  
SCALE: 1" = 50'



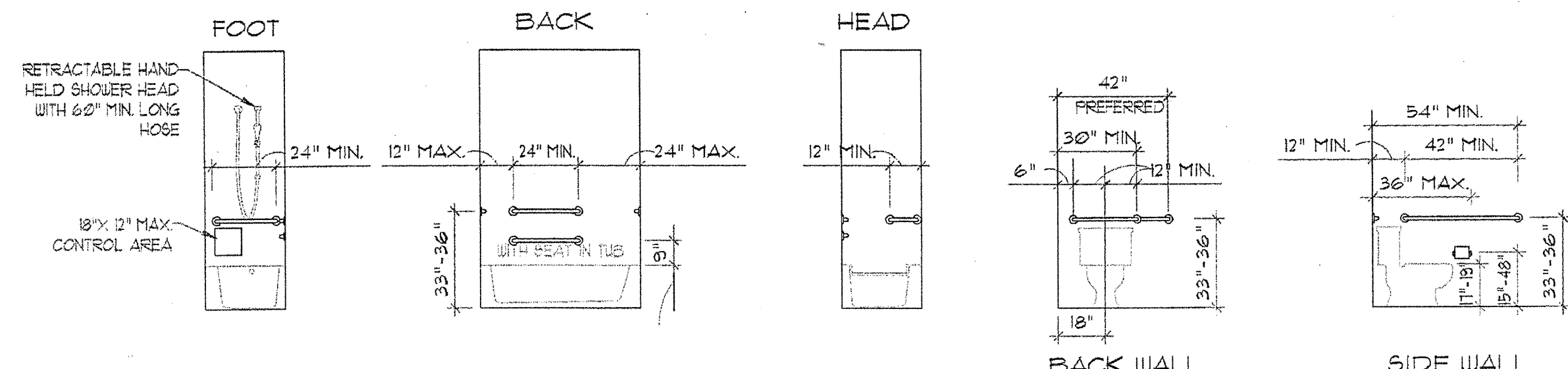
# HANDICAP ACCESSIBILITY NOTES

HANDICAP ACCESSIBILITY REQUIREMENTS AS SET FORTH BY THE 1990 FAIR HOUSING ACT, DEVELOPED BY THE DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, ( ALL REQUIREMENTS ARE CONDEMNED FROM THE MARCH 6, 1991 FEDERAL REGISTER.)

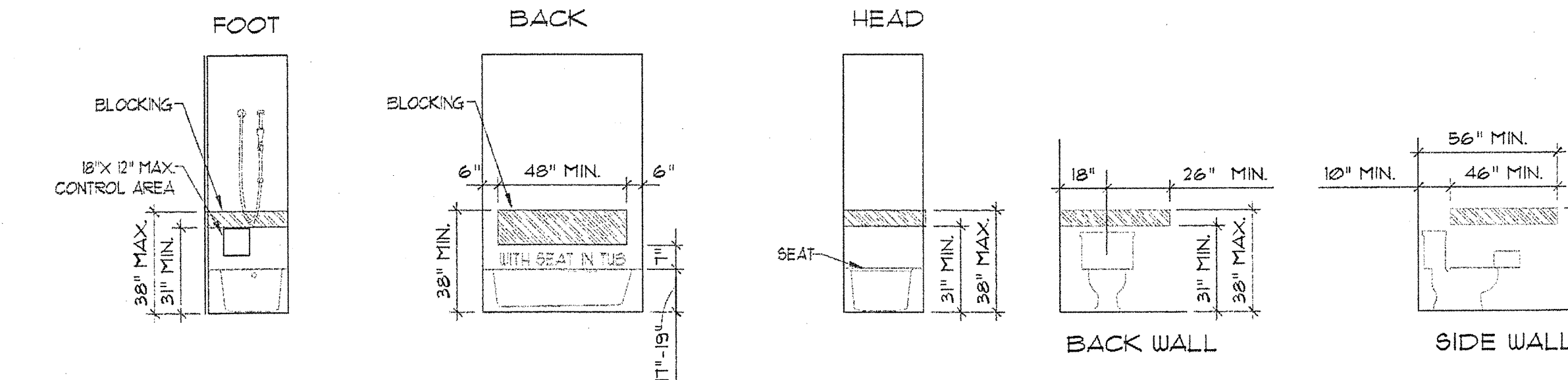
- ALL COVERED MULTIFAMILY DWELLINGS FOR FIRST OCCUPANCY AFTER MARCH 13, 1991 WITH A BUILDING ENTRANCE ON AN ACCESSIBLE ROUTE SHALL BE DESIGNED AND CONSTRUCTED IN SUCH A MANNER THAT:
  - THE PUBLIC AND COMMON USE AREAS ARE READILY ACCESSIBLE TO AND USABLE BY HANDICAP PERSONS;
  - ALL THE DOORS DESIGNED TO ALLOW PASSAGE INTO AND WITHIN ALL PREMISES ARE SUFFICIENTLY WIDE TO ALLOW PASSAGE BY HANDICAP PERSONS IN WHEELCHAIRS; AND
  - ALL PREMISES WITHIN COVERED MULTIFAMILY DWELLING UNITS CONTAIN THE FOLLOWING FEATURES OF ADAPTABLE DESIGN:
    - AN ACCESSIBLE ROUTE INTO AND THROUGH THE COVERED UNIT;
    - LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS IN ACCESSIBLE LOCATIONS;
    - REINFORCEMENT IN BATHROOM WALLS TO ALLOW LATER INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB, SHOWER STALL AND SHOWER SEAT, WHERE SUCH FACILITIES ARE PROVIDED; AND
    - USABLE KITCHENS AND BATHROOMS SUCH THAT AN INDIVIDUAL IN A WHEELCHAIR CAN MANEUVER ABOUT THE SPACE.
- REQUIREMENT 1. ACCESSIBLE BUILDING ENTRANCE ON AN ACCESSIBLE ROUTE. SECTION 100.208(a) COVERED MULTIFAMILY DWELLINGS SHALL BE DESIGNED AND CONSTRUCTED TO HAVE AT LEAST ONE BUILDING (UNIT) ENTRANCE ON AN ACCESSIBLE ROUTE, UNLESS IT IS IMPRACTICAL TO DO SO BECAUSE OF TERRAIN OR UNUSUAL CHARACTERISTICS OF THE SITE.
- REQUIREMENT 2. ACCESSIBLE AND USABLE PUBLIC AND COMMON USE AREAS. SECTION 100.209(a) PROVIDES THAT COVERED MULTIFAMILY DWELLINGS WITH A BUILDING ENTRANCE ON AN ACCESSIBLE ROUTE SHALL BE DESIGNED IN SUCH A MANNER THAT THE PUBLIC AND COMMON USE AREAS ARE READILY ACCESSIBLE TO AND USABLE BY HANDICAP PERSONS.
- REQUIREMENT 3. USABLE DOORS. SECTION 100.209(b) PROVIDES THAT COVERED MULTIFAMILY DWELLINGS WITH A BUILDING ENTRANCE ON AN ACCESSIBLE ROUTE SHALL BE DESIGNED IN SUCH A MANNER THAT ALL DOORS DESIGNED TO ALLOW PASSAGE INTO AND WITHIN ARE SUFFICIENTLY WIDE TO ALLOW PASSAGE BY HANDICAP PERSONS IN WHEELCHAIRS.

- A MINIMUM CLEAR WIDTH OF 36 INCHES IS PROVIDED EXCEPT AS PROVIDED IN PARAGRAPHS (3) AND (4) BELOW. THRESHOLDS AT EXTERIOR DOORS, INCLUDING SLIDING DOOR TRACKS, ARE NO HIGHER THAN 3/4 INCH THRESHOLDS AND CHANGES IN LEVEL AT THESE LOCATIONS ARE BEVELED WITH A SLOPE NO GREATER THAN 1:2.
- EXTERIOR DECK, PATIO OR BALCONY SURFACES ARE NO MORE THAN 1/2 INCH BELOW THE FLOOR LEVEL OF THE INTERIOR OF THE DWELLING UNIT UNLESS THEY ARE CONSTRUCTED OF IMPERVIOUS MATERIAL SUCH AS CONCRETE, BRICK OR FLAGSTONE IN SUCH CASE THE SURFACE IS NO MORE THAN 4 INCHES BELOW THE FLOOR LEVEL OF THE INTERIOR UNIT, OR LOWER IF REQUIRED BY CODE.
- AT THE PRIMARY ENTRY DOOR TO DWELLING UNITS WITH DIRECT EXTERIOR ACCESS, OUTSIDE LANDING SURFACES CONSTRUCTED OF IMPERVIOUS MATERIALS SUCH AS CONCRETE, BRICK OR FLAGSTONE ARE NO MORE THAN 1/2 INCH BELOW THE FLOOR LEVEL OF THE INTERIOR OF THE DWELLING UNIT. THE MINIMUM CLEARANCE OF THIS AREA THAT IS LOCATED IMMEDIATELY OUTSIDE THE ENTRY MAY BE SLOPED, UP TO 1/8 INCH PER 12 INCHES, FOR DRAINAGE.
- REQUIREMENT 3. LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS IN ACCESSIBLE LOCATIONS. SECTION 100.208(a)(3)(iv) REQUIRES THAT ALL COVERED MULTIFAMILY DWELLINGS WITH A BUILDING ENTRANCE ON AN ACCESSIBLE ROUTE SHALL BE DESIGNED AND CONSTRUCTED IN SUCH A MANNER THAT ALL PREMISES WITHIN COVERED MULTIFAMILY UNITS CONTAIN LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS.

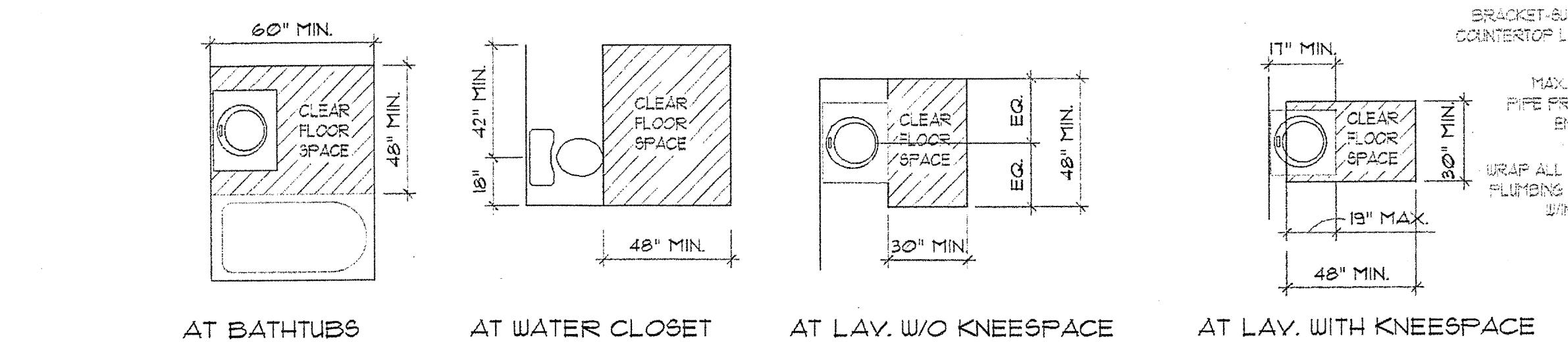
- IN U-SHAPED KITCHENS WITH ONE OR RANGE OR COOK TOP AT THE BASE OF THE 'U', A 60" TURNING RADIUS IS PROVIDED TO ALLOW PARALLEL APPROACH, OR BASE CABINETS ARE REMOVABLE AT THAT LOCATION TO ALLOW ONE SPACE FOR A FORWARD APPROACH.
- ALL BATHROOMS IN THE DWELLING UNIT COMPLY WITH THE PROVISIONS OF PARAGRAPH (A), OR AT LEAST ONE BATHROOM IN THE DWELLING UNIT COMPLIES WITH THE PROVISIONS OF PARAGRAPH (B) AND ALL OTHER BATHROOMS AND POWDER ROOMS WITHIN THE DWELLING UNIT MUST BE ON AN ACCESSIBLE ROUTE WITH USABLE ENTRY DOORS IN ACCORDANCE WITH THE GUIDELINES FOR REQUIREMENTS 3 AND 4.
- HOWEVER, IN MULTISTORY DWELLING UNITS, ONLY THOSE BATHROOMS ON ACCESSIBLE LEVELS ARE SUBJECT TO THE REQUIREMENTS OF SECTION 100.209(a)(3)(iv).
- BATHROOMS THAT HAVE REINFORCED WALLS FOR GRAB BARS WOULD MEET SECTION 100.209(a)(3)(iv) IF:
  - SUFFICIENT MANEUVERING SPACE IS PROVIDED WITHIN THE BATHROOM FOR PERSON USING A WHEELCHAIR OR OTHER MOBILITY AID TO ENTER AND CLOSE THE DOOR, USE THE FIXTURES, REOPEN THE DOOR AND EXIT. DOORS MAY SWING INTO THE CLEAR FLOOR SPACE PROVIDED AT ANY FIXTURE IF THE MANEUVERING SPACE IS PROVIDED. MANEUVERING SPACES MAY INCLUDE ANY KNEESPACE OR TOE SPACE AVAILABLE BELOW BATHROOM FIXTURES.
  - CLEAR FLOOR SPACE IS PROVIDED AT FIXTURES. CLEAR FLOOR SPACES AT FIXTURES MAY OVERLAP.



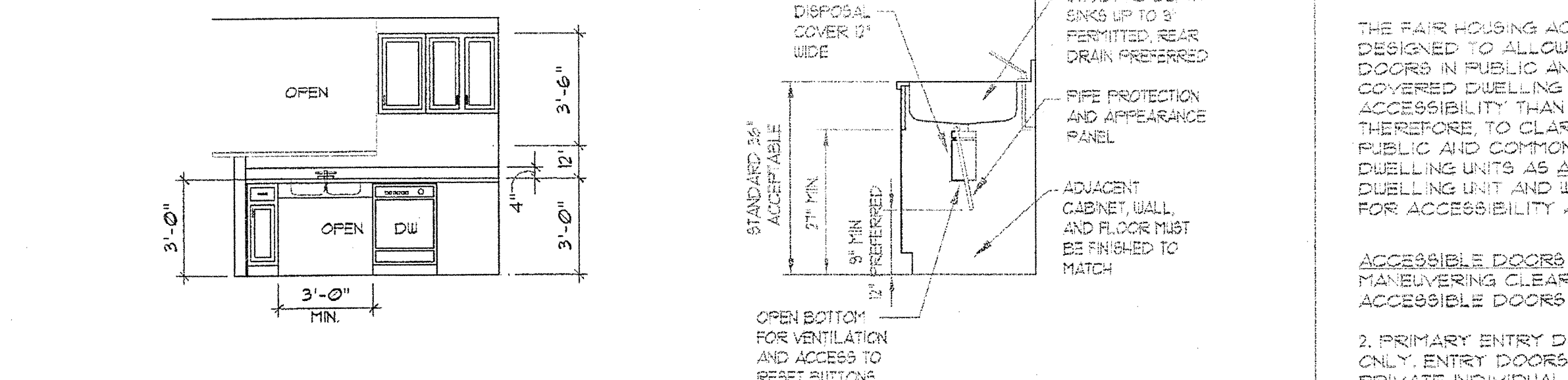
1 GRAB BAR INSTALLATION LOCATIONS  
SCALE: 1/4"=1'-0"



2 GRAB BAR REINFORCING LOCATIONS  
SCALE: 1/4"=1'-0"



3 CLEAR FLOOR SPACE AT HANDICAP BATHROOM  
SCALE: 1/4"=1'-0"



4 TYPICAL HANDICAP KITCHEN SINK ELEVATION  
SCALE: 1/4"=1'-0"

## REVISION SUMMARY

A OTHER COMMENTS

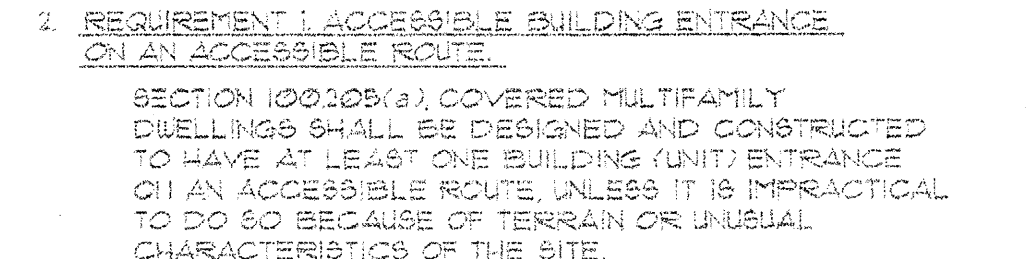
## FHA USABLE DOORS

CHAPTER THREE REQUIREMENT 3 USABLE DOORS  
FAIR HOUSING ACT AND THE GUIDELINES COVER ALL THE DOORS DESIGNED TO ALLOW PASSAGE INTO AND WITHIN ALL THE PREMISES HOWEVER DOORS IN PUBLIC AND COMMON USE AREAS AND PRIMARY ENTRY DOORS OF COVERED DWELLING UNITS MUST MEET MORE STRINGENT REQUIREMENTS FOR ACCESSIBILITY THAN DOORS THAT ARE LOCATED INSIDE EACH DWELLING UNIT. THEREFORE, TO CLARIFY THIS DIFFERENCE, THIS CHAPTER REFERS TO DOORS IN PUBLIC AND COMMON USE AREAS AND PRIMARY ENTRY DOORS OF COVERED DWELLING UNITS AS ACCESSIBLE DOORS. DOORS WHICH ARE INTERIOR TO THE DWELLING UNIT AND WHICH ARE SUBJECT TO LESS STRINGENT REQUIREMENTS FOR ACCESSIBILITY ARE REFERRED TO AS USABLE DOORS.

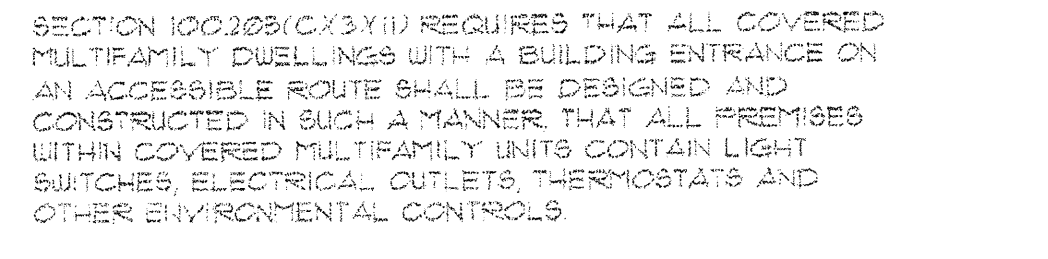
ACCESSIBLE DOORS MUST MEET ANS 413 REQUIREMENTS FOR CLEAR WIDTH, MANEUVERING CLEARANCES, THRESHOLDS, HARDWARE AND OPENING FORCE ACCESSIBLE DOORS ARE:

- PRIMARY ENTRY DOORS TO COVERED DWELLING UNITS - EXTERIOR SIDE ONLY. ENTRY DOORS MAY OPEN FROM A CORRIDOR OR LOBBY OR CAN BE PRIVATE INDIVIDUAL ENTRY DOORS ACCESSIBLE DIRECTLY FROM THE OUTSIDE.

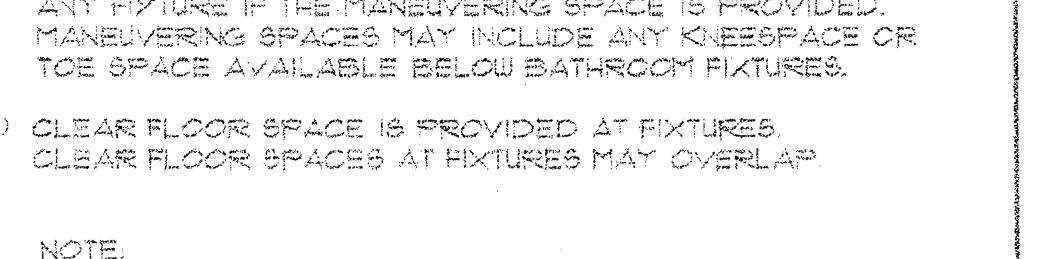
USABLE DOORS ARE DOORS WITHIN THE DWELLING UNIT INTENDED FOR USER PASSAGE AND MUST BE USABLE IN TERMS OF CLEAR OPENING WIDTH, DOORS WITHIN THE UNIT ARE NOT REQUIRED TO MEET ANS 413 DOORS REQUIREMENT FOR MANEUVERING CLEARANCES, HARDWARE AND OPENING FORCE, BUT BECAUSE AN ACCESSIBLE ROUTE MUST BE PROVIDED WITHIN THE UNIT, THRESHOLDS MUST BE LOW OR NONEXISTENT, SEE CHAPTER FOUR, "ACCESSIBLE ROUTE INTO AND THROUGH THE COVERED DWELLING UNIT."



5 TYPICAL UNIT  
SCALE: 1/4"=1'-0"



6 TYPICAL UNIT  
SCALE: 1/4"=1'-0"



7 TYPICAL UNIT - MEZZANINE LEVEL  
SCALE: 1/4"=1'-0"

NOTE: A 24-INCH DOOR HUNG IN THE STANDARD MANNER PROVIDES AN ACCEPTABLE 32-INCH CLEAR OPENING. THIS DOOR CAN BE ADAPTED TO PROVIDE A WIDER OPENING BY USING OFFSET HINGES, BY REMOVING LOWER PORTIONS OF THE DOOR STOP, OR BOTH. POCKET OR SLIDING DOORS ARE ACCEPTABLE IN COVERED DWELLING UNITS AND HAVE THE ADDED ADVANTAGE OF NOT IMPINGING ON CLEAR FLOOR SPACE IN SMALL ROOMS. THE NOMINAL 32-INCH CLEAR OPENING PROVIDED BY A STANDARD SIX-FOOT SLIDING PATIO DOOR ASSEMBLY IS ACCEPTABLE.

REINFORCED BATHROOM WALLS TO ALLOW LATER INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB, SHOWER STALL AND SHOWER SEAT, WHERE SUCH FACILITIES ARE PROVIDED. REINFORCED BATHROOM WALLS TO ALLOW LATER INSTALLATION OF GRAB BARS AROUND TOILET, TUB, SHOWER STALL AND SHOWER SEAT, WHERE SUCH FACILITIES ARE PROVIDED.

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REQUIREMENT 4. ACCESSIBLE ROUTE INTO AND THROUGH THE COVERED DWELLING. SECTION 100.209(b)(2)(x) PROVIDES THAT ALL COVERED MULTIFAMILY DWELLINGS WITH A BUILDING ENTRANCE ON AN ACCESSIBLE ROUTE SHALL BE DESIGNED AND CONSTRUCTED IN SUCH A MANNER THAT ALL PREMISES WITHIN COVERED MULTIFAMILY UNITS CONTAIN AN ACCESSIBLE ROUTE INTO AND THROUGH THE COVERED DWELLING UNIT. ACCESSIBLE ROUTES INTO AND THROUGH DWELLING UNITS WOULD MEET SECTION 100.209(a)(3)(iv) IF:

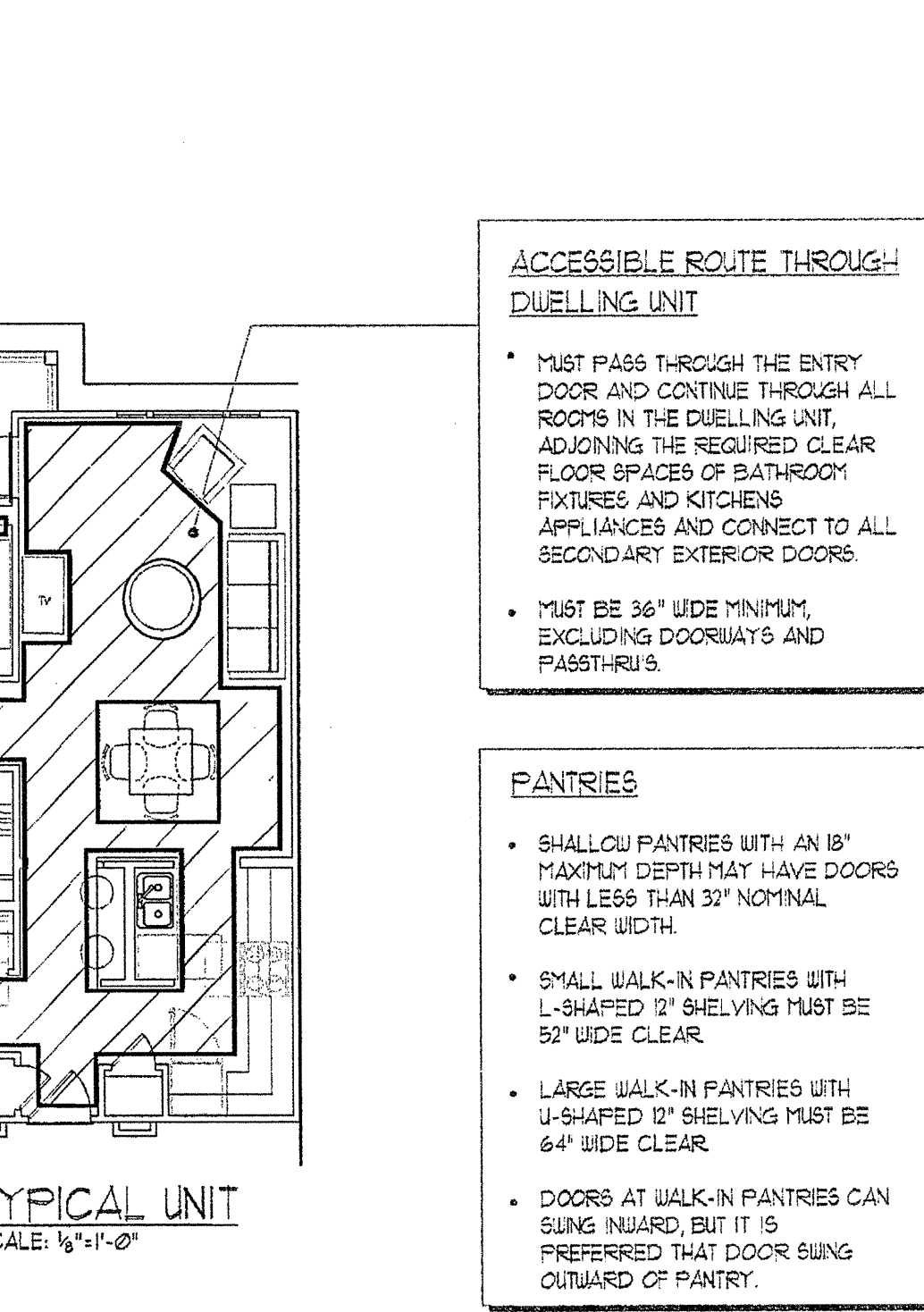
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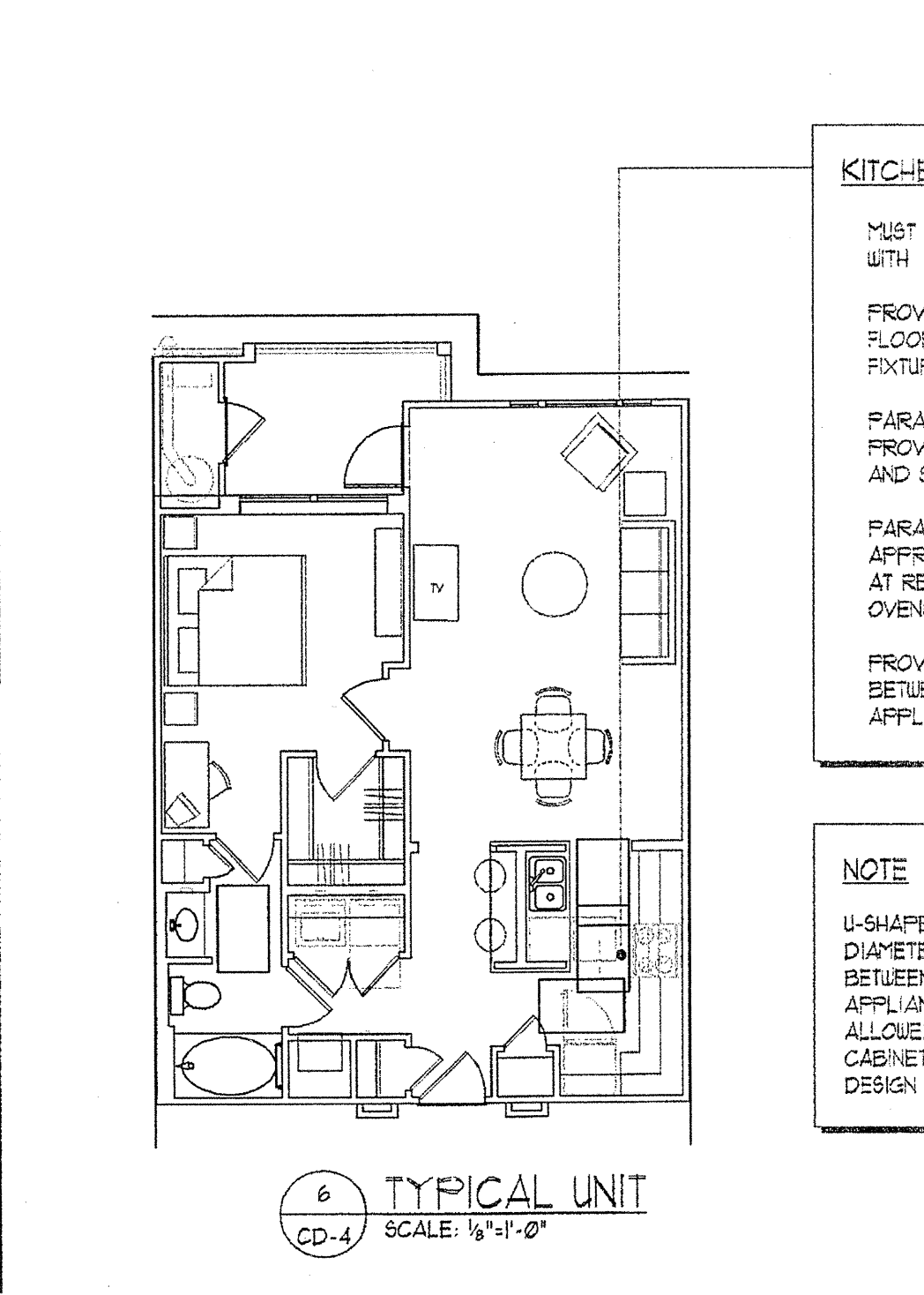
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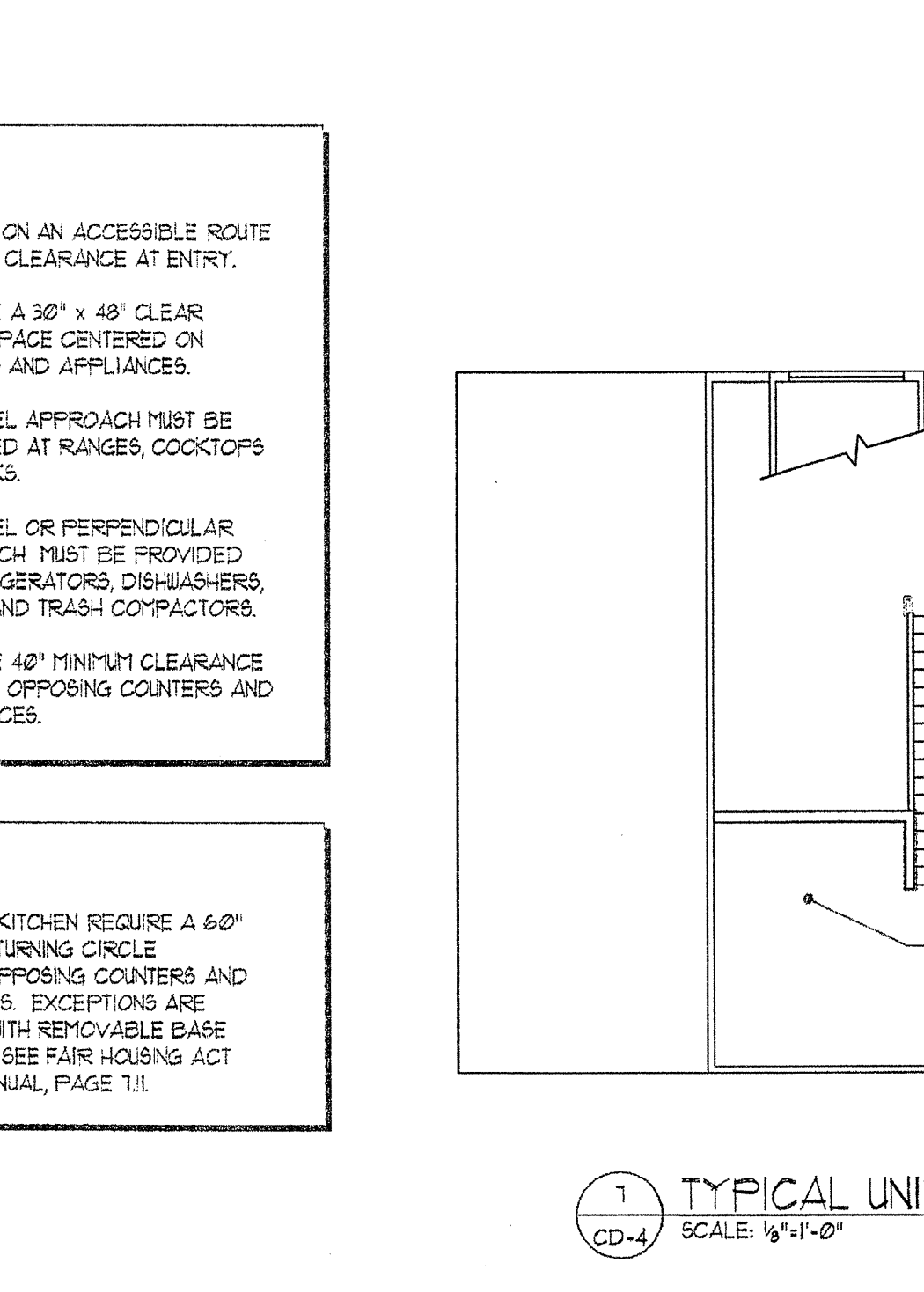
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5 TYPICAL UNIT  
SCALE: 1/4"=1'-0"



6 TYPICAL UNIT  
SCALE: 1/4"=1'-0"



7 TYPICAL UNIT - MEZZANINE LEVEL  
SCALE: 1/4"=1'-0"

**MULTISTORY DWELLING UNITS**

- MULTISTORY DWELLING UNITS IN BUILDINGS WITHOUT ONE OR MORE ELEVATORS ARE NOT COVERED BY THE FAIR HOUSING ACT.
- THE LEVEL THAT IS SERVED BY THE ELEVATOR MUST BE THE PRIMARY ENTRY INTO THE UNIT.
- THE LEVEL THAT IS SERVED BY THE ELEVATOR MUST CONTAIN A USABLE POWDER ROOM OR BATHROOM.
- ALL ROOMS LOCATED ON THE LEVEL SERVED BY THE ELEVATOR MUST COMPLY WITH FAIR HOUSING ACT REQUIREMENTS.

**KITCHEN**

- MUST BE ON AN ACCESSIBLE ROUTE WITH 32" CLEARANCE AT ENTRY.
- PROVIDE A 36" X 48" CLEAR FLOOR SPACE CENTERED ON FIXTURES AND APPLIANCES.
- PARALLEL APPROACH MUST BE PROVIDED AT RANGES, COOKTOPS AND SINKS.
- PARALLEL OR PERPENDICULAR APPROACH MUST BE PROVIDED AT REFRIGERATORS, DISHWASHERS, OVENS, AND TRASH COMPACTORS.
- PROVIDE 48" MINIMUM CLEARANCE BETWEEN OPPOSING COUNTERS AND APPLIANCES.

**NOTE**

- U-SHAPED KITCHENS REQUIRE A 60" DIAMETER TURNING CIRCLE BETWEEN OPPOSING COUNTERS AND APPLIANCES. EXCEPTIONS ARE ALLOWED WITH REMOVABLE BASE CABINETS. SEE FAIR HOUSING ACT DESIGN MANUAL, PAGE 111.

**MEZZANINE AREAS**

- SECONDARY LIVING SPACES ARE PERMITTED SUCH AS A DEN OR PLAY AREA.
- MEZZANINE SPACES ABOVE FUNCTIONAL SPACE AND WITHIN AND OPEN TO THE SAME ROOM ARE NOT REQUIRED TO BE ON AN ACCESSIBLE ROUTE.

**BATHROOMS**

- MUST BE ON AN ACCESSIBLE ROUTE WITH 32" CLEARANCE AT ENTRY.
- PROVIDE A 36" X 48" CLEAR FLOOR SPACE OUTSIDE SWING OF DOOR AS IT IS CLOSED.
- BLOCKING MUST BE PROVIDED AT ALL TUB, SHOWER AND TOILET LOCATIONS. (SEE FAIR HOUSING ACT DESIGN MANUAL, CHAPTER 6)

**TOILETS**

- CLEAR FLOOR SPACE AT TOILETS VARIES DEPENDING UPON BATH LAYOUT. (SEE FAIR HOUSING ACT DESIGN GUIDELINES, PAGE 143)
- THE BACK WALL OF THE TOILET MUST BE 33" WIDE MINIMUM.
- LAVATORY OR SINK WALLS ADJACENT TO TOILETS MUST NOT PROJECT MORE THAN 24"

**LAVATORIES**

- PARALLEL APPROACH 36" X 48" CLEAR FLOOR SPACE, REQUIRED 24" FROM WALL TO CENTERLINE OF BASIN.
- PERPENDICULAR APPROACH 36" X 48" CLEAR FLOOR SPACE, REQUIRED A KNEE SPACE OR REMOVABLE VANITY CABINET AND 15" MINIMUM FROM WALL TO CENTERLINE OF BASIN.
- DOUBLE BASINS MUST BE 12" LONG MINIMUM.
- AT PEDESTAL SINKS, PROVIDE A 36" X 48" CLEAR FLOOR SPACE WITH PARALLEL APPROACH.

**BATHTUBS**

- CLEAR FLOOR SPACE AT BATHTUBS VARIES DEPENDING UPON BATH LAYOUT. (SEE FAIR HOUSING ACT DESIGN GUIDELINES, PAGE 133)

**SHOWERS**

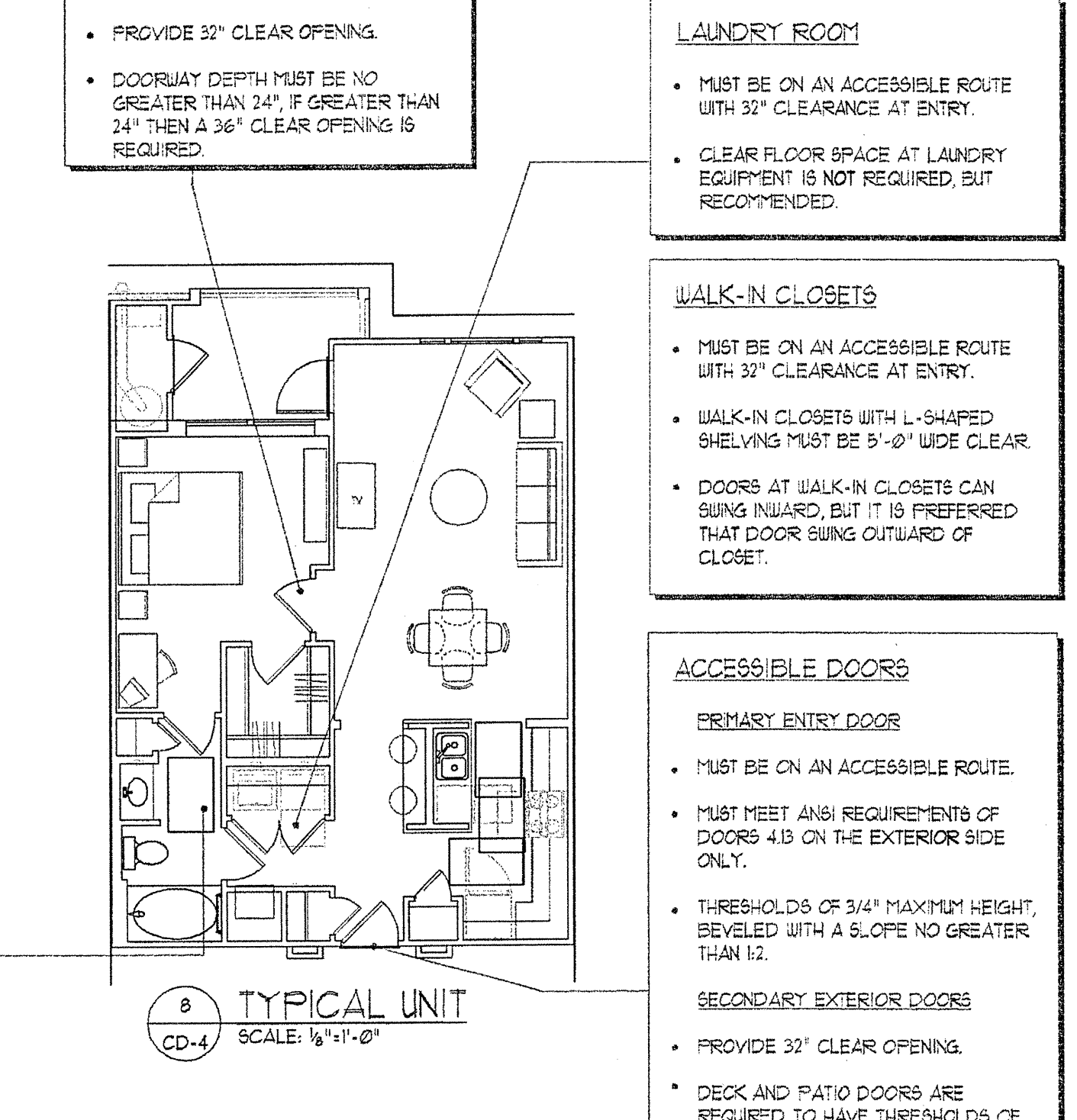
- CLEAR FLOOR SPACE AT SHOWERS VARIES DEPENDING UPON BATH LAYOUT. (SEE FAIR HOUSING ACT DESIGN GUIDELINES, PAGE 136)

**POWDER ROOMS**

- MUST BE ON AN ACCESSIBLE ROUTE WITH 32" CLEARANCE AT ENTRY.
- FIXTURES ARE NOT REQUIRED TO MEET CLEAR FLOOR SPACE REQUIREMENTS UNLESS IT IS THE ONLY TOILET FACILITY IN A MULTISTORY DWELLING UNIT WITH ONE OR MORE ELEVATORS.

**LINEN CLOSETS**

- SHALLOW LINEN CLOSETS WITH AN 18" MAXIMUM DEPTH MAY HAVE DOORS WITH LESS THAN 32" NOMINAL CLEAR WIDTH.



8 TYPICAL UNIT  
SCALE: 1/4"=1'-0"

**USABLE DOORS**

- DOORS WITHIN A DWELLING UNIT ARE NOT REQUIRED TO MEET ANS 413.
- PROVIDE 32" CLEAR OPENING.
- DOORWAY DEPTH MUST BE NO GREATER THAN 24" IF GREATER THAN 24" THEN A 36" CLEAR OPENING IS REQUIRED.

**LAUNDRY ROOM**

- MUST BE ON AN ACCESSIBLE ROUTE WITH 32" CLEARANCE AT ENTRY.
- CLEAR FLOOR SPACE AT LAUNDRY EQUIPMENT IS NOT REQUIRED, BUT RECOMMENDED.

**WALK-IN CLOSETS**

- MUST BE ON AN ACCESSIBLE ROUTE WITH 32" CLEARANCE AT ENTRY.
- WALK-IN CLOSETS WITH U-SHAPED SHELVING MUST BE 3'-0" WIDE CLEAR.
- DOORS AT WALK-IN CLOSETS CAN SWING INWARD, BUT IT IS PREFERRED THAT DOOR SWING OUTWARD OF CLOSET.

**ACCESSIBLE DOORS**

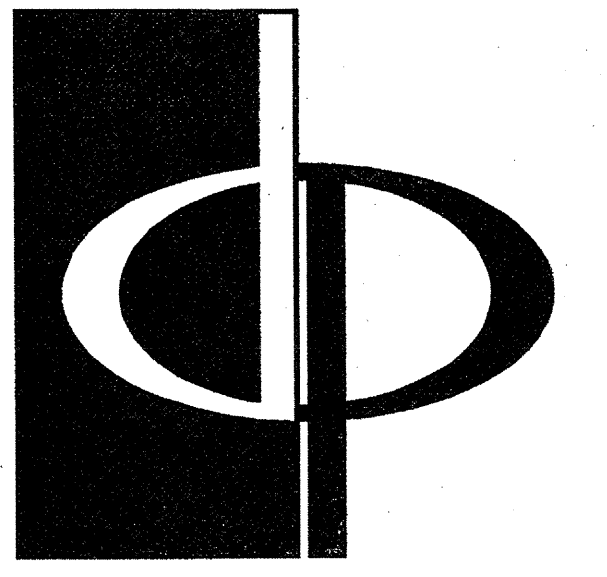
**PRIMARY ENTRY DOOR**

- MUST BE ON AN ACCESSIBLE ROUTE.
- MUST MEET ANS REQUIREMENTS OF DOORS 413 ON THE EXTERIOR SIDE ONLY.

**SECONDARY EXTERIOR DOORS**

- PROVIDE 32" CLEAR OPENING.

**DECK AND PATIO DOORS ARE REQUIRED TO HAVE THRESHOLDS OF 3/4" MAXIMUM HEIGHT, BEVELED WITH A SLOPE NO GREATER THAN 1:2, UNLESS THE SURFACE OF THE DECK OR PATIO IS OF AN IMPERVIOUS MATERIAL SUCH AS BRICK, CONCRETE, ETC., THEN A 4" MAXIMUM STEP IS ALLOWED.**



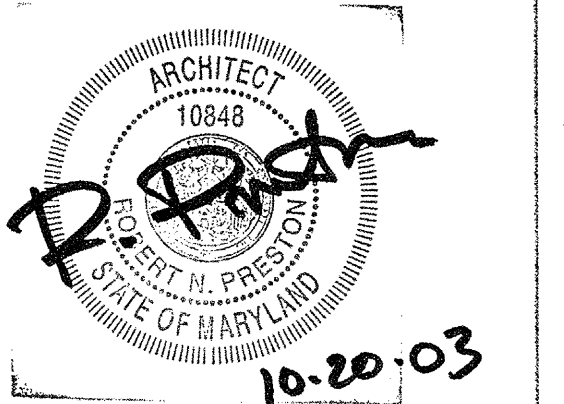
THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
FAX: 770 396 2945

WWW.THEPRESTONPARTNERSHIP.COM

CONSULTANT

SEAL



PROJECT

ARCHSTONE  
KENTLANDS  
345 QUINCY CIRCLE ROAD  
GATHERSBURG, MARYLAND

FOR

ARCHSTONE  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3333

REVISIONS  
RELEASED FOR CONSTRUCTION 01/31/03

DATE 01/31/03

JOB NUMBER 0211208

DRAWN BY TJB

CHECKED BY

DRAWING TITLE FAIR HOUSING ACT CODE DATA

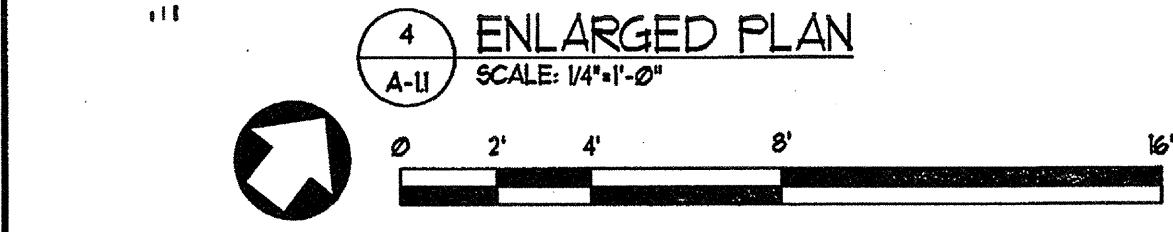
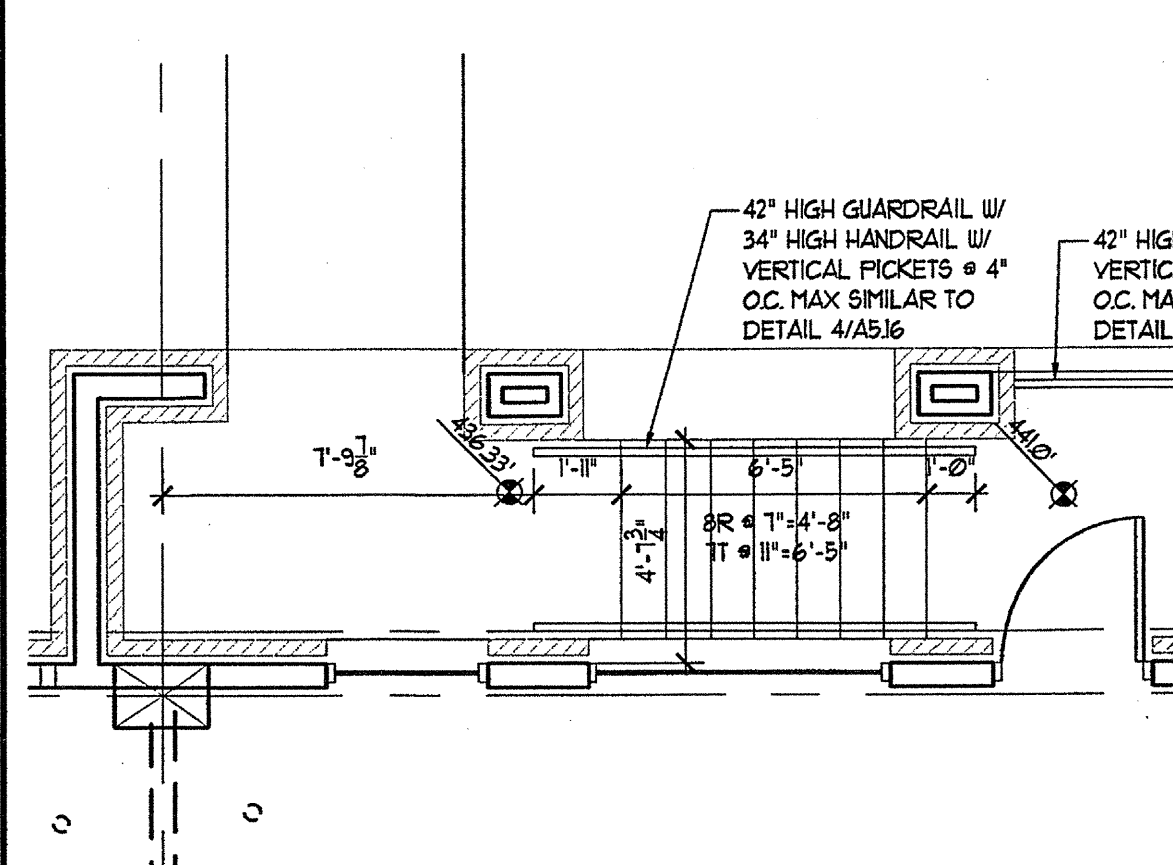
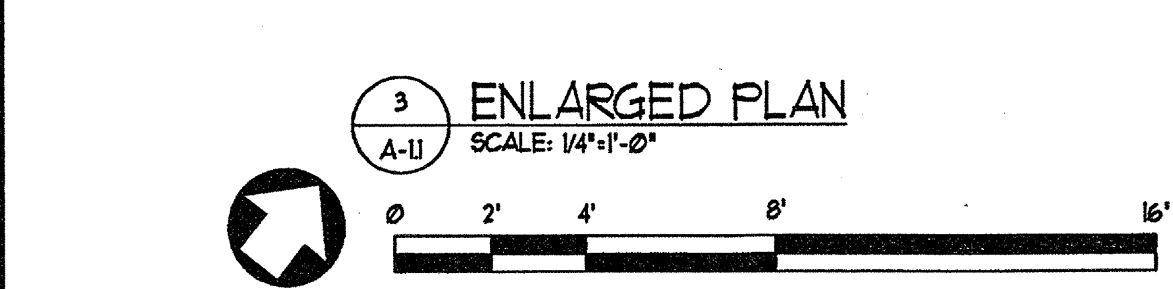
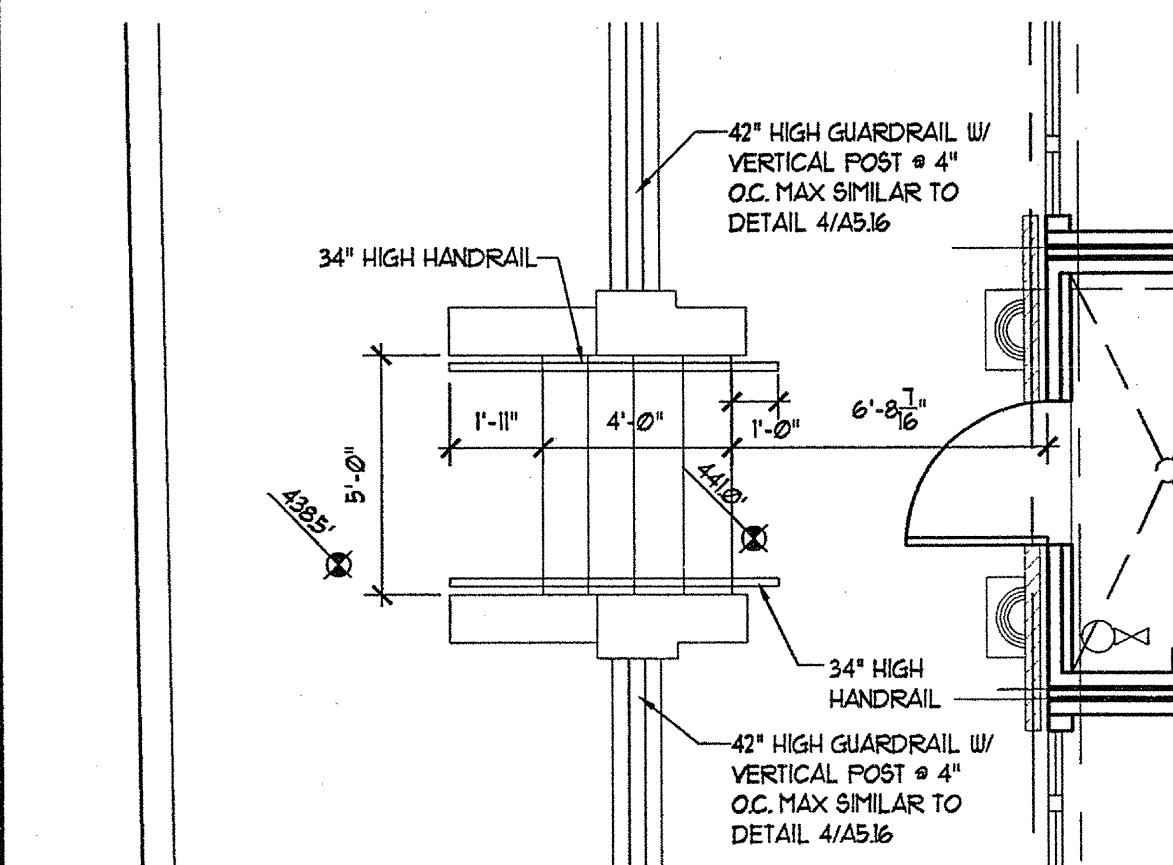
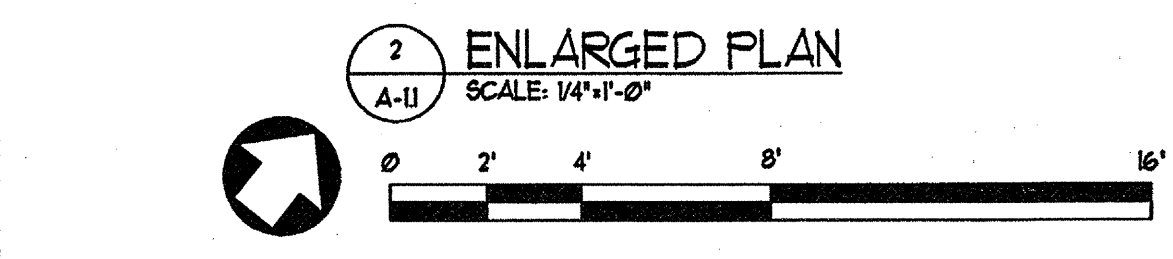
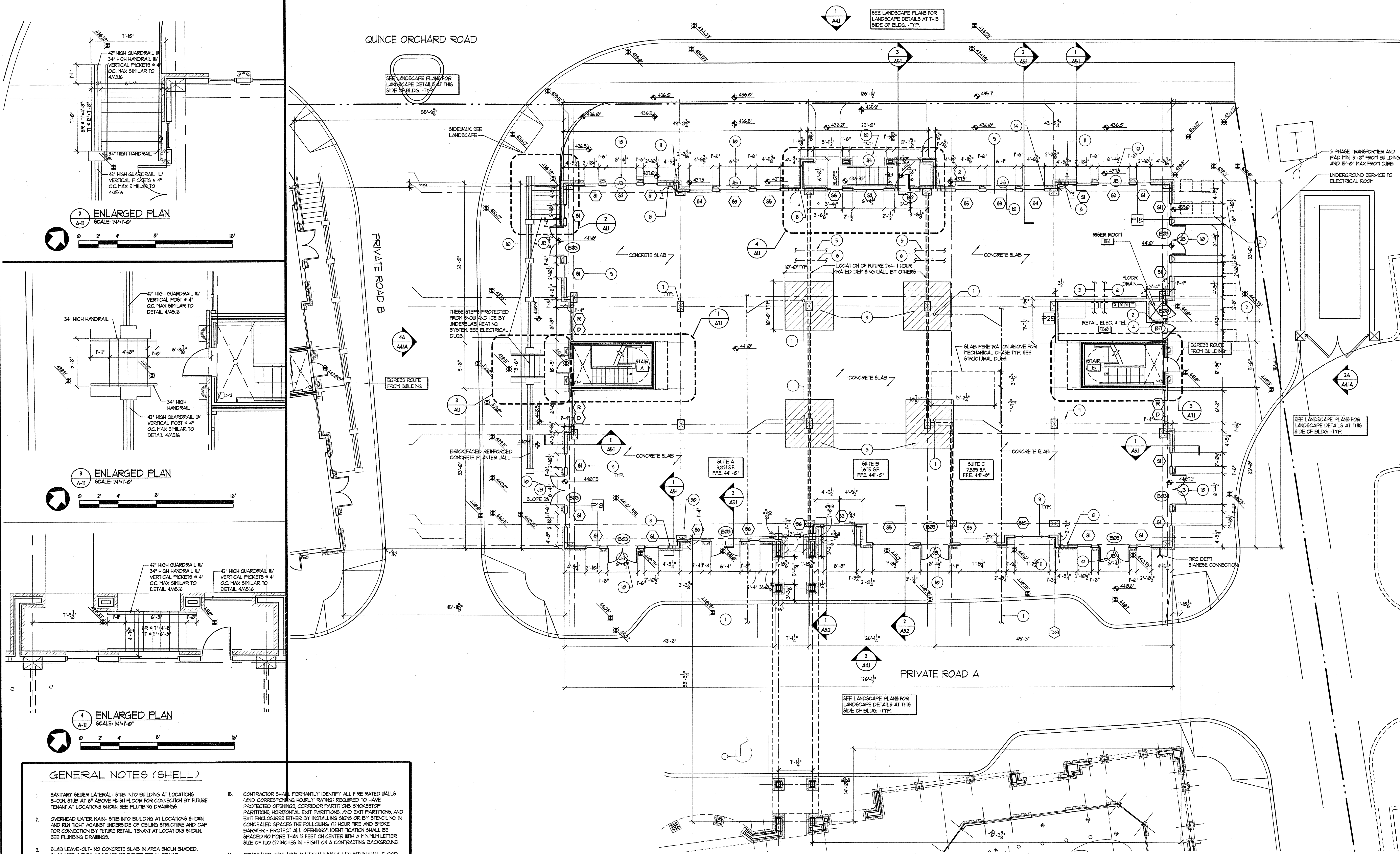
DRAWING NUMBER CD-7

COMMENTS









**GENERAL NOTES (SHELL)**

1. SANITARY SEWER LATERAL - STUB INTO BUILDING AT LOCATIONS SHOWN. STUB AT 6" ABOVE FINISH FLOOR FOR CONNECTION BY FUTURE TENANT AT LOCATIONS SHOWN. SEE PLUMBING DRAWINGS.
2. OVERHEAD WATER MAIN - STUB INTO BUILDING AT LOCATIONS SHOWN AND RUN TIGHT AGAINST UNDERSIDE OF CEILING STRUCTURE AND CAP FOR CONNECTION BY FUTURE RETAIL TENANT AT LOCATIONS SHOWN. SEE PLUMBING DRAWINGS.
3. SLAB LEAVE-OUT - NO CONCRETE SLAB IN AREA SHOWN SHADED. SLAB LEFT OUT TO ACCOMMODATE FUTURE RETAIL TENANT UNDERGROUNDS PIPING.
4. FIRE PROTECTION RISER - FIRE PROTECTION SYSTEM SHALL BE INSTALLED COMPLETELY AND TIGHT AGAINST UNDERSIDE OF STRUCTURE ABOVE TURN ALL HEADS UP PER LOCAL CODE.
5. ELECTRICAL CONDUIT - (2) 3" CONDUITS STUBBED INTO RETAIL SPACE 8" BELOW STRUCTURE FOR FUTURE RETAIL TENANT CONNECTION AND RUN OVERHEAD TO METERBANK LOCATION. SEE ELECTRICAL DRAWINGS.
6. TELEPHONE CONDUIT - 1" CONDUIT STUBBED INTO RETAIL SPACE 8" BELOW STRUCTURE FOR FUTURE RETAIL TENANT CONNECTION AND RUN OVERHEAD TO TELEPHONE CABINET. SEE ELECTRICAL DRAWINGS.
7. COLUMN - SEE STRUCTURAL DRAWINGS.
8. FRESH AIR LOUVER - ARCHITECTURAL GRILL IN EXTERIOR WALL TO PROVIDE FRESH AIR INTAKE FOR FUTURE HVAC SYSTEM FOR FUTURE RETAIL TENANT. SEE MECHANICAL DRAWINGS AND ARCHITECTURAL ELEVATIONS. SIZE TO BE 12" HIGH BY 24" WIDE.
9. STOREFRONT SYSTEM - FINISH SCHEDULE AND EXTERIOR ELEVATIONS. TYPE 'C', 5/8" GYPSUM BOARD AT INTERIOR OF ALL STOREFRONTS, ABOVE AND BELOW STOREFRONT WHERE APPLICABLE.
10. JUNCTION BOX - JUNCTION BOX AT STOREFRONT FOR FUTURE CONNECTION TO TENANT SIGN. PROVIDE 1/2" CONDUIT WITH PULL STRING AND STUB 6'-0" INSIDE OF RETAIL SPACE.
11. HOSE-BIB - NON-FREEZE HOSE BIBS MOUNTED AT 24" AFF. SEE PLUMBING DRAWINGS.
12. FIRE EXTINGUISHER - MIN SIZE 2 A 10 BC. TOP HANDLE TO BE 48" AFF. MAX.
13. REFRIGERANT CONDUIT - 2" CONDUIT RUN UNDERGROUND AND STUBBED UP IN RETAIL SPACES AT 6" AFF FOR CONNECTION TO HVAC SYSTEM FOR FUTURE RETAIL TENANT.
14. LIGHT FIXTURES -
15. CONTRACTOR SHALL PERMANENTLY IDENTIFY ALL FIRE RATED WALLS (AND CORRESPONDING HOURLY RATINGS) REQUIRED TO HAVE PROTECTED OPENINGS, CORRIDOR PARTITIONS, SMOKESTOP PARTITIONS, HORIZONTAL EXIT PARTITIONS, AND EXIT ENCLOSURES EITHER BY INSTALLING SIGNS OR BY STENCILING IN CONCEALED SPACES THE FOLLOWING: (1) HOUR FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS. IDENTIFICATION SHALL BE SPACED NO MORE THAN 18" FEET ON CENTER WITH A MINIMUM LETTER SIZE OF TWO (2) INCHES IN HEIGHT ON A CONTRASTING BACKGROUND.
16. CONCEALED INSULATING MATERIALS INSTALLED WITHIN WALL, FLOOR ROOF, AND CEILING CAVITIES IN BUILDING OF ANY CONSTRUCTION TYPE SHALL HAVE A FLAMESPREAD RATING NO GREATER THAN 75 AND A SMOKE DEVELOPED RATING NO GREATER THAN 450 AS DETERMINED IN ACCORDANCE WITH ASTM E 84.
17. ADDRESS SHALL BE DISPLAYED ON STOREFRONT.

**LEGEND**

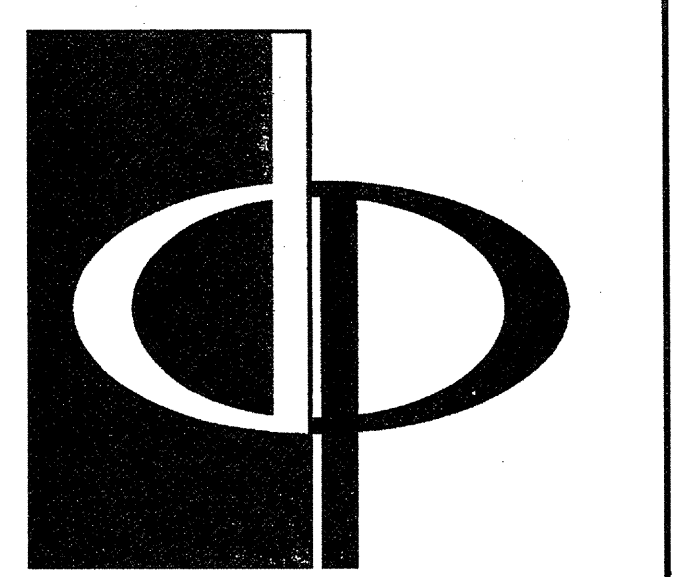
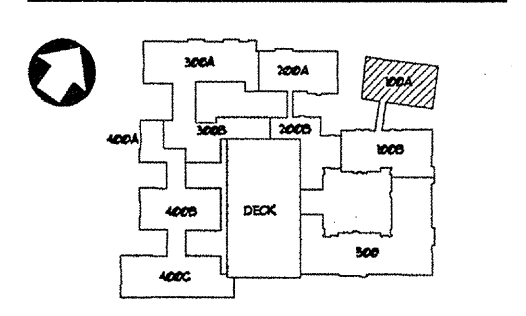
TC	TELEPHONE CABINET
NFB	NON-FREEZE HOSE BIBS (SEE PLUMBING DRAWINGS)
SS	SANITARY SEWER LINE
DW	DOMESTIC WATER LINE
EM	ELECTRIC METER (BANK)
EW	ELECTRIC WATER COOLER
CJ	CONTROL JOINT IN SLAB
TR	TRANSFORMER & CONC. PAD BY UTILITY COMPANY
D	DUMPSTER & CONC. PAD (SEE CIVIL DWS. FOR EXACT LOCATIONS)
CP	CONCRETE PAVING AREA (SEE CIVIL DWS.)

SEE CIVIL DRAWINGS FOR CURB AND BACK OF CURB LOCATIONS. SEE LANDSCAPE DRAWINGS FOR SIDEWALK BETWEEN BUILDING AND BACK OF CURB EXCEPT WHERE SIDEWALKS/EXTERIOR STAIRS ARE SPECIFICALLY DETAILED ON ARCHITECTURAL DRAWINGS.

**BUILDING 100A - LEVEL 1**  
SCALE: 1/8" = 1'-0"

**REVISION #10 SUMMARY**  
A. MOVED RETAIL SKIN

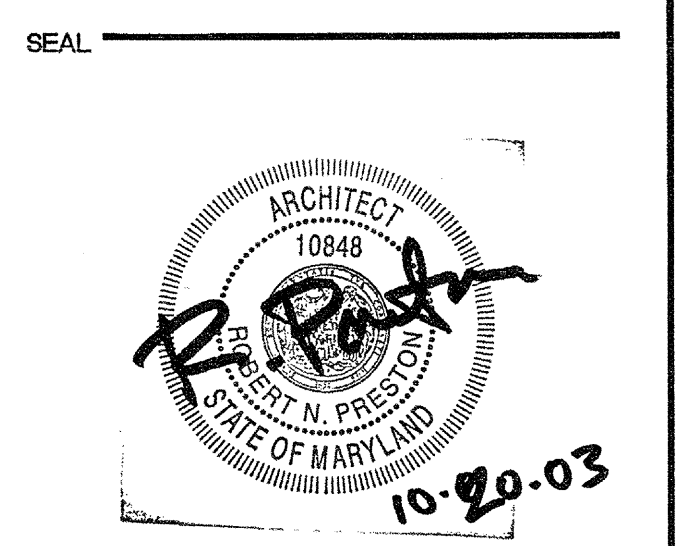
**KEY PLAN**



**THE PRESTON PARTNERSHIP, LLC**  
A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
FAX: 770 396 2945

WWW.THEPRESTONPARTNERSHIP.COM  
CONSULTANT



PROJECT  
**ARCHSTONE KENTLANDS**  
949 QUINCE ORCHARD ROAD  
GATHERERSBURG, MARYLAND

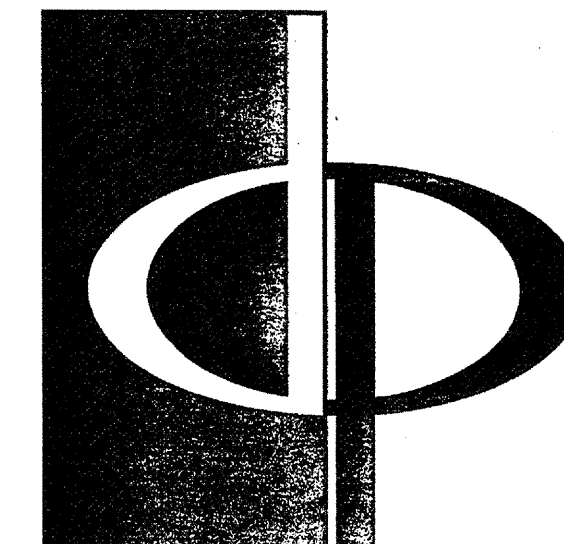
FOR  
**ARCHSTONE COMMUNITIES**  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS  
RELEASED FOR CONSTRUCTION 07/18/03  
TOP FOR REVIEW COMMENTS 07/18/03

DATE \_\_\_\_\_  
JOB NUMBER 01/31/03  
DRAWN BY 02/11/03  
CHECKED BY \_\_\_\_\_  
DRAWING TITLE BUILDING 100A LEVEL ONE  
DRAWING NUMBER \_\_\_\_\_  
COMMENTS A-1.1







THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
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FAX: 770 396 2945

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CONSULTANT

SEAL



PROJECT

ARCHSTONE  
KENTLANDS  
949 QUINCE ORCHARD ROAD  
GAITHERSBURG, MARYLAND

FOR

**ARCHSTONE**  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3553

REVISIONS

RELEASED FOR CONSTRUCTION 07/16/03

DATE 07/31/03

JOB NUMBER 021102

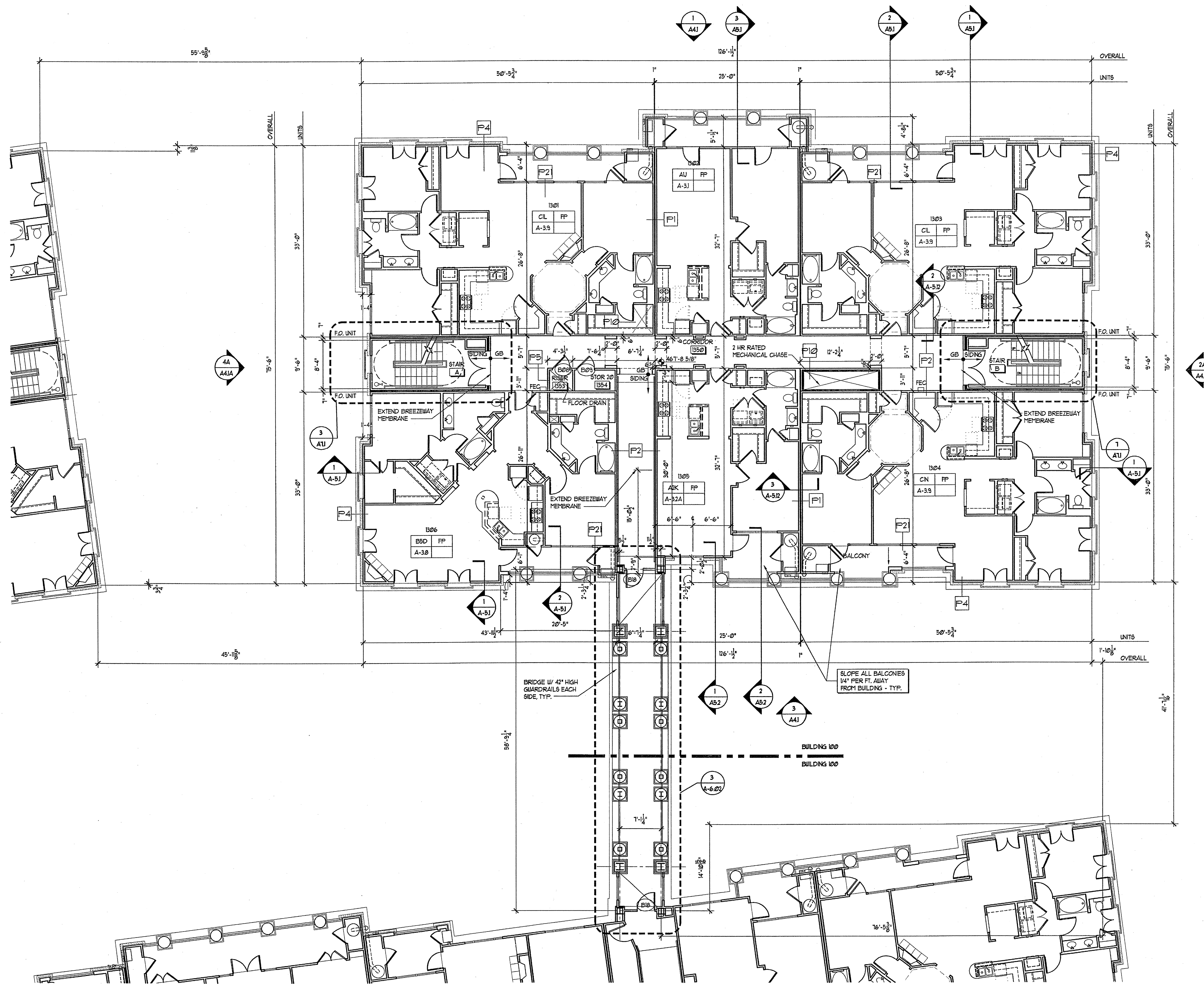
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CHECKED BY

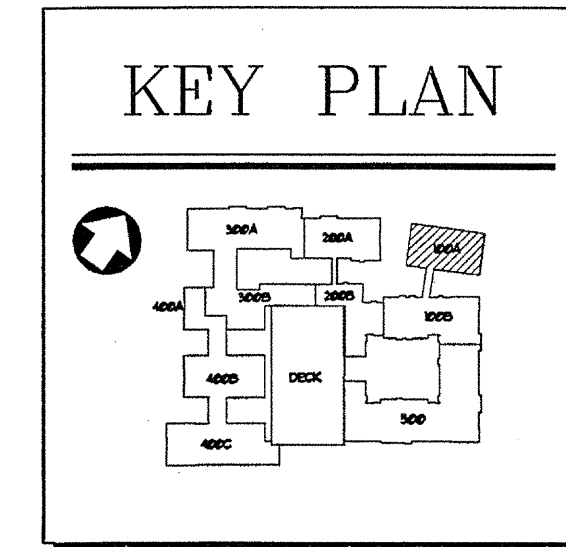
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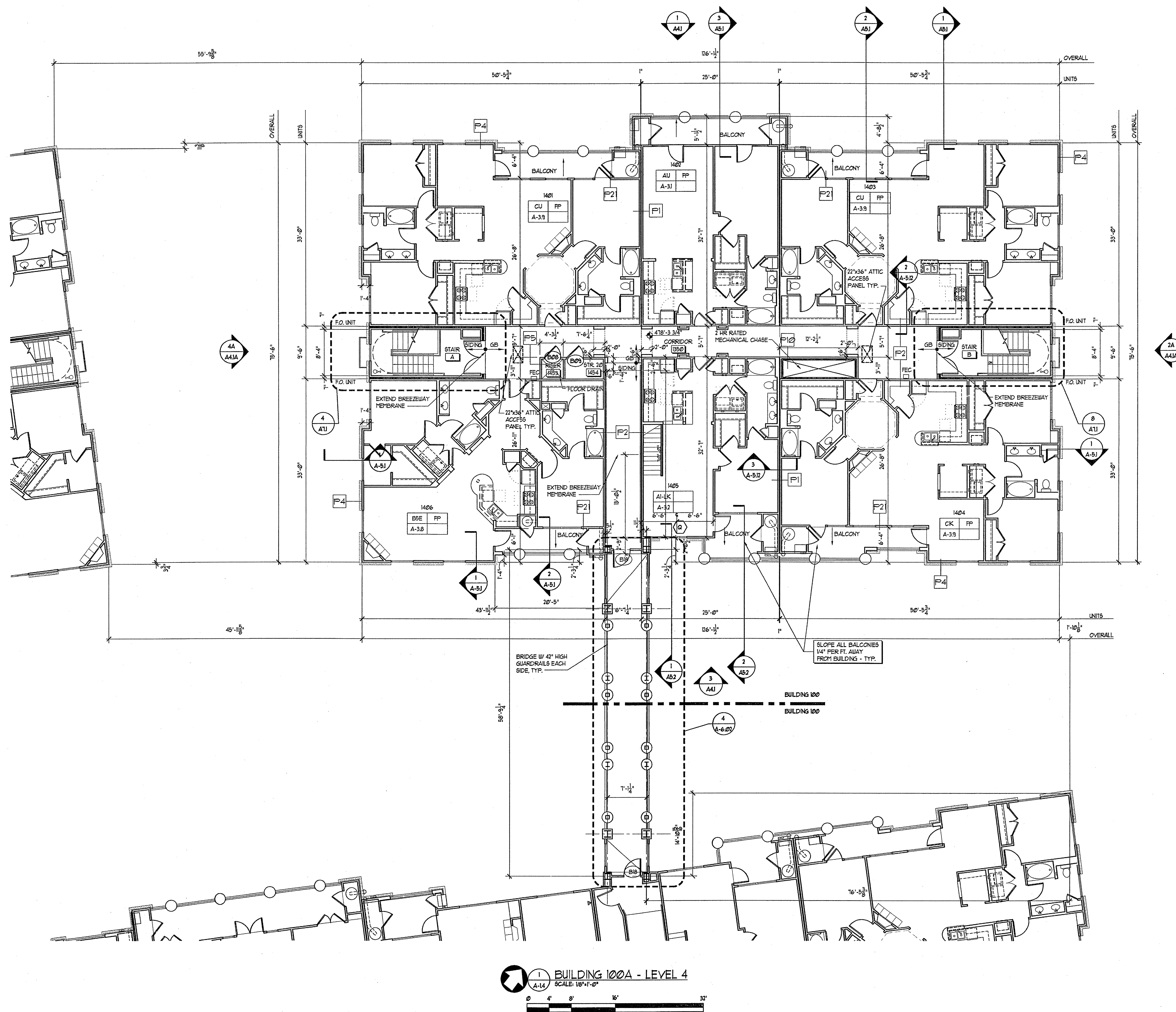
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COMMENTS



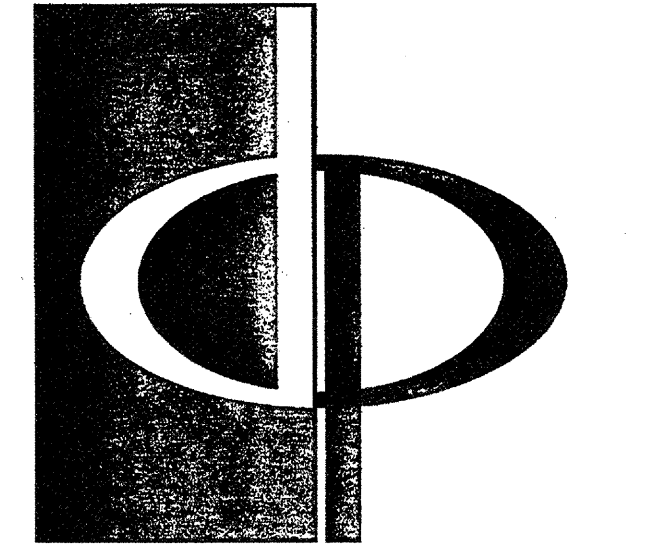
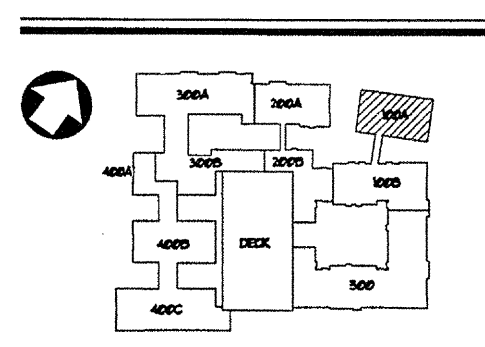
**BUILDING 100A - LEVEL 3**  
SCALE: 1/8"=1'-0"  
0 4' 8' 12' 16' 20' 24' 28' 32'





**1 BUILDING 100A - LEVEL 4**  
 SCALE: 1/8"=1'-0"

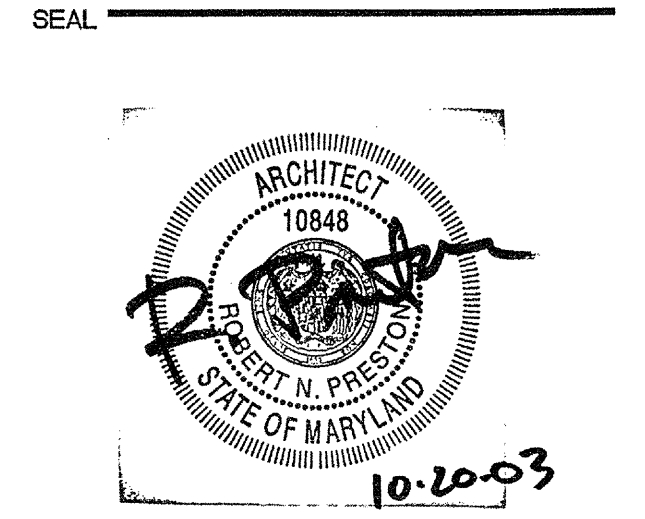
**KEY PLAN**



**THE PRESTON PARTNERSHIP, LLC**  
 A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
 ATLANTA, GEORGIA 30328  
 TELEPHONE: 770 396 7248  
 FAX: 770 396 2945

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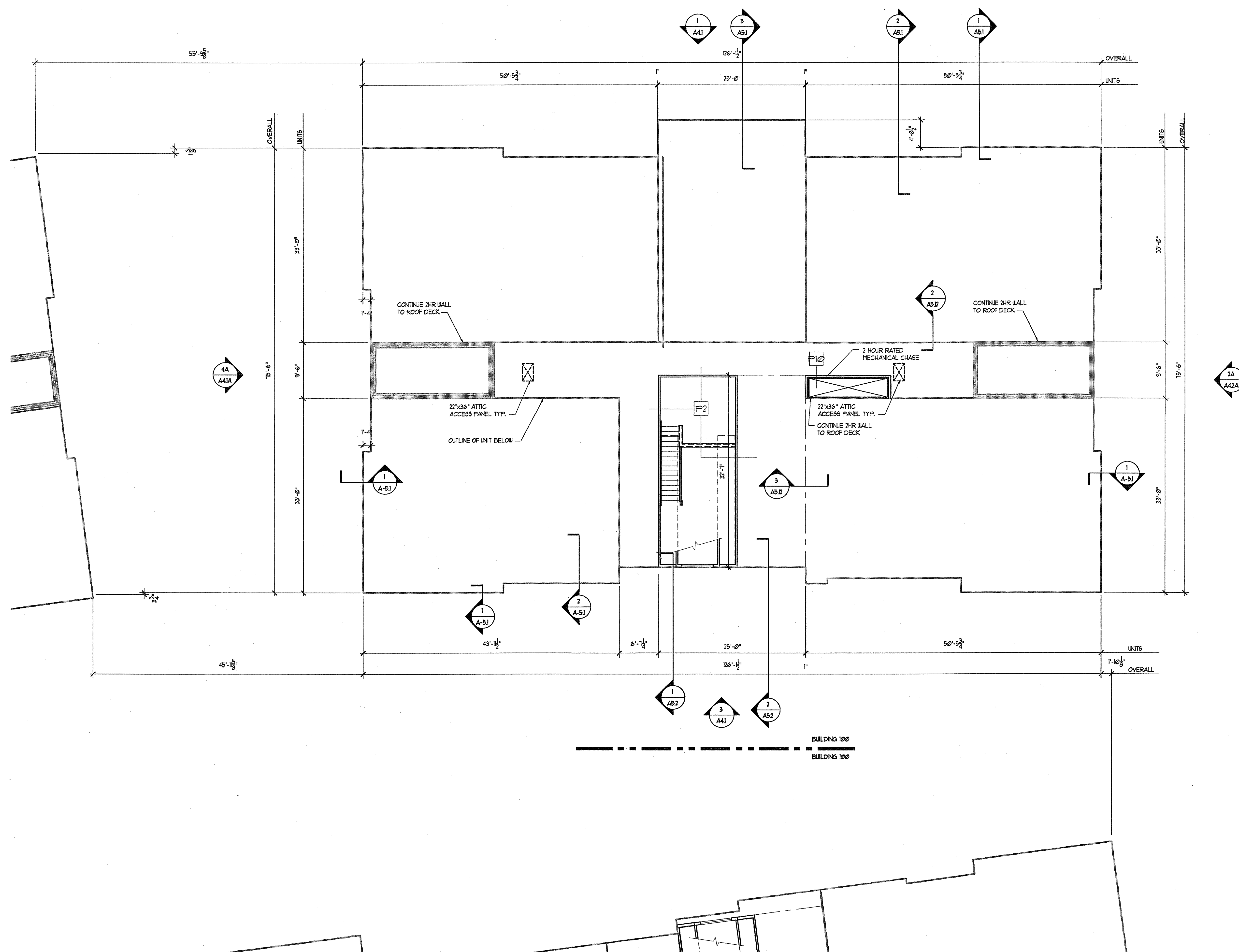


**PROJECT**  
**ARCHSTONE**  
**KENTLANDS**  
 949 QUINCE ORCHARD ROAD  
 GATHERSBURG, MARYLAND

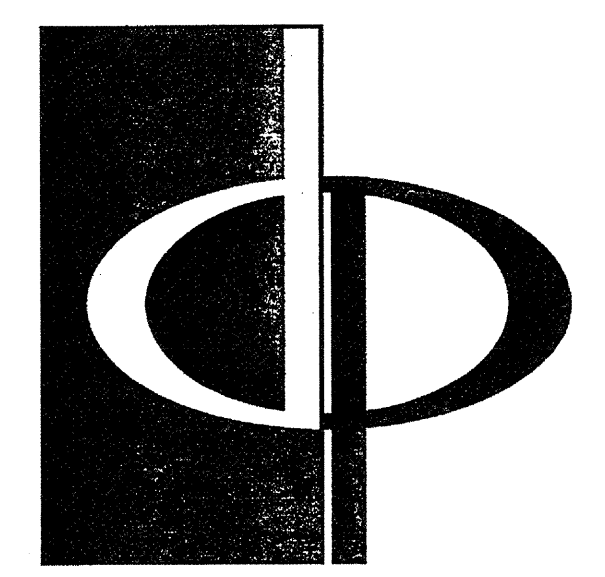
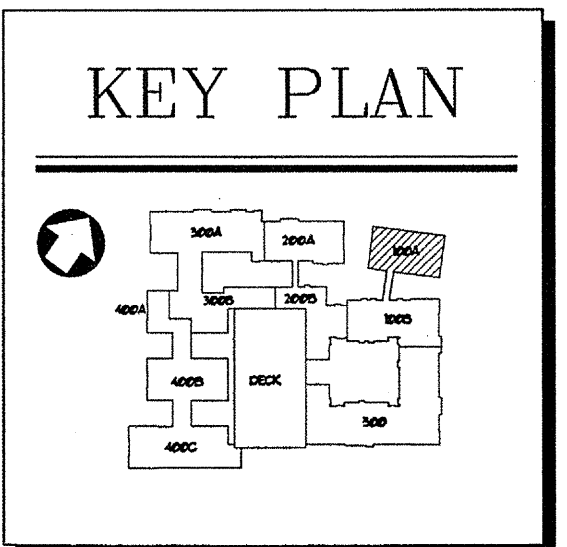
**FOR**  
**ARCHSTONE**  
**COMMUNITIES**  
 6631 OLD DOMINION DRIVE  
 MCLEAN, VIRGINIA 22101  
 703-883-3353

**REVISIONS**  
 RELEASED FOR CONSTRUCTION 01/31/03

DATE \_\_\_\_\_  
 JOB NUMBER 013103  
 DRAWN BY 021102  
 CHECKED BY STM  
 DRAWING TITLE BUILDING 100A LEVEL FOUR  
 DRAWING NUMBER A-14  
 COMMENTS \_\_\_\_\_



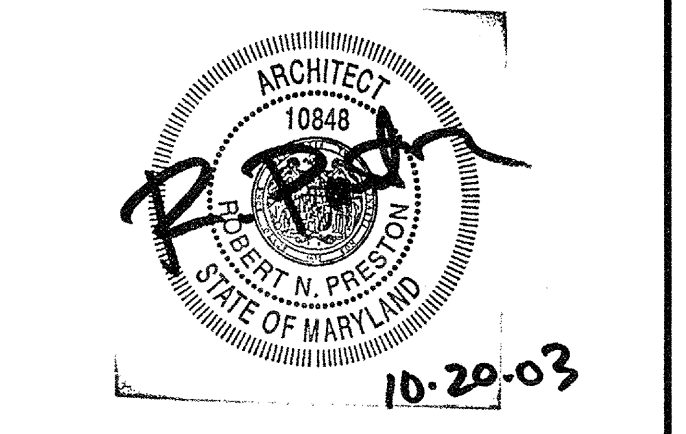
**BUILDING 100A - MEZZANINE LEVEL**  
 SCALE: 1/8"=1'-0"



**THE PRESTON PARTNERSHIP, LLC**  
 A MULTI-DISCIPLINARY DESIGN FIRM  
 1000 ABERNATHY ROAD NE, SUITE 600  
 ATLANTA, GEORGIA 30328  
 TELEPHONE: 770 396 7248  
 FAX: 770 396 2945  
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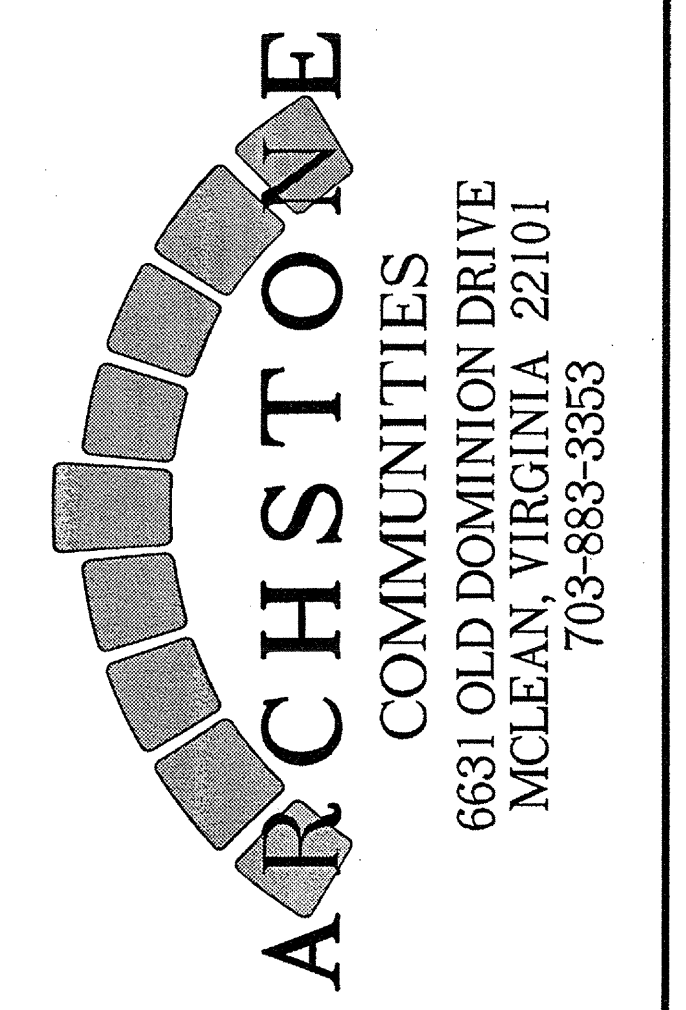
CONSULTANT

SEAL



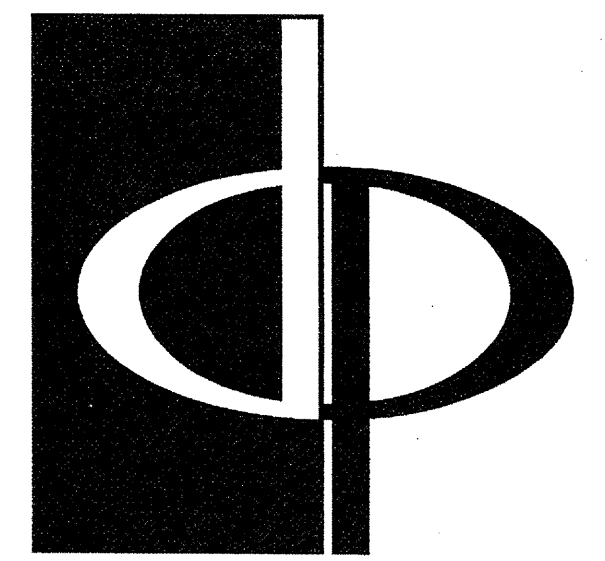
PROJECT  
**ARCHSTONE KENTLANDS**  
 949 QUINCE ORCHARD ROAD  
 GAITHERSBURG, MARYLAND

FOR



REVISIONS  
 RELEASED FOR CONSTRUCTION 07/08/03


DATE 01/31/03  
 JOB NUMBER 02111028  
 DRAWN BY  
 CHECKED BY STM  
 DRAWING TITLE BUILDING 100A MEZZANINE LEVEL  
 DRAWING NUMBER A-15  
 COMMENTS

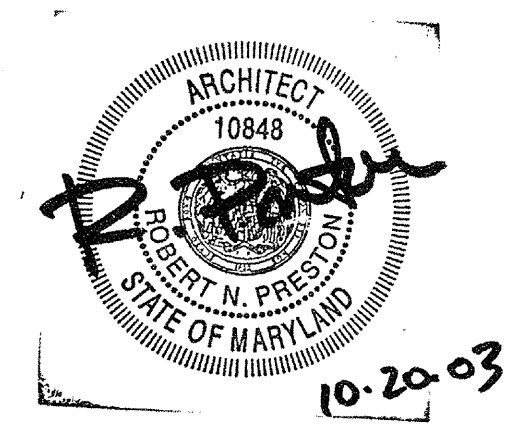


THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
FAX: 770 396 2945

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SEAL

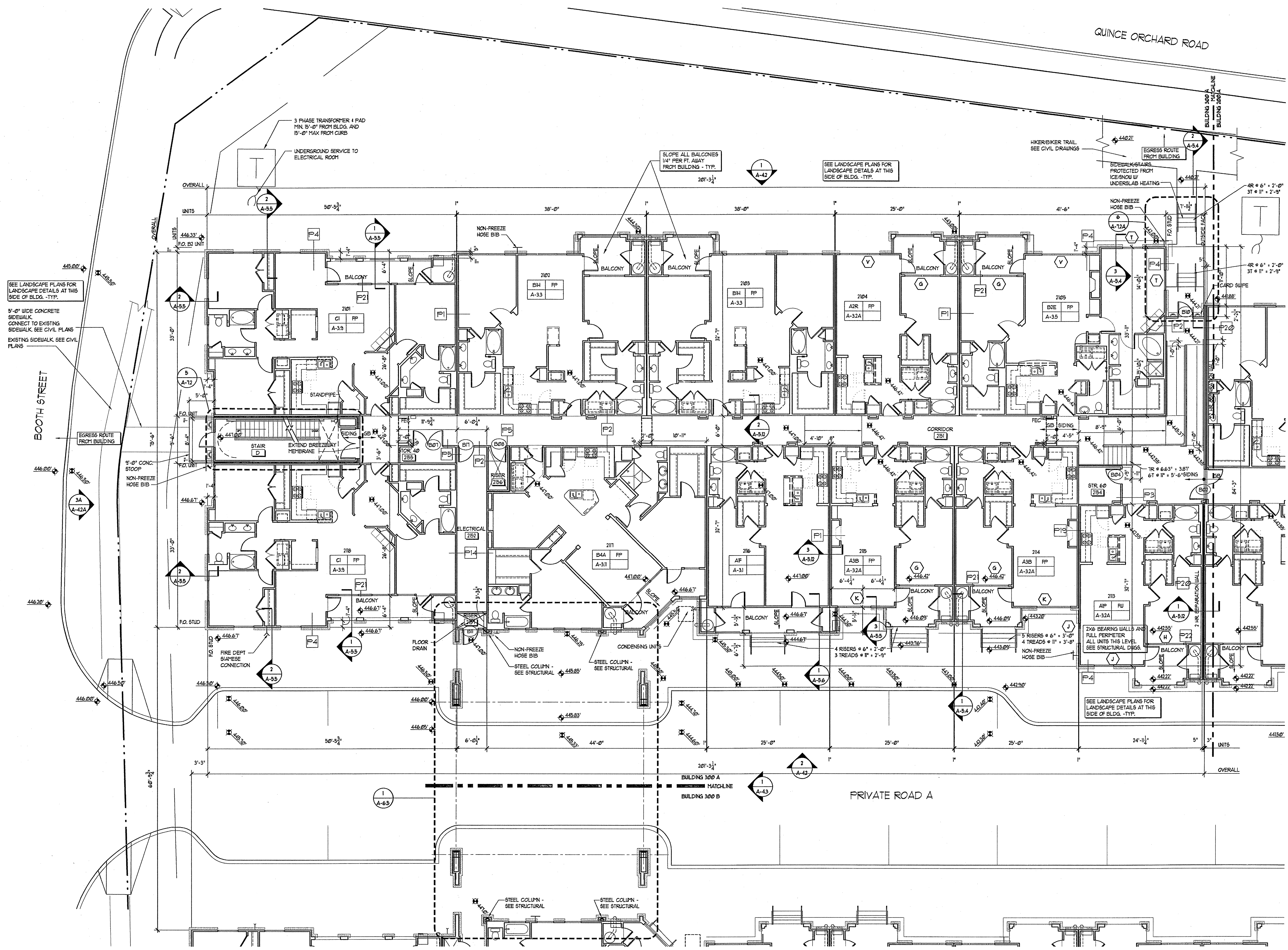


PROJECT  
**ARCHSTONE KENTLANDS**  
949 QUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

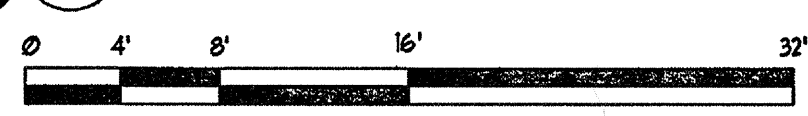
FOR  
**ARCHSTONE COMMUNITIES**  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS  
RELEASED FOR CONSTRUCTION 07/18/03

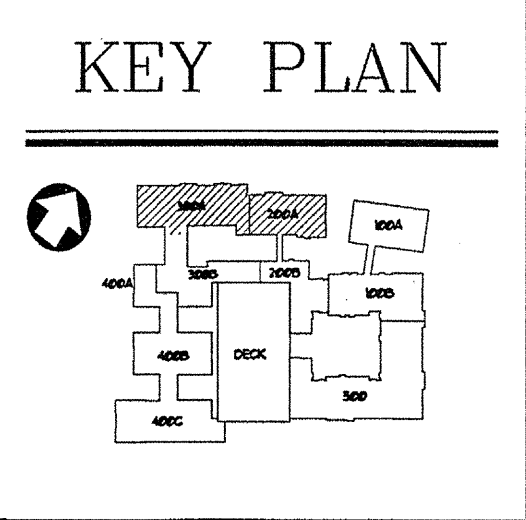
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JOB NUMBER 02111008  
DRAWN BY  
CHECKED BY STM  
DRAWING TITLE BUILDING 300A LEVEL ONE  
DRAWING NUMBER  
COMMENTS A-16

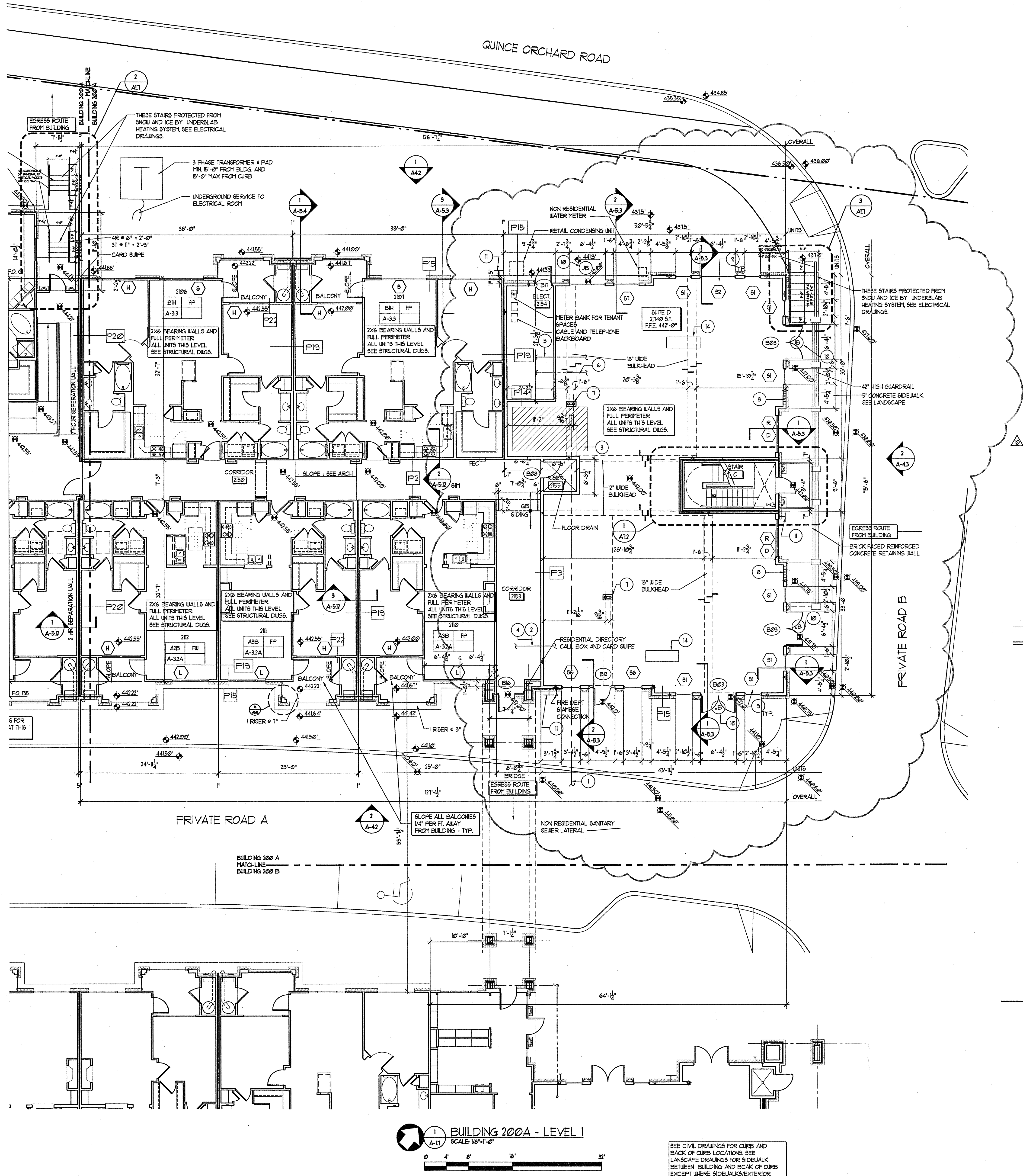


1 BUILDING 300A - LEVEL 1  
A-16 SCALE 1/8" = 1'-0"



SEE CIVIL DRAWINGS FOR CURB AND BACK OF CURB LOCATIONS. SEE LANDSCAPE DRAWINGS FOR SIDEWALK BETWEEN BUILDING AND BACK OF CURB EXCEPT WHERE SIDEWALKS/EXTERIOR STAIRS ARE SPECIFICALLY DETAILED ON ARCHITECTURAL DRAWINGS.



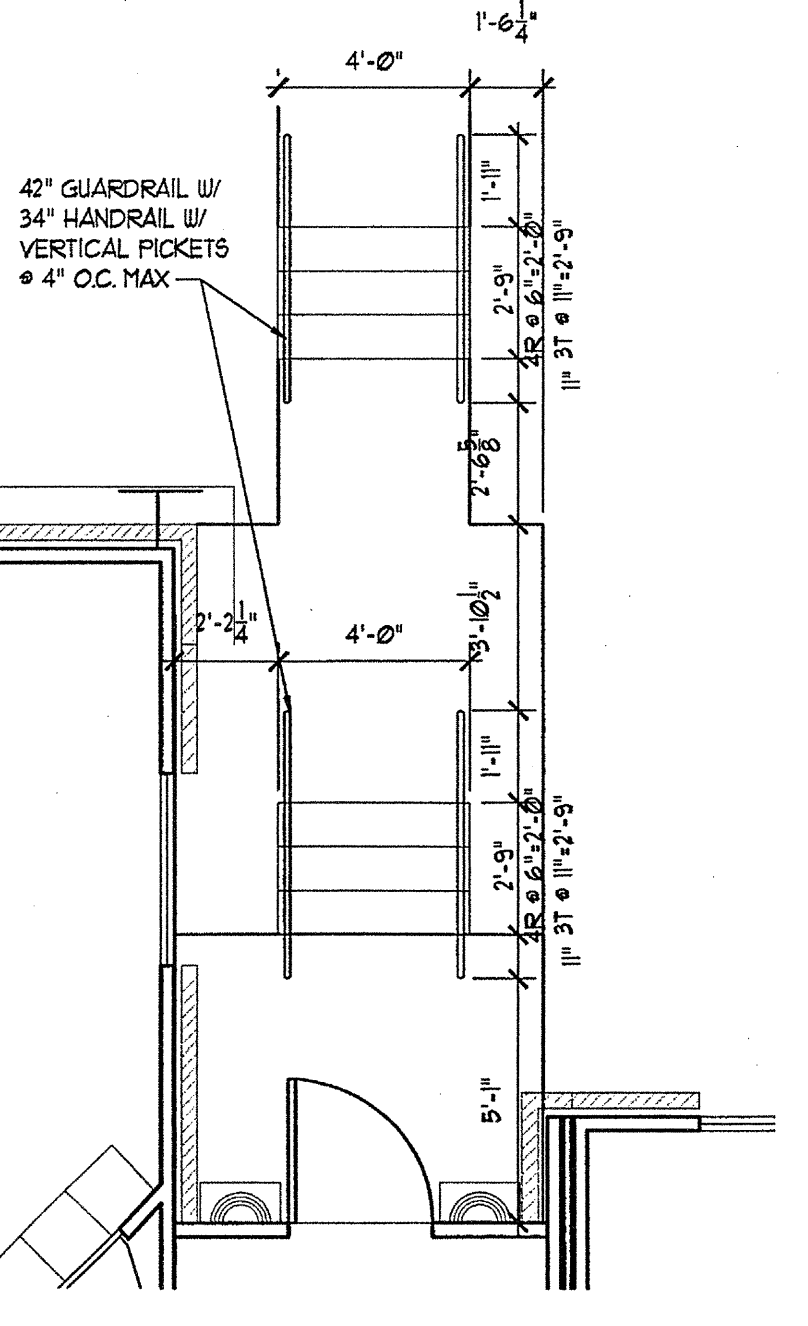


**GENERAL NOTES (SHELL)**

- SANITARY SEWER LATERAL - STUB INTO BUILDING AT LOCATIONS SHOWN STUB AT 6" ABOVE FINISH FLOOR FOR CONNECTION BY FUTURE TENANT AT LOCATIONS SHOWN. SEE PLUMBING DRAWINGS.
- OVERHEAD WATER MAIN - STUB INTO BUILDING AT LOCATIONS SHOWN AND RUN TIGHT AGAINST UNDERSIDE OF CEILING STRUCTURE AND CAP FOR CONNECTION BY FUTURE RETAIL TENANT AT LOCATIONS SHOWN. SEE PLUMBING DRAWINGS.
- SLAB LEAVE-OUT - NO CONCRETE SLAB IN AREA SHOWN SHADED. SLAB LEFT OUT TO ACCOMMODATE FUTURE RETAIL TENANT UNDERGROUND PIPING.
- FIRE PROTECTION RISER - FIRE PROTECTION SYSTEM SHALL BE INSTALLED COMPLETELY AND TIGHT AGAINST UNDERSIDE OF STRUCTURE ABOVE. TURN ALL HEADS UP PER LOCAL CODE.
- ELECTRICAL CONDUIT - (2) 3" CONDUITS STUBBED INTO RETAIL SPACE 9' BELOW STRUCTURE FOR FUTURE RETAIL TENANT CONNECTION AND RUN OVERHEAD TO METERBANK LOCATION. SEE ELECTRICAL DRAWINGS.
- TELEPHONE CONDUIT - 1" CONDUIT STUBBED INTO RETAIL SPACE 9' BELOW STRUCTURE FOR FUTURE RETAIL TENANT CONNECTION AND RUN OVERHEAD TO TELEPHONE CABINET. SEE ELECTRICAL DRAWINGS.
- COLUMN - SEE STRUCTURAL DRAWINGS.
- FRESH AIR LOUVER - ARCHITECTURAL GRILL IN EXTERIOR WALL TO PROVIDE FRESH AIR INTAKE FOR FUTURE HVAC SYSTEM FOR FUTURE RETAIL TENANT. SEE MECHANICAL DRAWINGS AND ARCHITECTURAL ELEVATIONS. SIZE TO BE 12" HIGH BY 24" WIDE.
- STOREFRONT SYSTEM - SEE FINISH SCHEDULE AND EXTERIOR ELEVATIONS. TYPE 'C', 5/8" GYPSUM BOARD AT INTERIOR OF ALL STOREFRONTS. ABOVE AND BELOW STOREFRONT WHERE APPLICABLE.
- JUNCTION BOX - JUNCTION BOX AT STOREFRONT FOR FUTURE CONNECTION TO TENANT SIGN. PROVIDE 1/2" CONDUIT WITH FULL STRING AND STUB 6'-0" INSIDE OF RETAIL SPACE.
- HOSE-BIB - NON-FREEZE HOSE BIBS MOUNTED AT 24" AFF. SEE PLUMBING DRAWINGS.
- FIRE EXTINGUISHER - MIN SIZE 2 A 10 BC. TOP HANDLE TO BE 48" AFF. MAX.
- REFRIGERANT CONDUIT - 2" CONDUIT RUN UNDERGROUND AND STUBBED UP IN RETAIL SPACES AT 6" AFF FOR CONNECTION TO HVAC SYSTEM FOR FUTURE RETAIL TENANT.
- LIGHT FIXTURES -

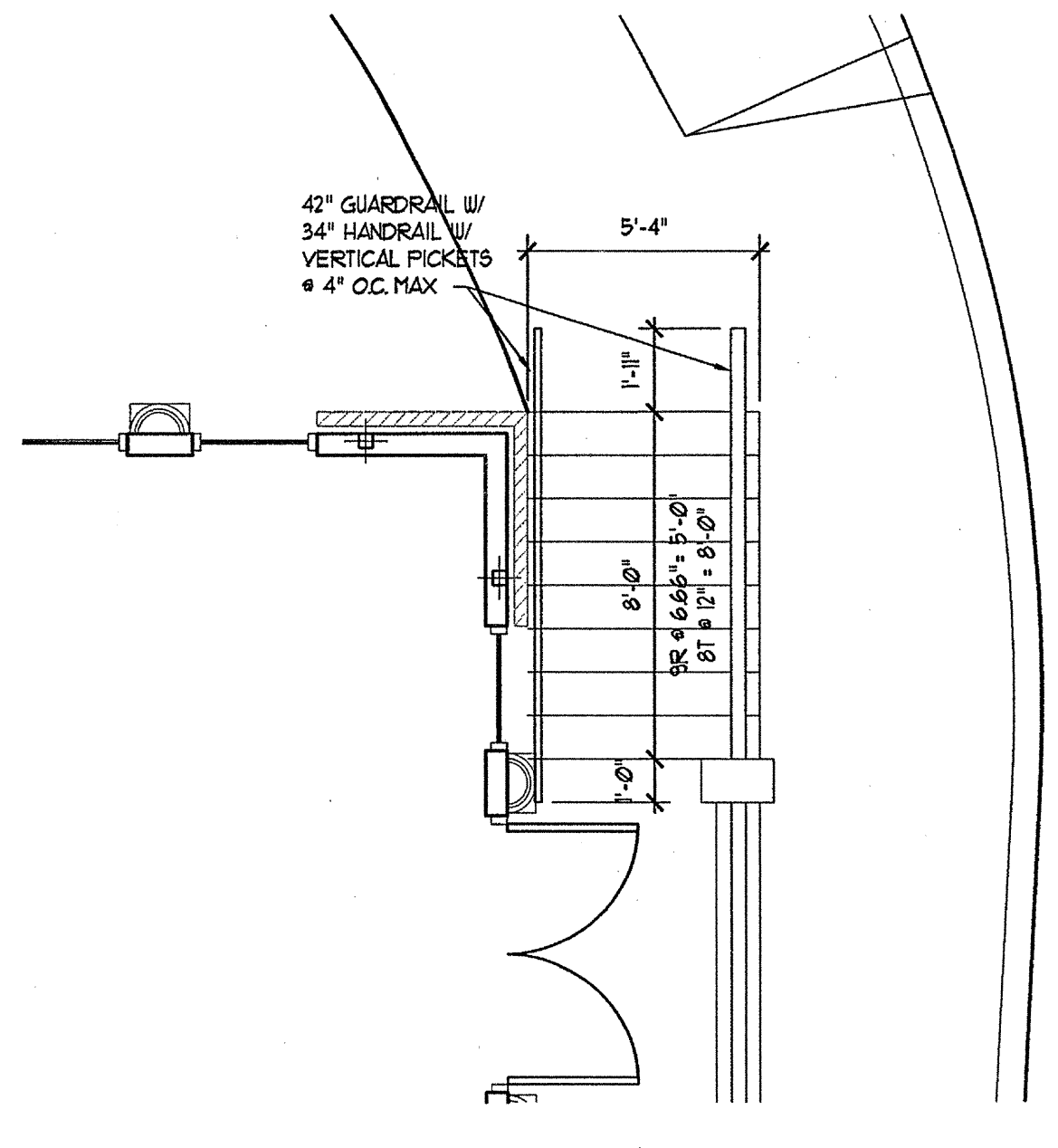
**LEGEND**

TC	TELEPHONE CABINET
NFB	NON-FREEZE HOSE BIBS (SEE PLUMBING DWGS)
SS	SANITARY SEWER LINE
DW	DOMESTIC WATER LINE
EM	ELECTRIC METER (BANK)
EWC	ELECTRIC WATER COOLER
CJ	CONTROL JOINT IN SLAB
T	TRANSFORMER & CONC. PAD BY UTILITY COMPANY
D	DUPLEXER & CONC. PAD (SEE CIVIL DWGS FOR EXACT LOCATIONS)
C	CONCRETE PAVING AREA (SEE CIVIL DWGS)



2 ENLARGED STAIR PLAN  
SCALE: 1/4"=1'-0"

REVISION #10 SUMMARY  
A. MOVED RETAIL SKN

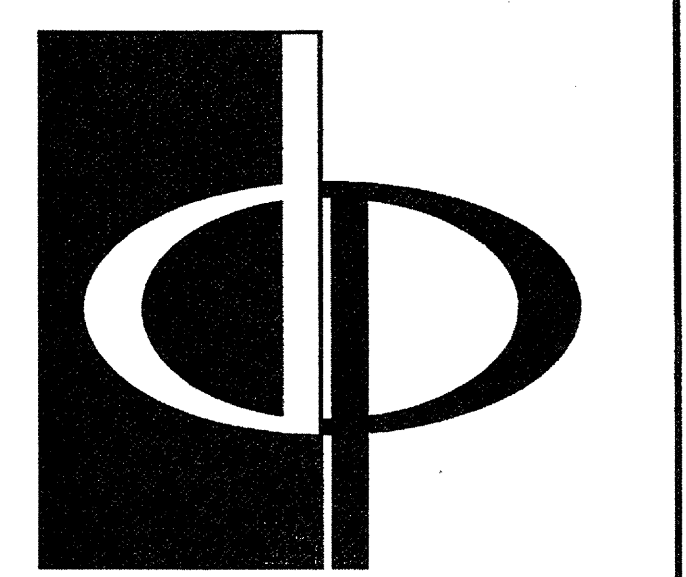
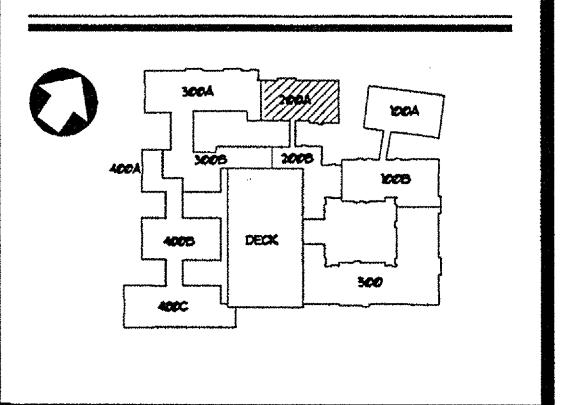


3 ENLARGED STAIR PLAN  
SCALE: 1/4"=1'-0"

1 BUILDING 200A - LEVEL 1  
SCALE: 1/8"=1'-0"

SEE CIVIL DRAWINGS FOR CURB AND BACK OF CURB LOCATIONS. SEE LANDSCAPE DRAWINGS FOR SIDEWALK BETWEEN BUILDING AND BACK OF CURB EXCEPT WHERE SIDEWALKS/EXTERIOR STAIRS ARE SPECIFICALLY DETAILED ON ARCHITECTURAL DRAWINGS.

**KEY PLAN**



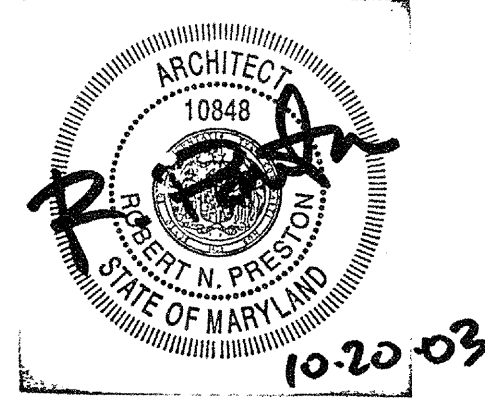
THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
FAX: 770 396 2945

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CONSULTANT

SEAL

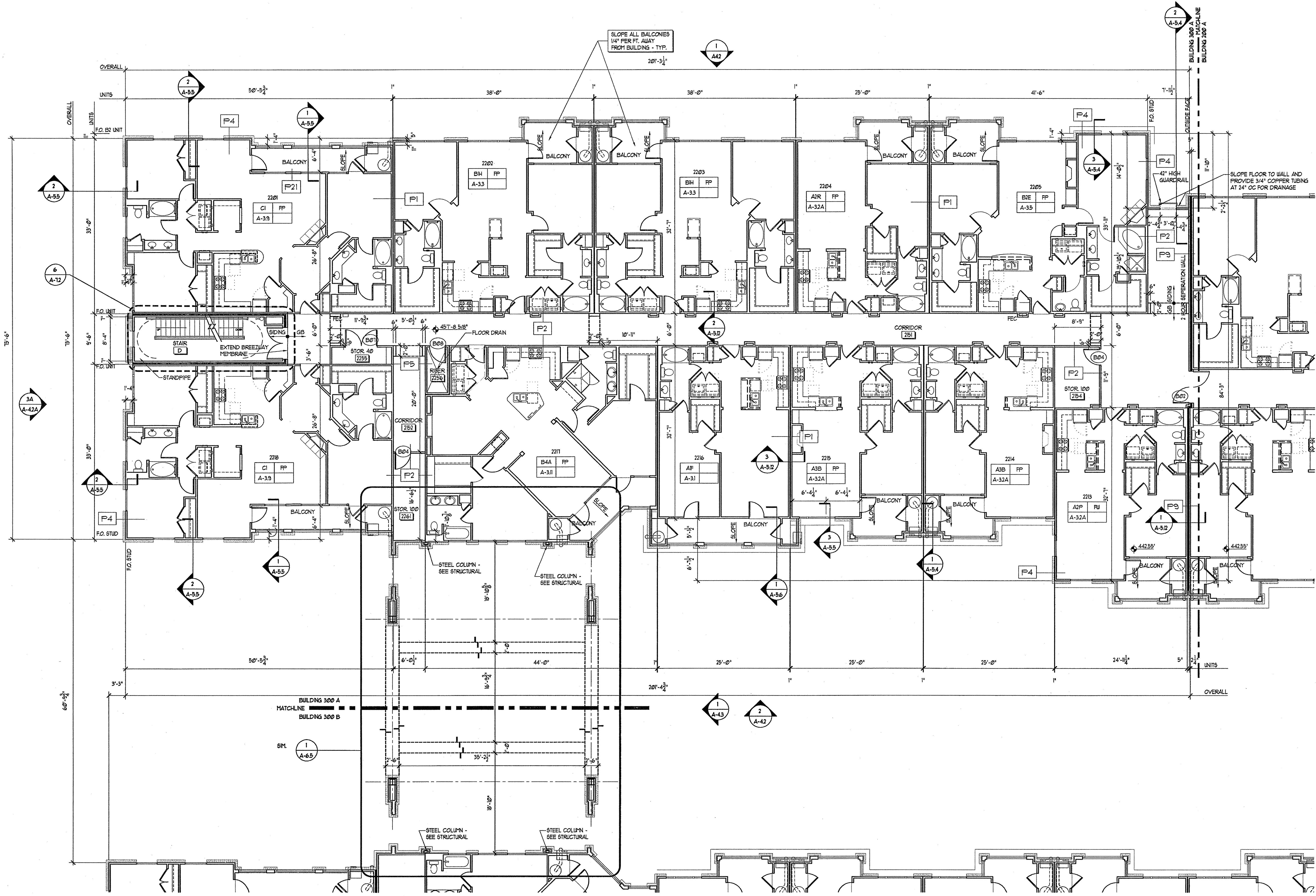


PROJECT  
**ARCHSTONE KENTLANDS**  
949 QUINCE ORCHARD ROAD  
GAITHERSBURG, MARYLAND

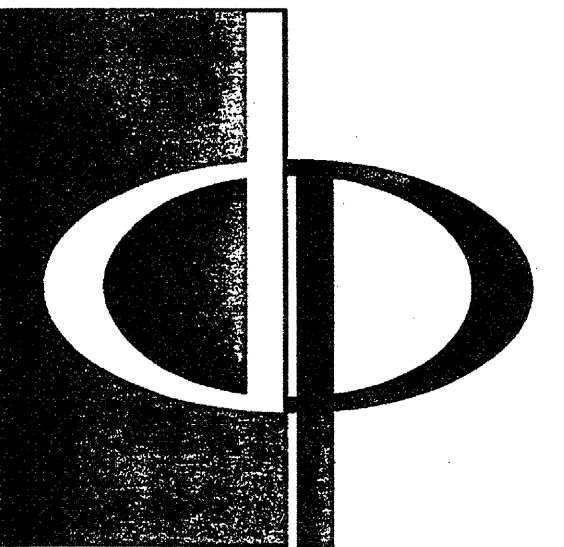
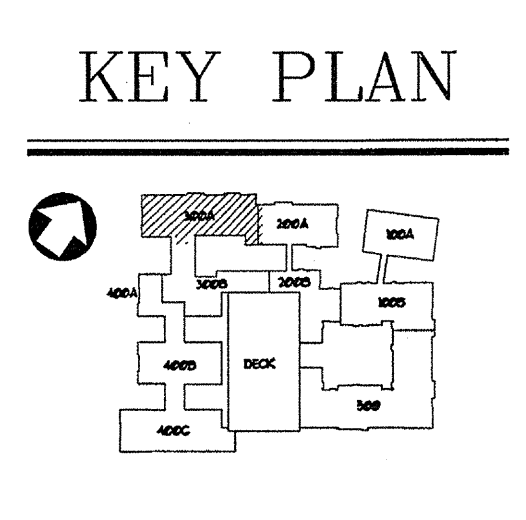
FOR  
**ARCHSTONE COMMUNITIES**  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3533

REVISIONS  
RELEASED FOR CONSTRUCTION 07/02/03  
TOP POP-OFF REVIEW COMMENTS 07/06/03

DATE  
JOB NUMBER 021102  
DRAWN BY 021102  
CHECKED BY  
DRAWING TITLE BUILDING 200A LEVEL ONE  
DRAWING NUMBER A-1.1  
COMMENTS



**BUILDING 300A - LEVEL 2**  
 SCALE: 1/8"=1'-0"  
 0 4 8 16 32



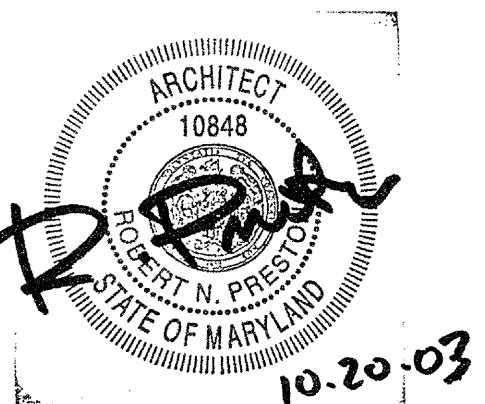
**THE PRESTON PARTNERSHIP, LLC**  
 A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
 ATLANTA, GEORGIA 30328  
 TELEPHONE: 770 396 7248  
 FAX: 770 396 2945

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SEAL \_\_\_\_\_



PROJECT \_\_\_\_\_

**ARCHSTONE KENTLANDS**  
 949 QUINCE ORCHARD ROAD  
 GAITHERSBURG, MARYLAND

FOR \_\_\_\_\_

**ARCHSTONE COMMUNITIES**  
 6631 OLD DOMINION DRIVE  
 MCLEAN, VIRGINIA 22101  
 703-883-3353

REVISIONS  
 RELEASED FOR CONSTRUCTION 01/18/08

DATE 01/31/08

JOB NUMBER 0211108

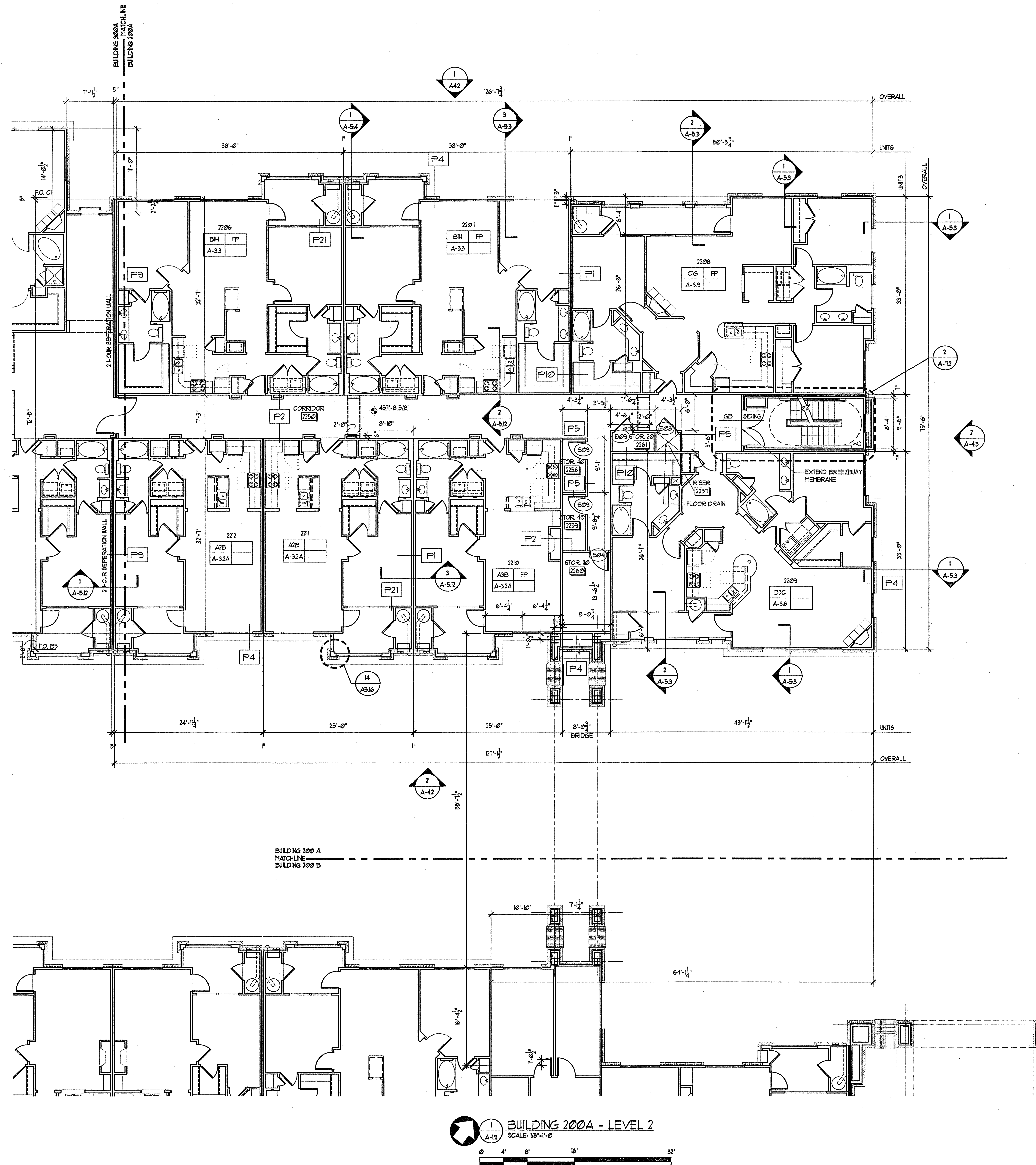
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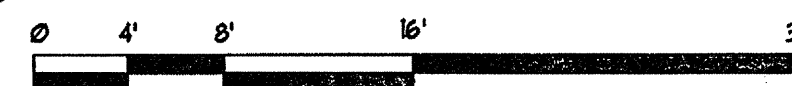
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DRAWING NUMBER A-1.8

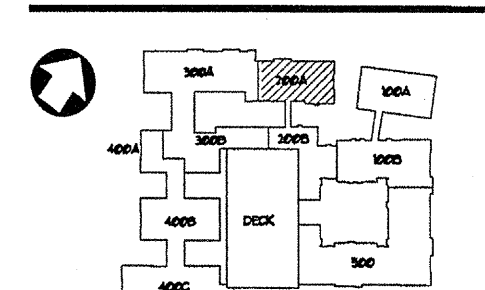
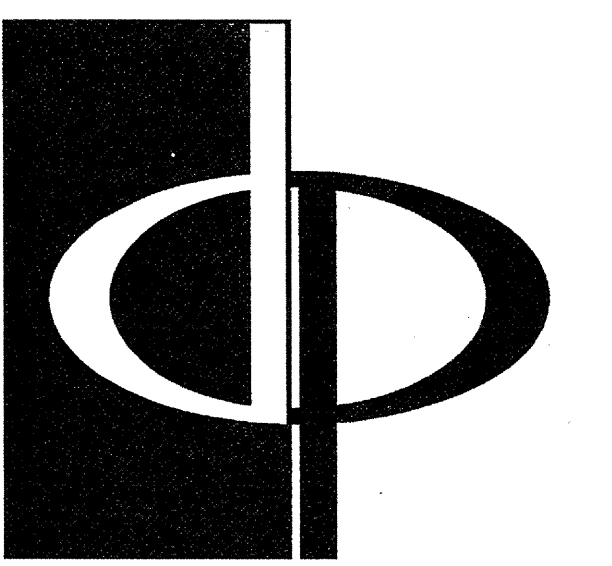
COMMENTS \_\_\_\_\_




**BUILDING 200A - LEVEL 2**  
 SCALE: 1/8"=1'-0"



**KEY PLAN**

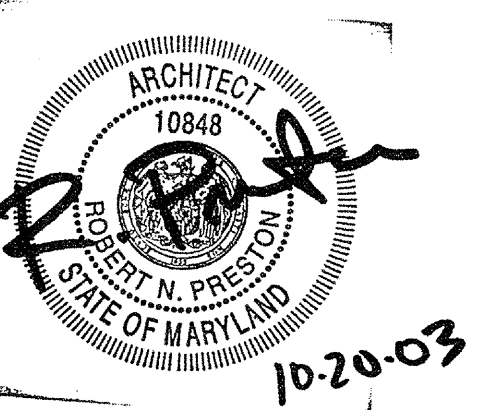
THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
FAX: 770 396 2945

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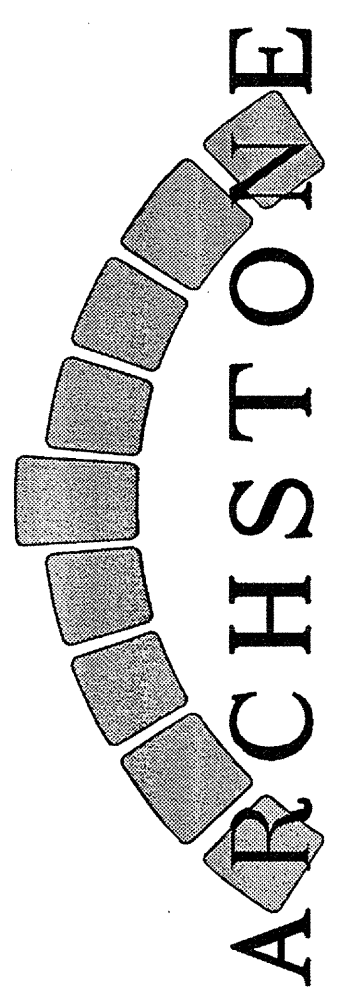
SEAL \_\_\_\_\_



PROJECT

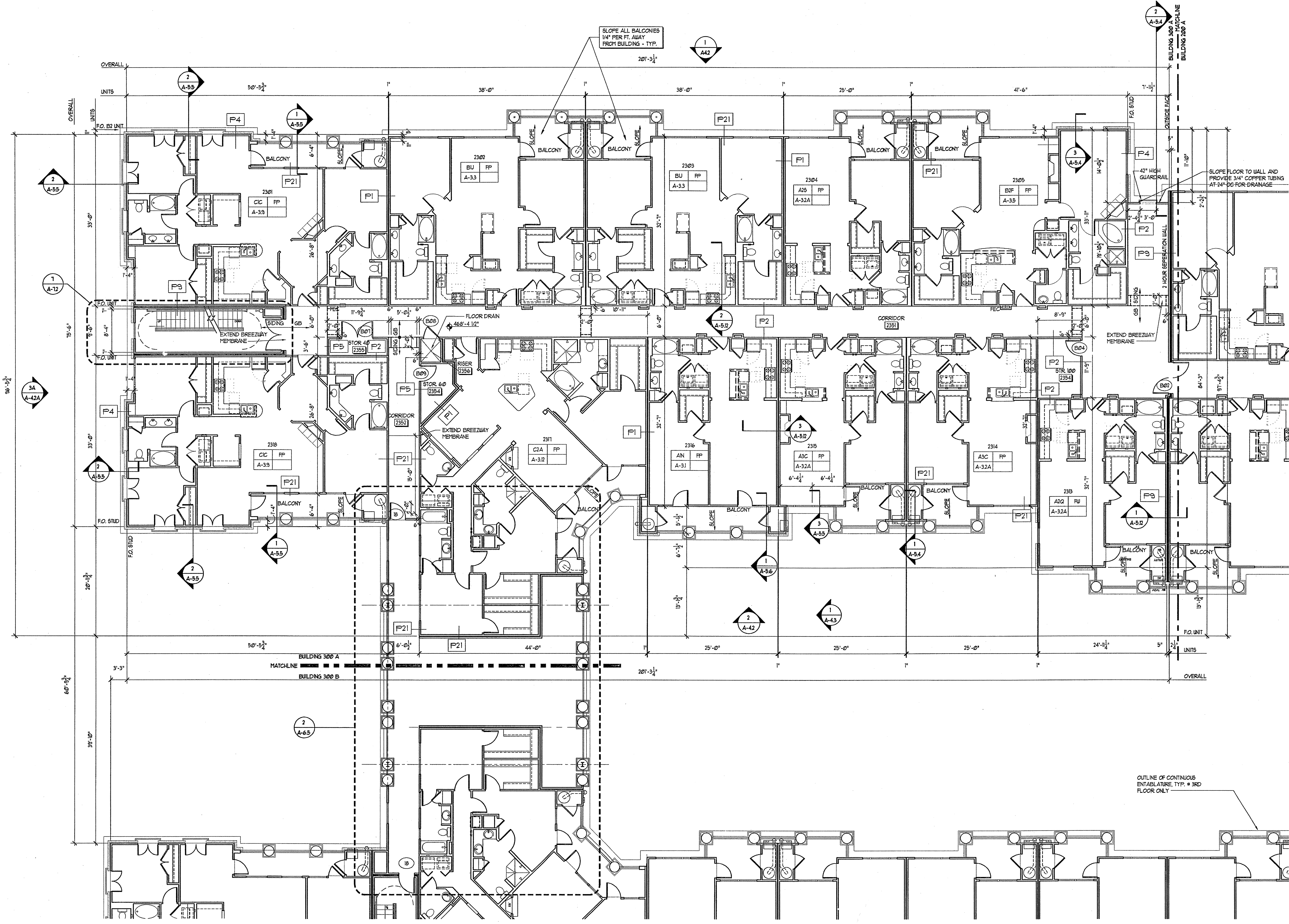
**ARCHSTONE  
KENTLANDS**  
945 QUINCE ORCHARD ROAD  
GAITHERSBURG, MARYLAND

FOR \_\_\_\_\_

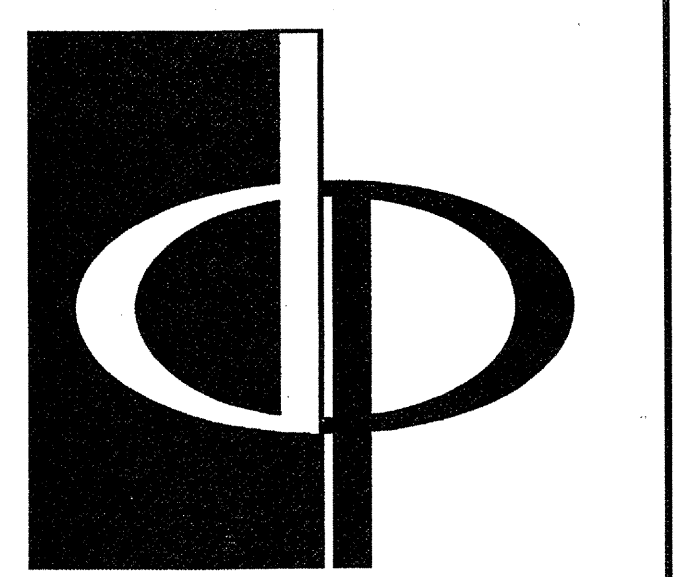
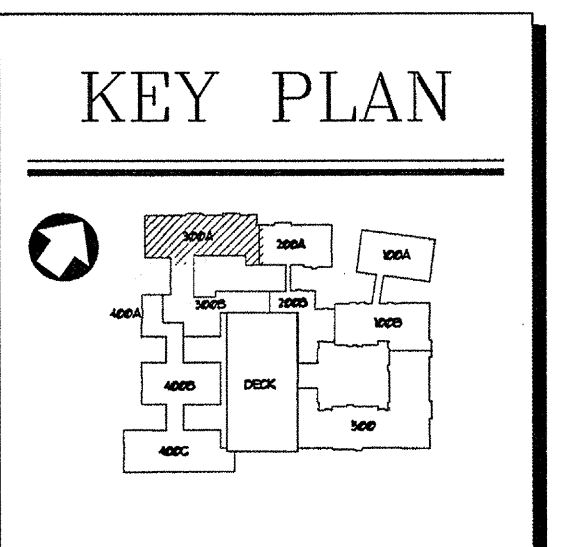
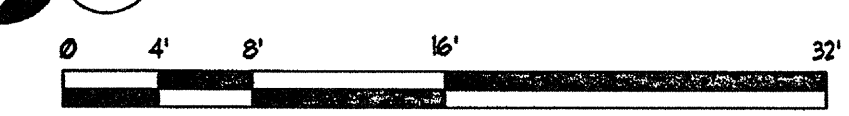

**ARCHSTONE**  
 COMMUNITIES  
 6631 OLD DOMINION DRIVE  
 MCLEAN, VIRGINIA 22101  
 703-883-3353

REVISIONS  
RELEASED FOR CONSTRUCTION 01/18/03

DATE	01/31/03
JOB NUMBER	0211708
DRAWN BY	STM
CHECKED BY	STM
DRAWING TITLE	<b>BUILDING 200A LEVEL TWO</b>
DRAWING NUMBER	<b>A-19</b>
COMMENTS	



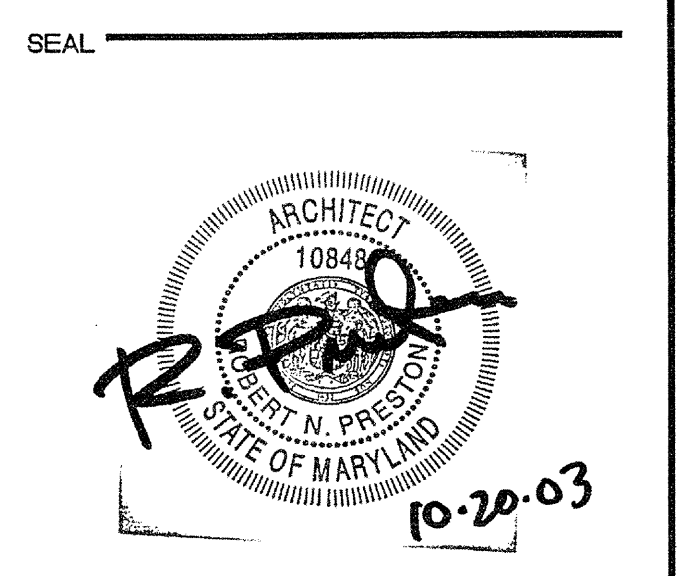
1 A-110 BUILDING 300A - LEVEL 3  
SCALE: 1/8"=1'-0"



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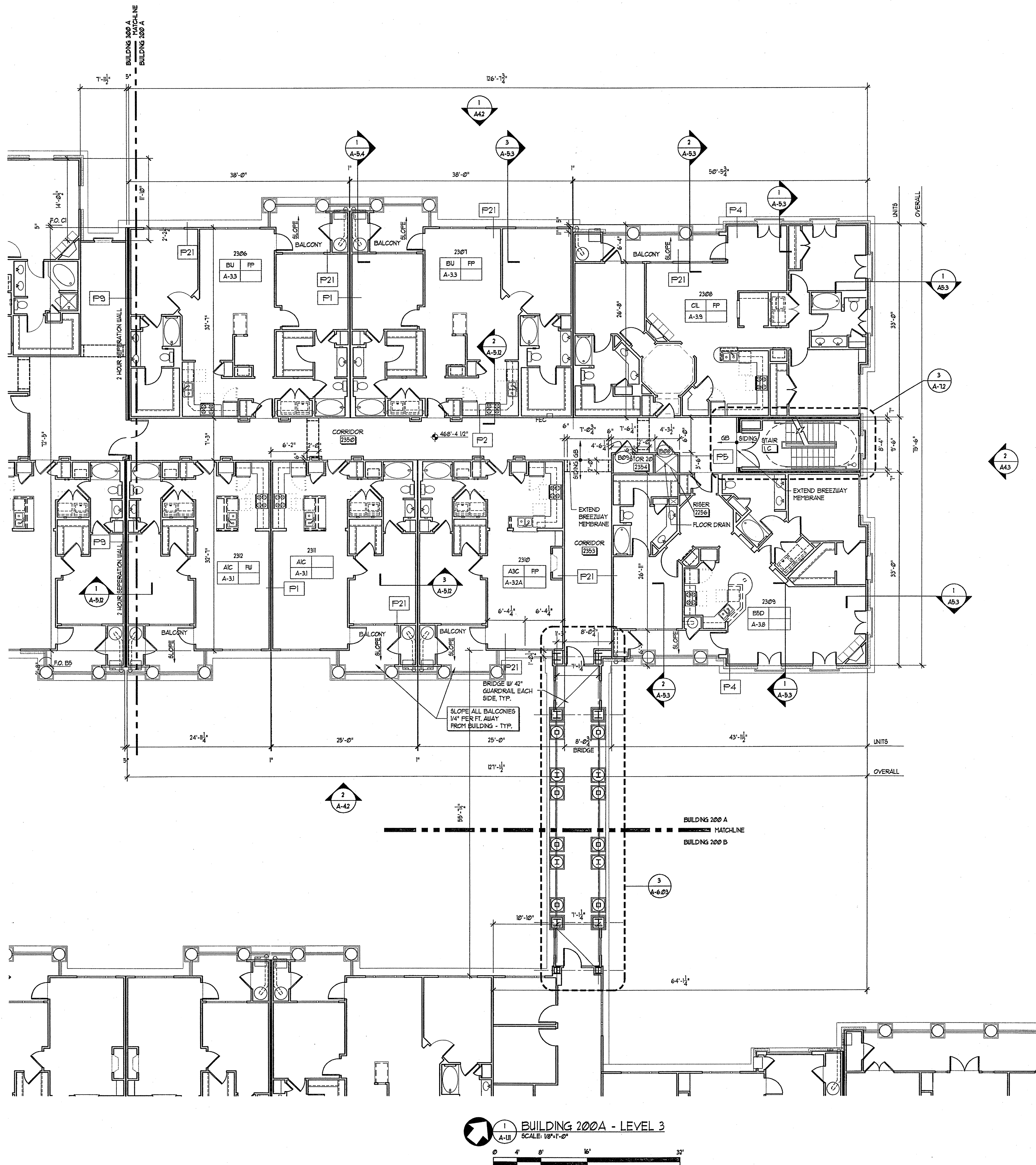
PROJECT  
**ARCHSTONE KENTLANDS**  
949 QUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

FOR  
**ARCHSTONE COMMUNITIES**  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-888-3553

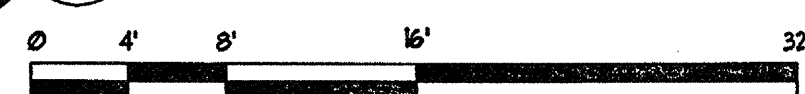
REVISIONS  
RELEASED FOR CONSTRUCTION 01/18/03

DATE 01/31/03  
JOB NUMBER 0211102  
DRAWN BY  
CHECKED BY STM  
DRAWING TITLE BUILDING 300A LEVEL THREE  
DRAWING NUMBER A-110  
COMMENTS

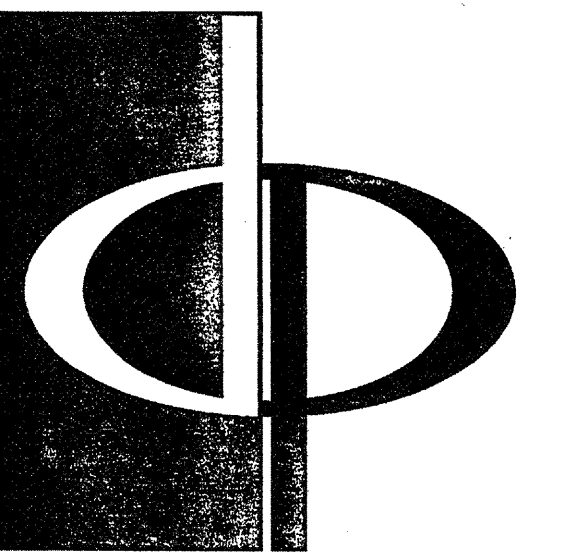
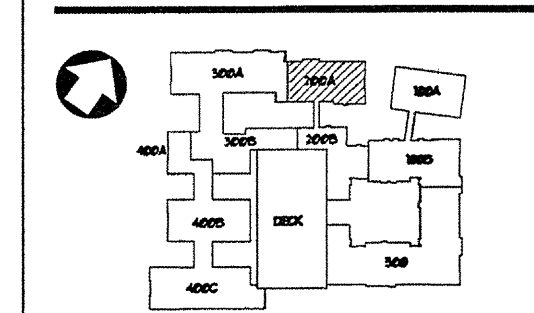




1 A-11 BUILDING 200A - LEVEL 3  
SCALE: 1/8"=1'-0"



KEY PLAN



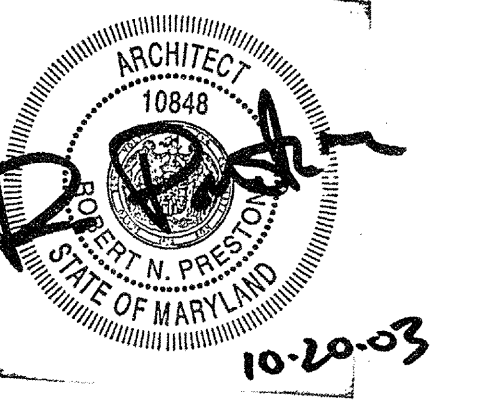
THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

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ATLANTA, GEORGIA 30328  
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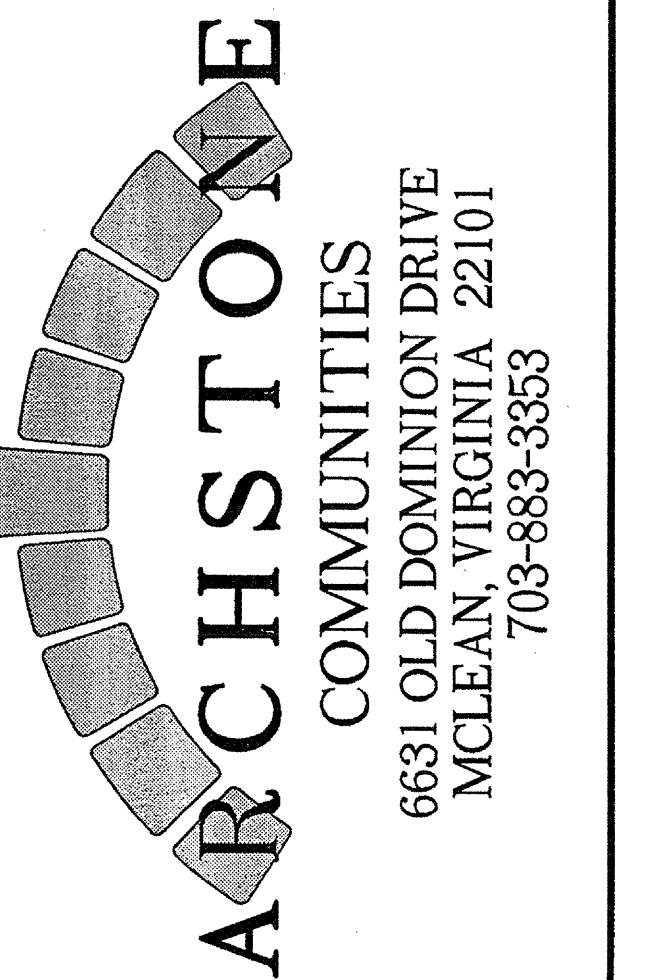


PROJECT

ARCHSTONE  
KENTLANDS

949 QUINCE ORCHARD ROAD  
GAITHERSBURG, MARYLAND

FOR



6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-888-3333

REVISIONS

RELEASED FOR CONSTRUCTION 07/16/03

DATE 01/31/03

JOB NUMBER 0211702

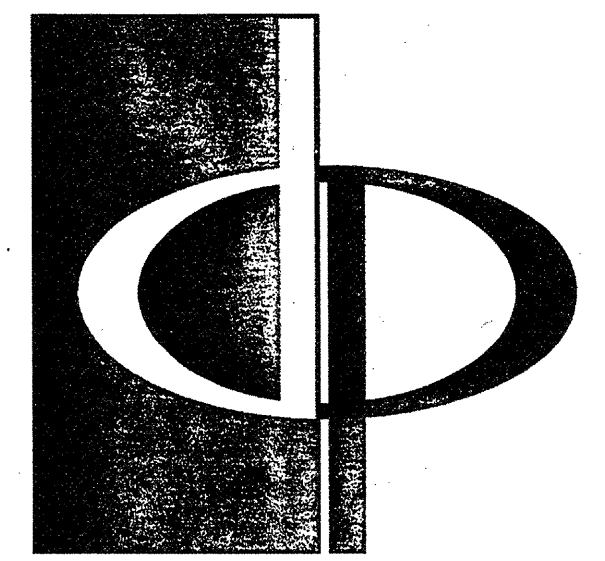
DRAWN BY 5TM

CHECKED BY

DRAWING TITLE BUILDING 200A LEVEL THREE

DRAWING NUMBER A-1.11

COMMENTS



THE PRESTON PARTNERSHIP, LLC  
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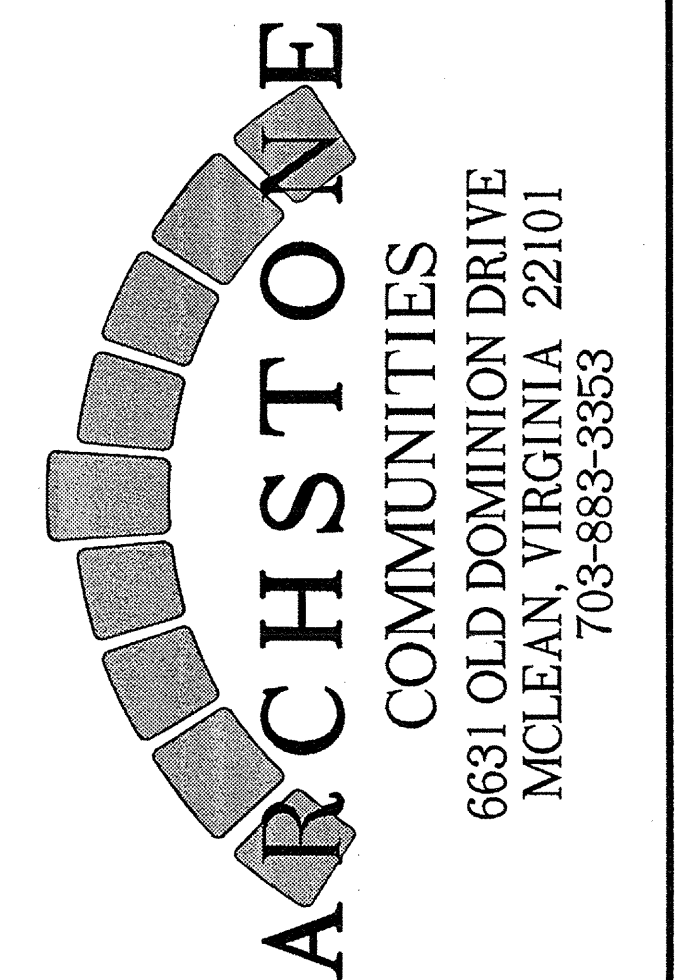
CONSULTANT \_\_\_\_\_

SEAL \_\_\_\_\_



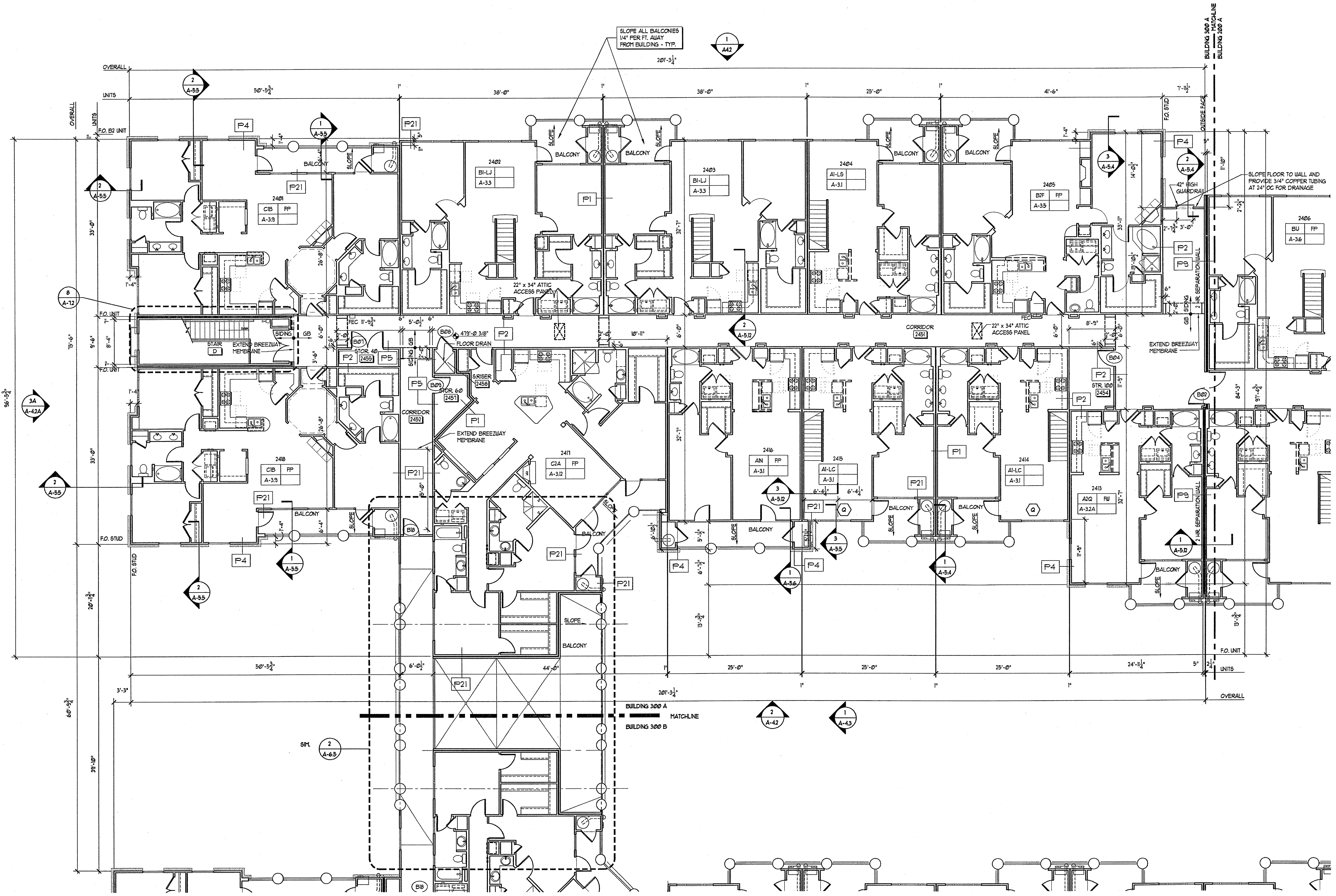
PROJECT  
**ARCHSTONE  
KENTLANDS**  
949 QUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

FOR \_\_\_\_\_

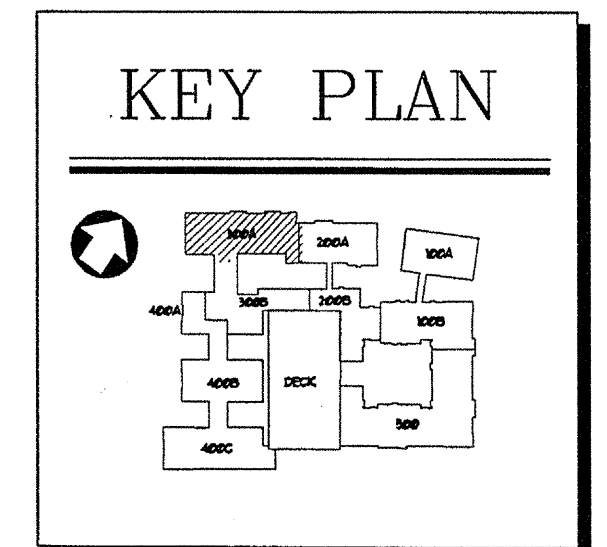


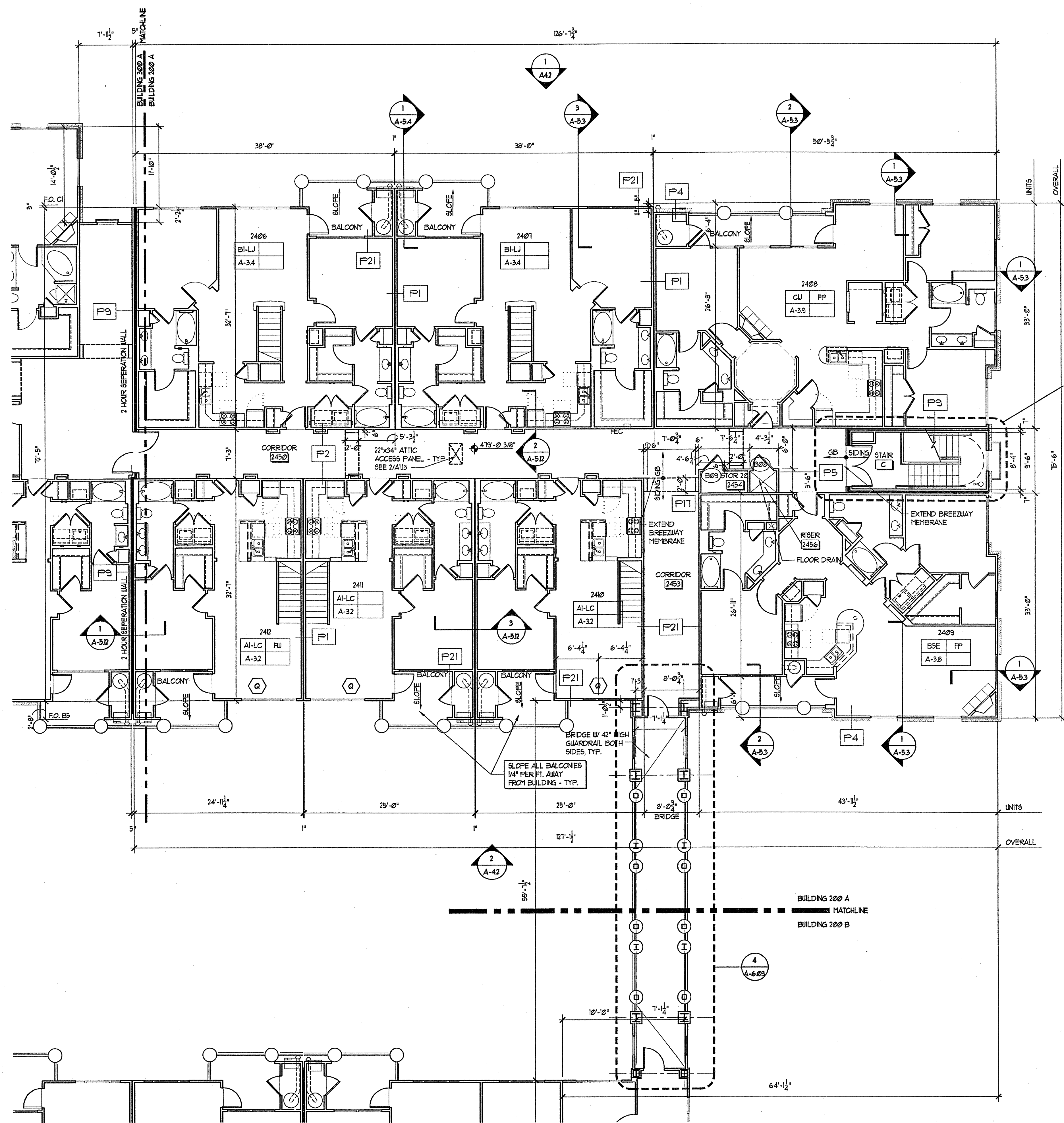
REVISIONS  
RELEASED FOR CONSTRUCTION 01/16/03

DATE \_\_\_\_\_  
JOB NUMBER 01/31/03  
DRAWN BY 02/11/03  
CHECKED BY STM  
DRAWING TITLE BUILDING 300A LEVEL FOUR  
DRAWING NUMBER A-1.12  
COMMENTS \_\_\_\_\_

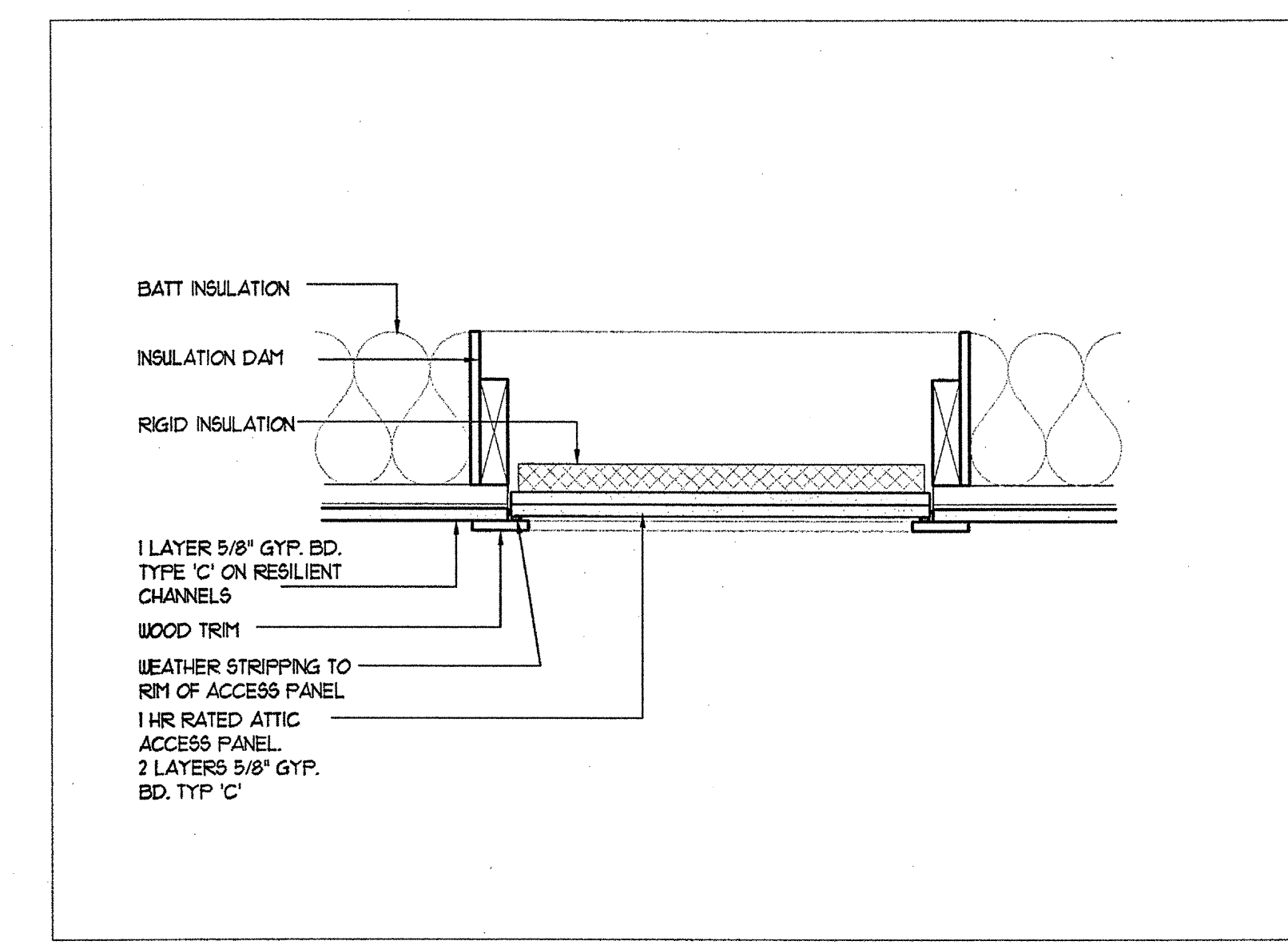
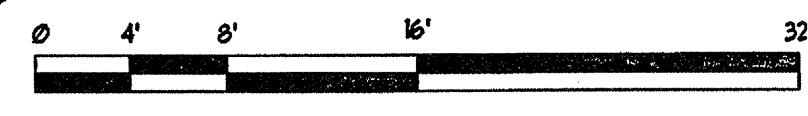


**BUILDING 300A - LEVEL 4**  
SCALE: 1/8"=1'-0"  
0 4' 8' 16' 32'

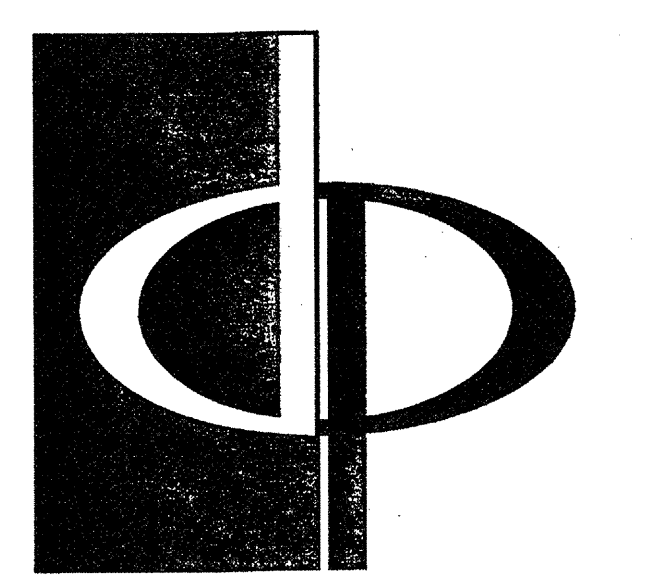




**1**  
A-1B  
**BUILDING 200A - LEVEL 4**  
SCALE: 1/8"=1'-0"



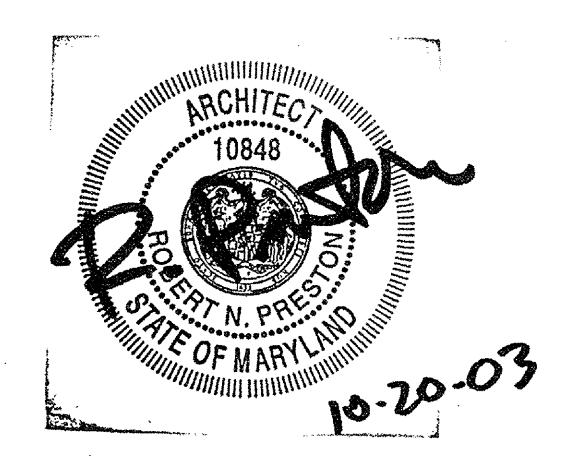
**2**  
A-1B  
**RATED ACCESS PANEL**  
SCALE: 1/2"=1'-0"



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**ARCHSTONE KENTLANDS**  
949 QUINCE ORCHARD ROAD  
GAITHERSBURG, MARYLAND

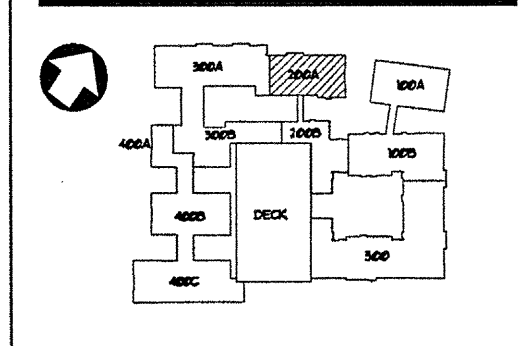
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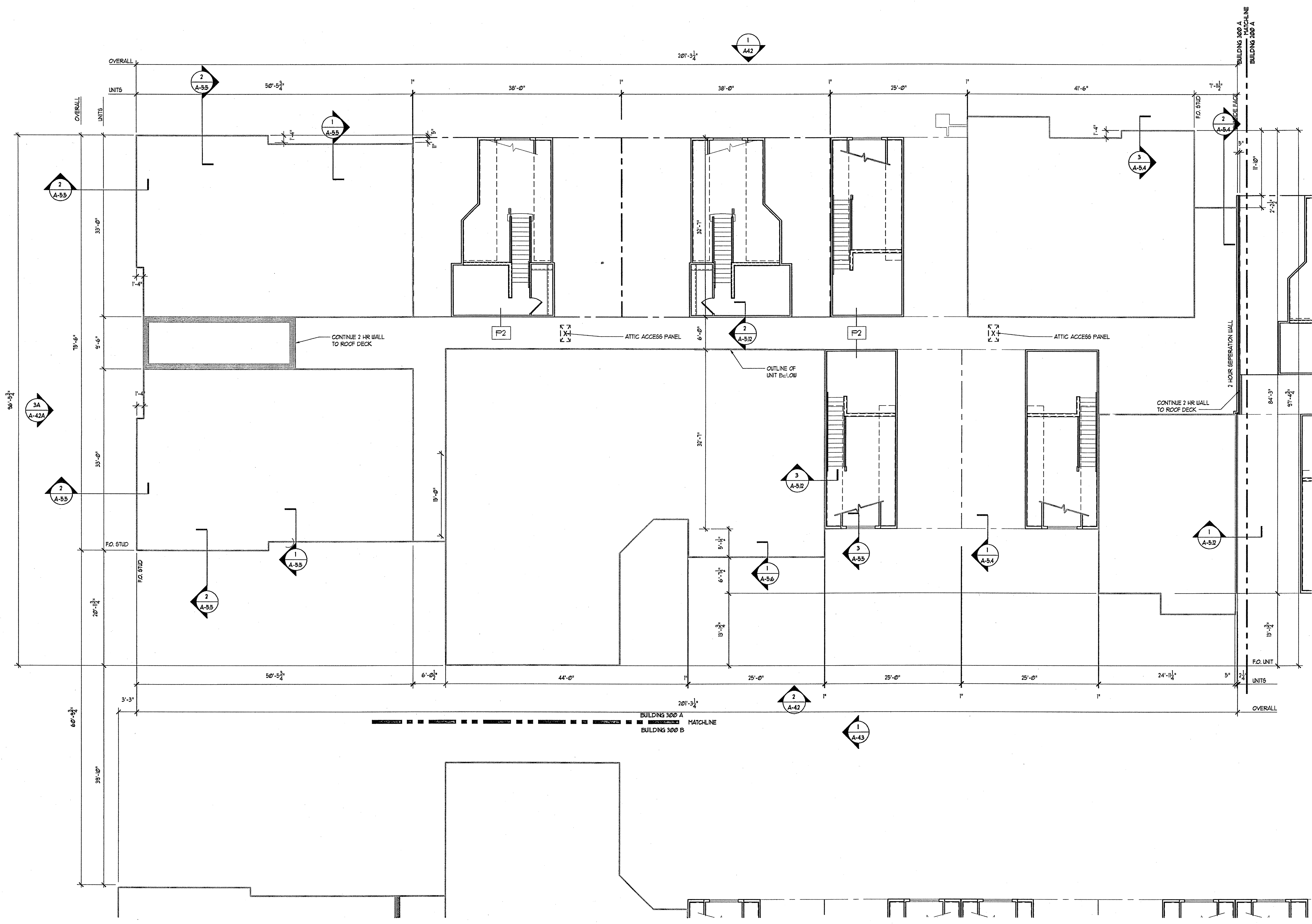
**ARCHSTONE COMMUNITIES**  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3553

REVISIONS  
RELEASED FOR CONSTRUCTION 01/01/03

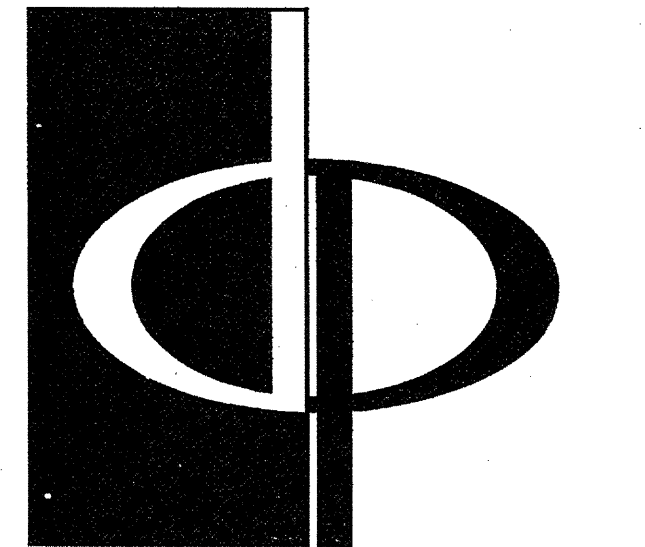
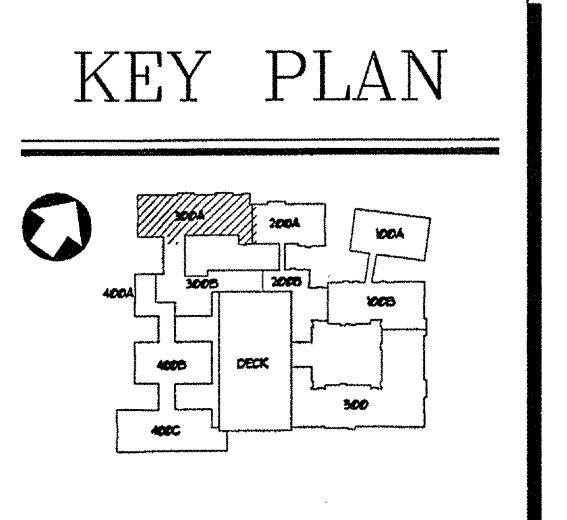
DATE 01/31/03  
JOB NUMBER 0211106  
DRAWN BY STM  
CHECKED BY  
DRAWING TITLE **BUILDING 200A LEVEL FOUR**  
DRAWING NUMBER **A-1.13**  
COMMENTS

**KEY PLAN**





1 BUILDING 300A - MEZZANINE LEVEL  
 A-114 SCALE: 1/8"=1'-0"  
 0' 4' 8' 16' 32'



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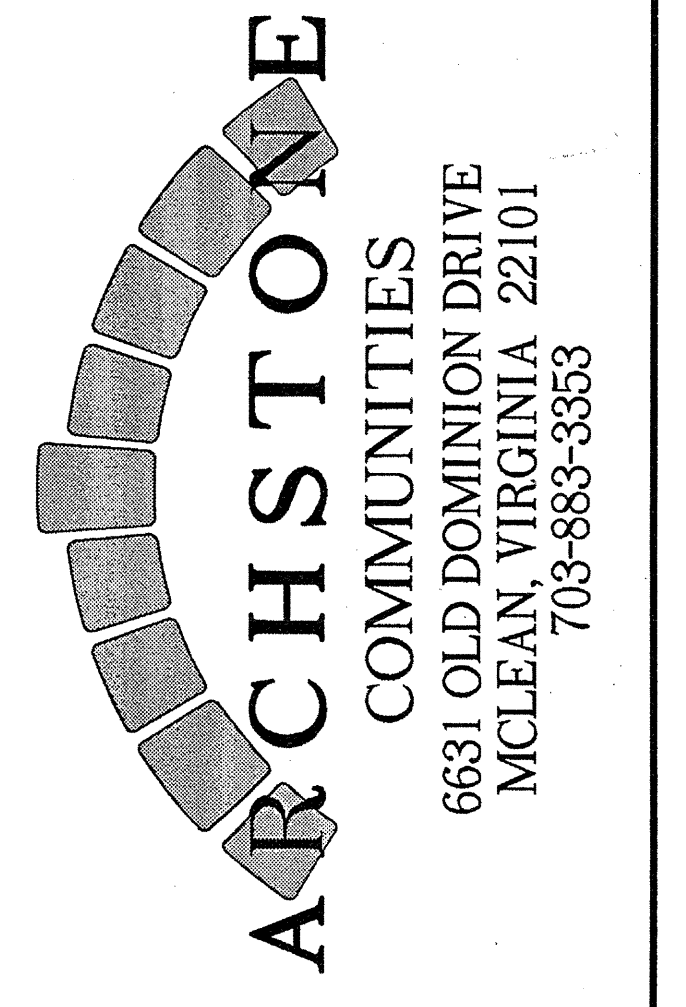
CONSULTANT \_\_\_\_\_

SEAL \_\_\_\_\_



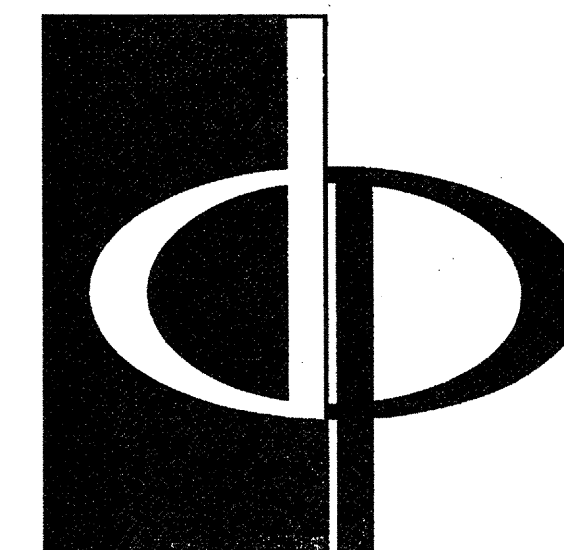
PROJECT  
**ARCHSTONE KENTLANDS**  
 949 QUINCE ORCHARD ROAD  
 GATHERSBURG, MARYLAND

FOR \_\_\_\_\_



REVISIONS  
 RELEASED FOR CONSTRUCTION 01/23/03

DATE \_\_\_\_\_  
 JOB NUMBER 012303  
 DRAWN BY 0211108  
 CHECKED BY \_\_\_\_\_  
 DRAWING TITLE 9TH  
 BUILDING 300A MEZZANINE LEVEL  
 DRAWING NUMBER A-114  
 COMMENTS \_\_\_\_\_



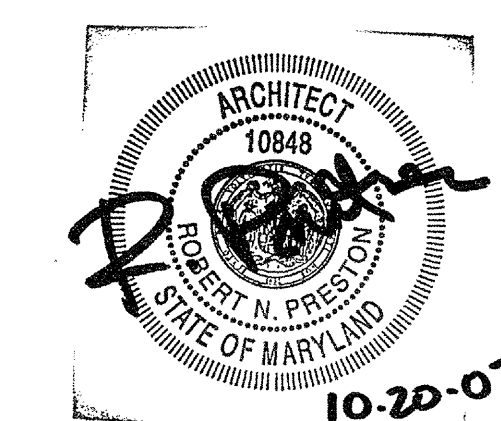
THE PRESTON PARTNERSHIP, LLC  
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GAITHERSBURG, MARYLAND

FOR

**ARCHSTONE**  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS

RELEASED FOR CONSTRUCTION 01/18/03

DATE 01/31/03

JOB NUMBER 0211020

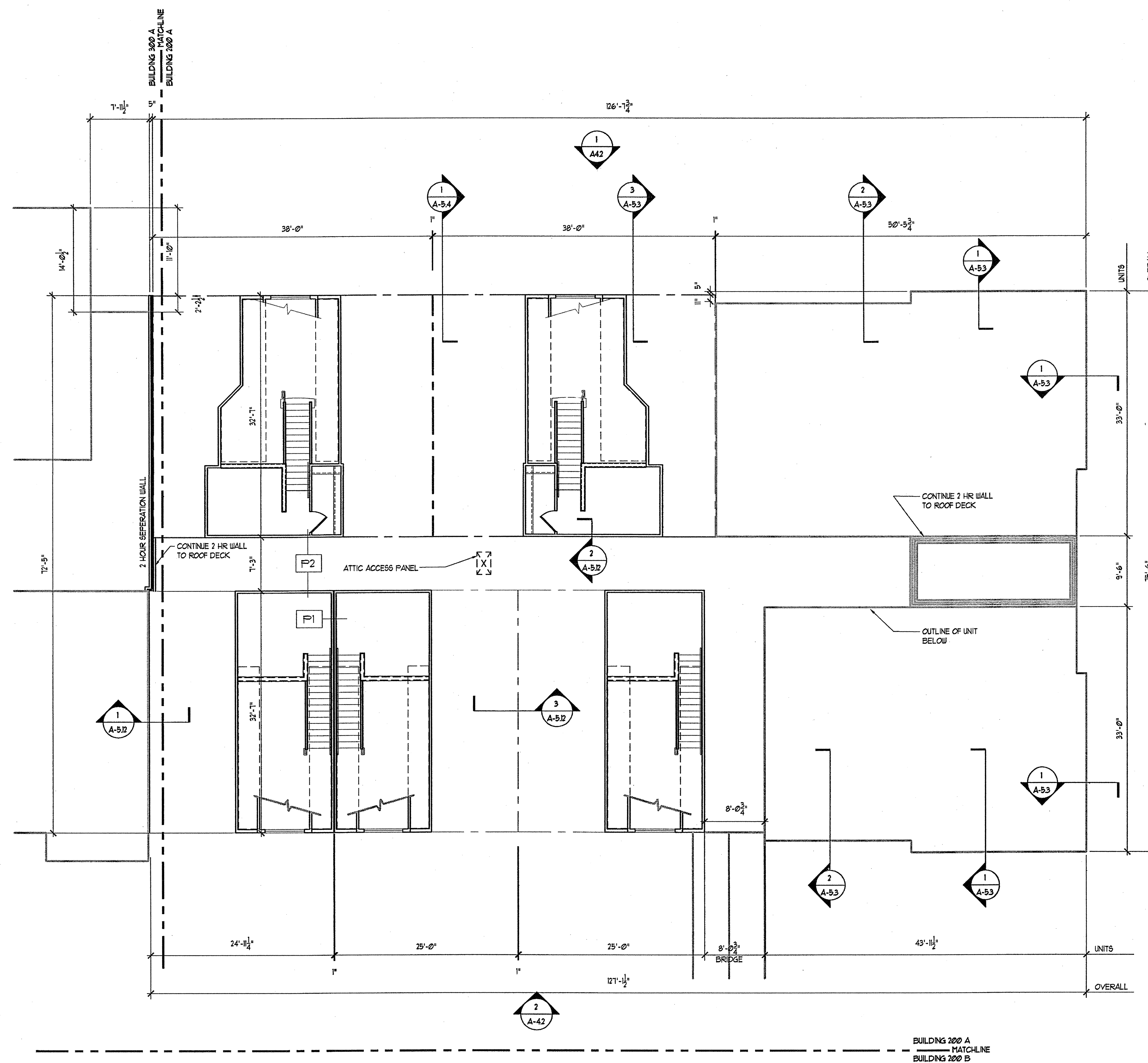
DRAWN BY

CHECKED BY STM

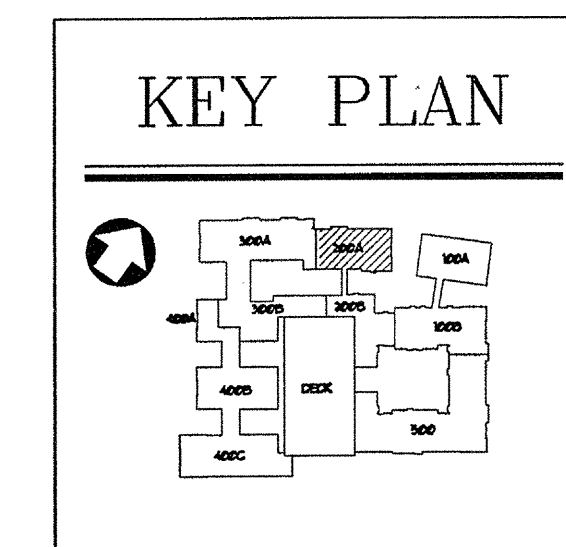
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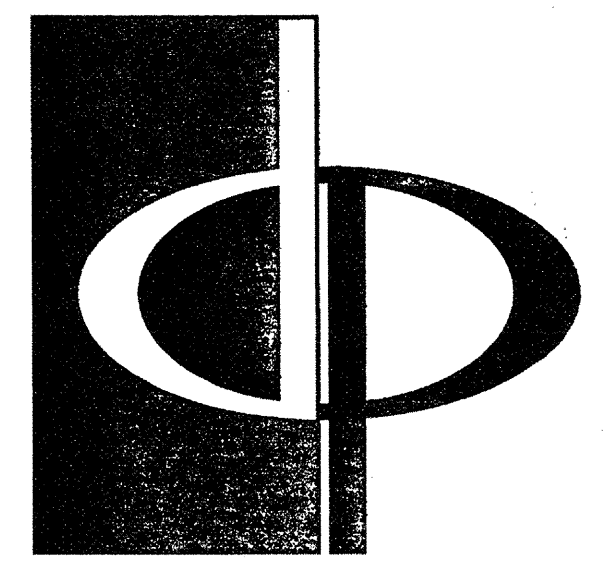
DRAWING NUMBER MEZZANINE LEVEL

COMMENTS A-1.15



**BUILDING 200A - MEZZANINE LEVEL**  
SCALE: 1/8"=1'-0"  
0 4' 8' 16' 32'

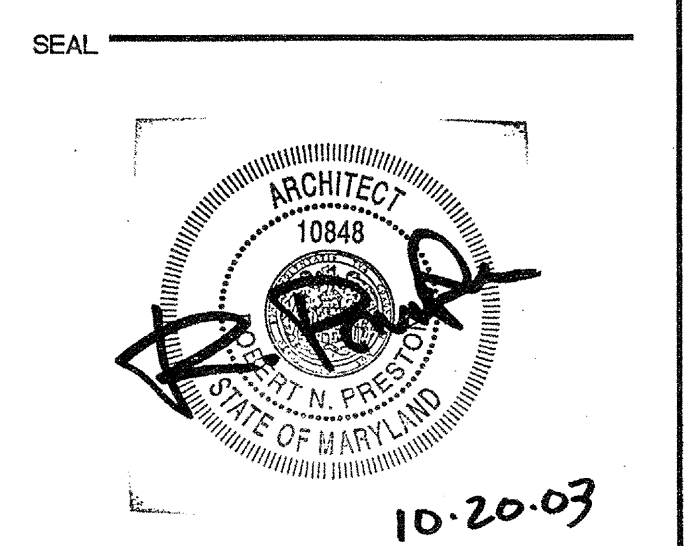




THE PRESTON PARTNERSHIP, LLC  
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949 QUINCE ORCHARD ROAD  
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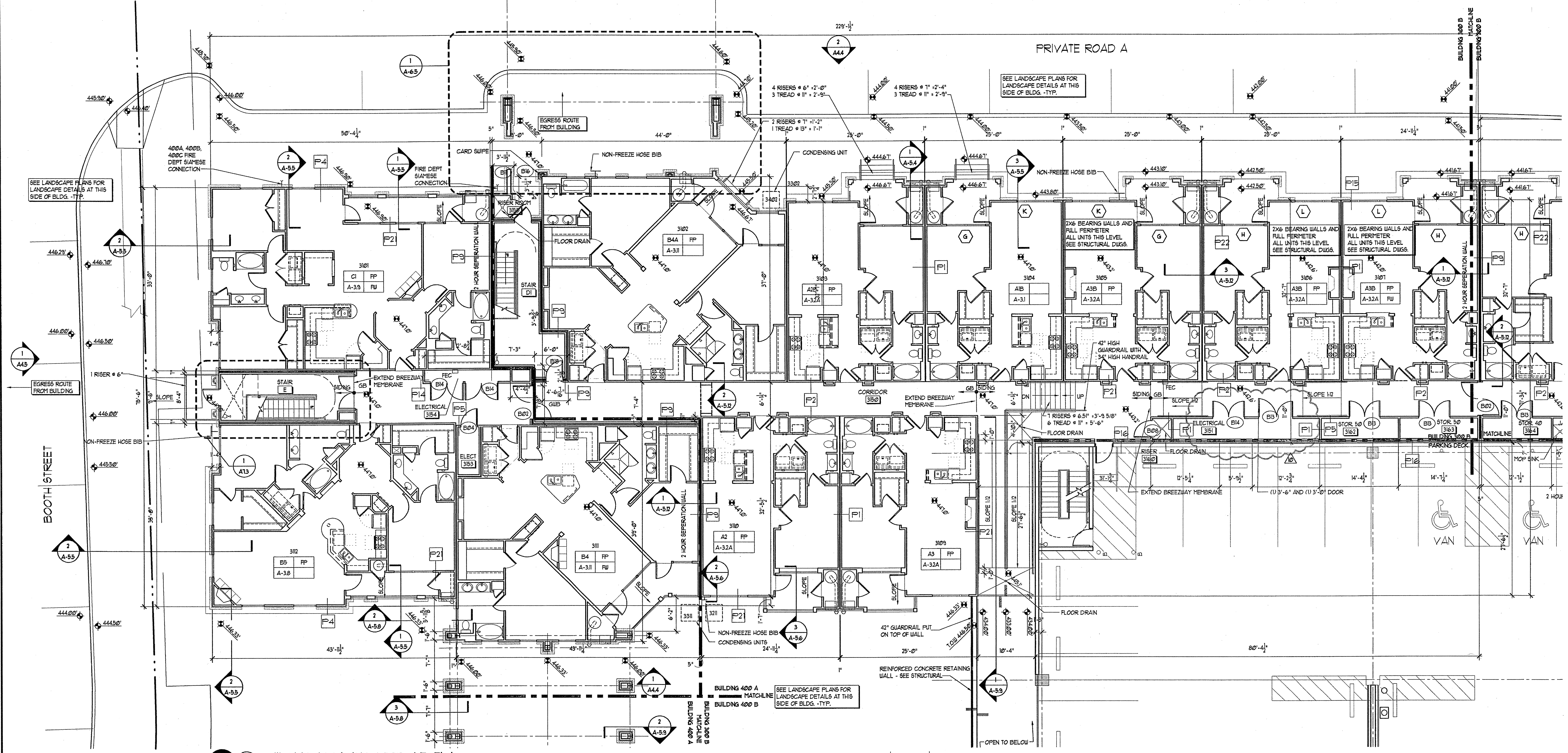
FOR  
**ARCHSTONE  
COMMUNITIES**  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS  
RELEASED FOR CONSTRUCTION 07/18/03  
TOM POPOFF REVIEW COMMENTS 07/18/03

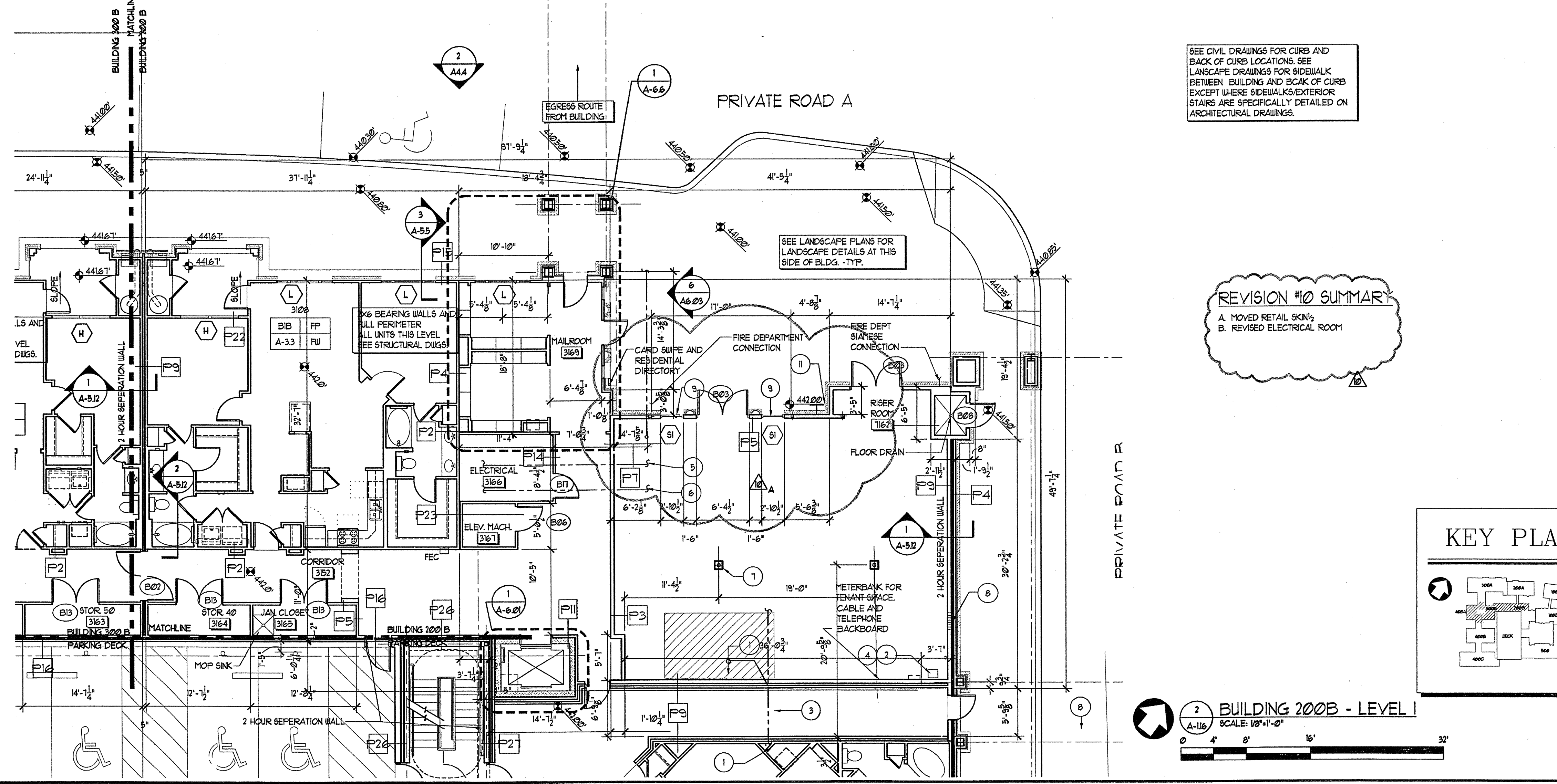
DATE	DESCRIPTION
07/18/03	RELEASED FOR CONSTRUCTION
07/18/03	TOM POPOFF REVIEW COMMENTS

DRAWN BY: 02/11/02  
CHECKED BY: 5TH  
DRAWING TITLE: **BUILDING 200B, 300B  
& 400A LEVEL ONE**  
DRAWING NUMBER: A-1.16

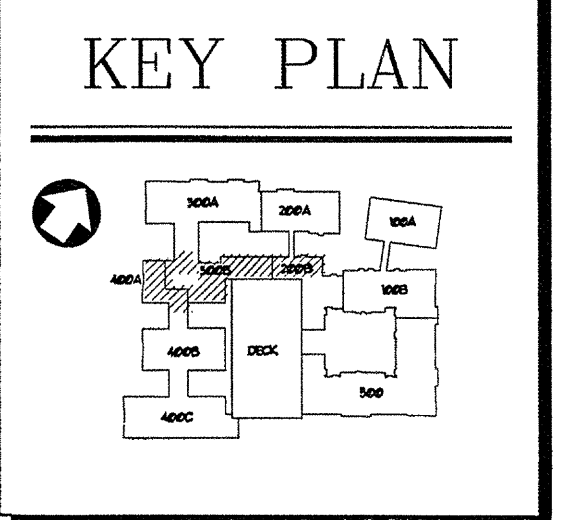
COMMENTS



**BUILDING 400A AND 300B - LEVEL 1**  
SCALE 1/8"=1'-0"

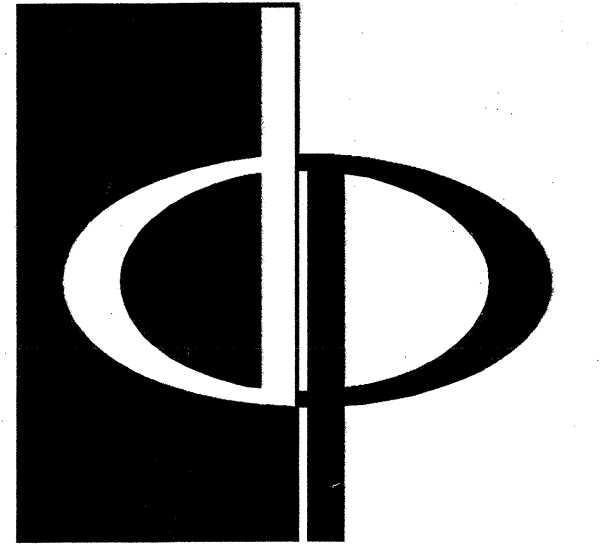


**BUILDING 200B - LEVEL 1**  
SCALE 1/8"=1'-0"



**REVISION #10 SUMMARY**  
A. MOVED RETAIL SIGN  
B. REVISED ELECTRICAL ROOM

- GENERAL NOTES (SHELL)**
- SANITARY SEWER LATERAL - STUB INTO BUILDING AT LOCATIONS SHOWN. STUB AT 6" ABOVE FINISH FLOOR FOR CONNECTION BY FUTURE TENANT AT LOCATIONS SHOWN. SEE PLUMBING DRAWINGS.
  - OVERHEAD WATER MAIN - STUB INTO BUILDING AT LOCATIONS SHOWN AND RUN TIGHT AGAINST UNDERSIDE OF CEILING STRUCTURE AND CAP FOR CONNECTION BY FUTURE RETAIL TENANT AT LOCATIONS SHOWN. SEE PLUMBING DRAWINGS.
  - SLAB LEAVE-OUT - NO CONCRETE SLAB IN AREA SHOWN SHADED. SLAB LEFT OUT TO ACCOMMODATE FUTURE RETAIL TENANT UNDERGOING PIPING.
  - FIRE PROTECTION RISER - FIRE PROTECTION SYSTEM SHALL BE INSTALLED COMPLETELY AND TIGHT AGAINST UNDERSIDE OF STRUCTURE ABOVE. TURN ALL HEADS UP PER LOCAL CODE.
  - ELECTRICAL CONDUIT - (2) 3" CONDUITS STUBBED INTO RETAIL SPACE 8" BELOW STRUCTURE FOR FUTURE RETAIL TENANT CONNECTION AND RUN OVERHEAD TO TELEPHONE LOCATION. SEE ELECTRICAL DRAWINGS.
  - TELEPHONE CONDUIT - 1" CONDUIT STUBBED INTO RETAIL SPACE 8" BELOW STRUCTURE FOR FUTURE RETAIL TENANT CONNECTION AND RUN OVERHEAD TO TELEPHONE CABINET. SEE ELECTRICAL DRAWINGS.
  - COLUMN - SEE STRUCTURAL DRAWINGS.
  - FRESH AIR LOUVER - ARCHITECTURAL GRILL IN EXTERIOR WALL TO PROVIDE FRESH AIR INTAKE FOR FUTURE HVAC SYSTEM FOR FUTURE RETAIL TENANT. SEE MECHANICAL DRAWINGS AND ARCHITECTURAL ELEVATIONS. SIZE TO BE 12" HIGH BY 24" WIDE.
  - STOREFRONT SYSTEM - SEE FINISH SCHEDULE AND EXTERIOR ELEVATIONS. TYPE "C" 500' ONTUM BOARD AT INTERIOR OF ALL STOREFRONTS ABOVE AND BELOW STOREFRONT WHERE APPLICABLE.
  - JUNCTION BOX - JUNCTION BOX AT STOREFRONT FOR FUTURE CONNECTION TO TENANT SIGN. PROVIDE 10" CONDUIT WITH PULL STRING AND STUB 6'-0" INSIDE OF RETAIL SPACE.
  - HOSE-BIB - NON-FREEZE HOSE BIB MOUNTED AT 24" AFF. SEE PLUMBING DRAWINGS.
  - FIRE EXTINGUISHER - MIN SIZE 2 A 10 BC. TOP HANDLE TO BE 48" AFF. MAX.
  - REFRIGERANT CONDUIT - 2" CONDUIT RUN UNDERGROUND AND STUBBED UP IN RETAIL SPACES AT 6" AFF FOR CONNECTION TO HVAC SYSTEM FOR FUTURE RETAIL TENANT.
  - LIGHT FIXTURES -
  - CONTRACTOR SHALL PERMANENTLY IDENTIFY ALL FIRE RATED WALLS (AND CORRESPONDING HOURLY RATING) REQUIRED TO HAVE PROTECTED OPENINGS, CORRIDOR PARTITIONS, SMOKESTOP PARTITIONS, HORIZONTAL EXIT PARTITIONS, AND EXIT ENCLOSURES EITHER BY INSTALLING SIGNS OR BY STENCILING IN CONCEALED SPACES THE FOLLOWING: (1) HOUR FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS. IDENTIFICATION SHALL BE SPACED NO MORE THAN 10 FEET ON CENTER WITH A MINIMUM LETTER SIZE OF TWO (2) INCHES IN HEIGHT ON A CONTRASTING BACKGROUND.
  - CONCEALED INSULATING MATERIALS INSTALLED WITHIN WALL, FLOOR ROOF, AND CEILING CAVITIES IN BUILDING OF ANY CONSTRUCTION TYPE SHALL HAVE A FLAME SPREAD RATING NO GREATER THAN 15 AND A SMOKE DEVELOPED RATING NO GREATER THAN 450 AS DETERMINED IN ACCORDANCE WITH ASTM E 84.
  - ADDRESS SHALL BE DISPLAYED ON STOREFRONT.



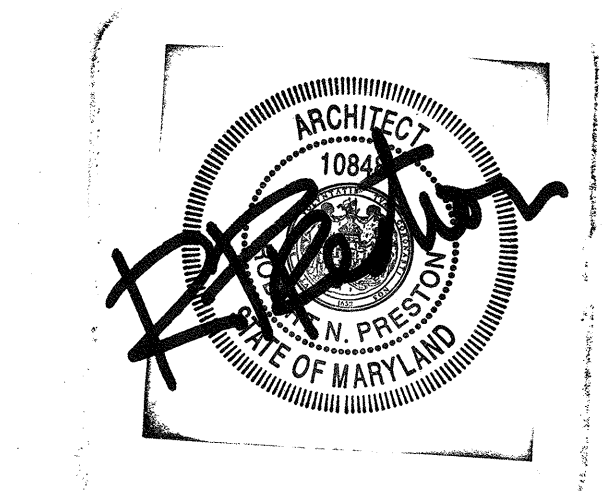
THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

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TELEPHONE: 770 396 7248  
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PROJECT

ARCHSTONE  
KENTLANDS  
349 QUince ORCHARD ROAD  
GAITHERSBURG, MARYLAND

FOR

**ARCHSTONE**  
COMMUNITIES  
66331 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS

RELEASED FOR CONSTRUCTION	07/18/03
OWNER COMMENTS	3/10/03
ADDENDUM 5/BDC	4/16/03
ADDENDUM 6	4/22/03
PERMIT REVIEW COMMENTS	5/28/03
ADDENDUM 8	6/30/03
FIRE MARSHALL REVIEW	07/12/04

DATE

JUL 13 2003

JOB NUMBER

0211702

DRAWN BY

6TM

CHECKED BY

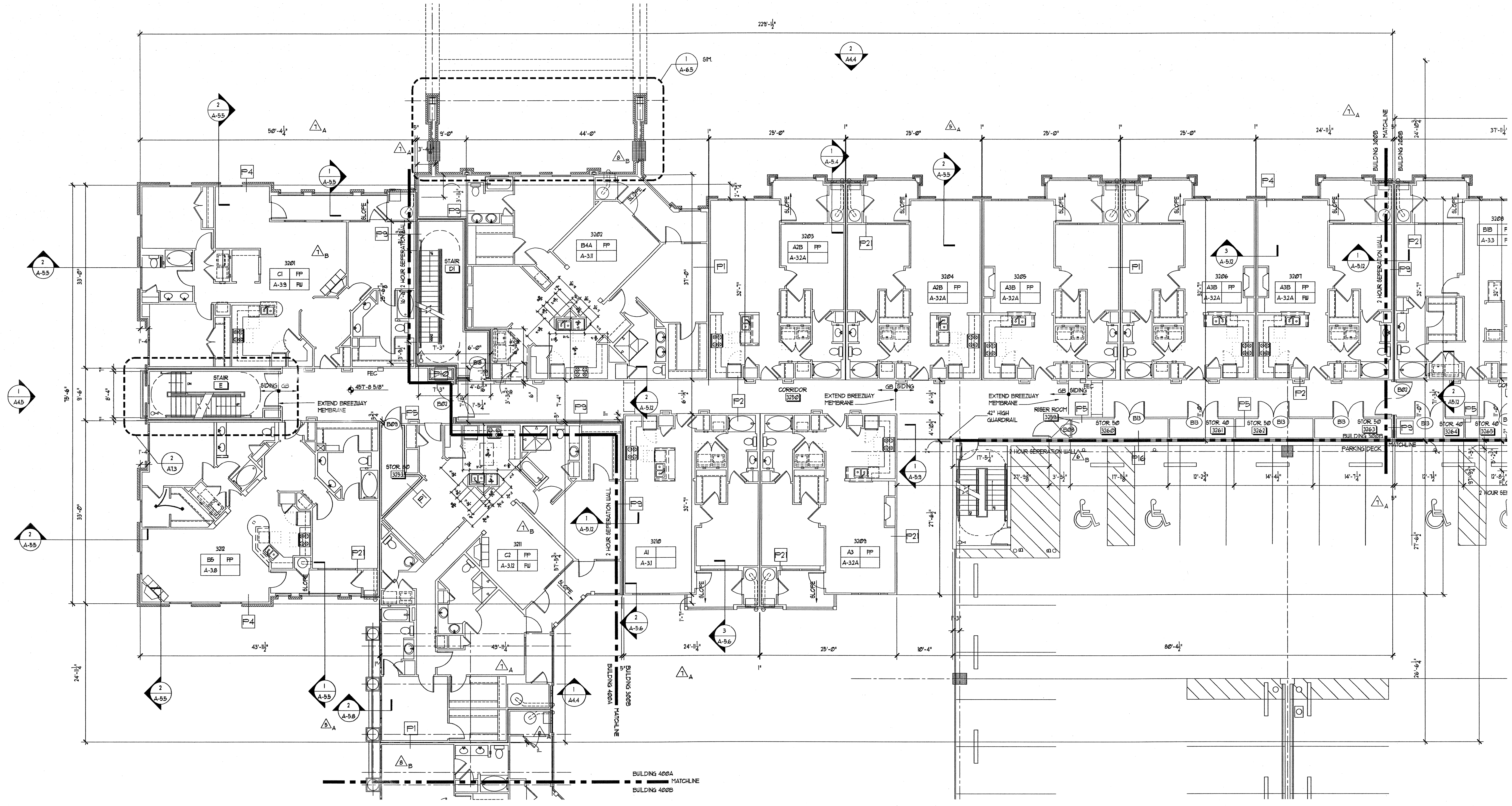
BUILDING TITLE

BUILDING 200B, 300B & 400A LEVEL TWO

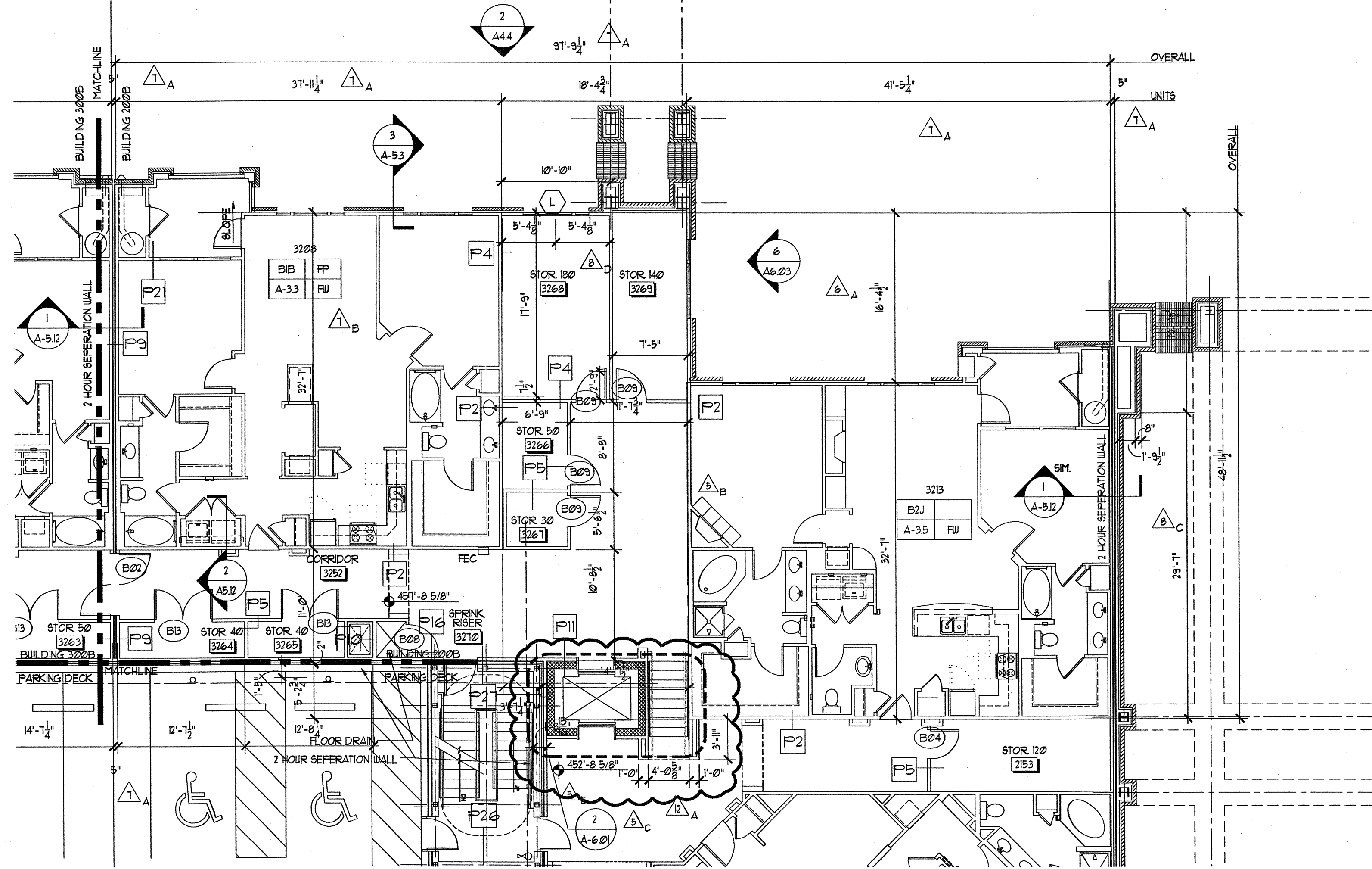
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A-117

COMMENTS



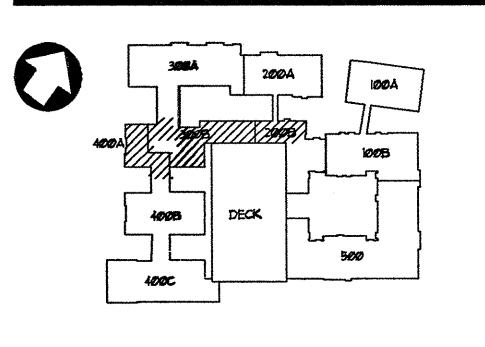
1 BUILDING 300B AND 400A - LEVEL 2  
SCALE 1/8"=1'-0"

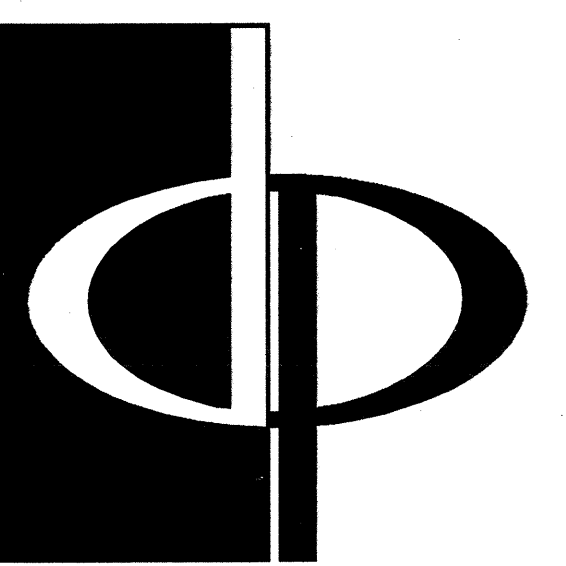


2 BUILDING 200B - LEVEL 2  
SCALE 1/8"=1'-0"

REVISION #12 SUMMARY  
A MODIFIED FLOOR PLAN

KEY PLAN

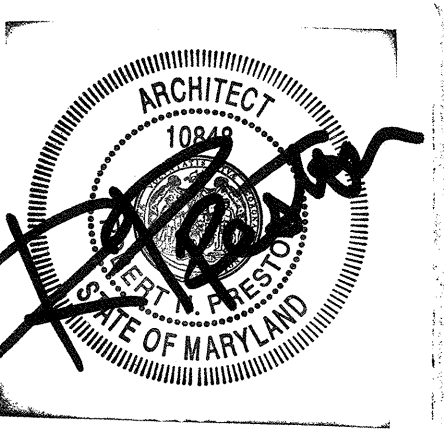




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PROJECT  
**ARCHSTONE  
 KENTLANDS**  
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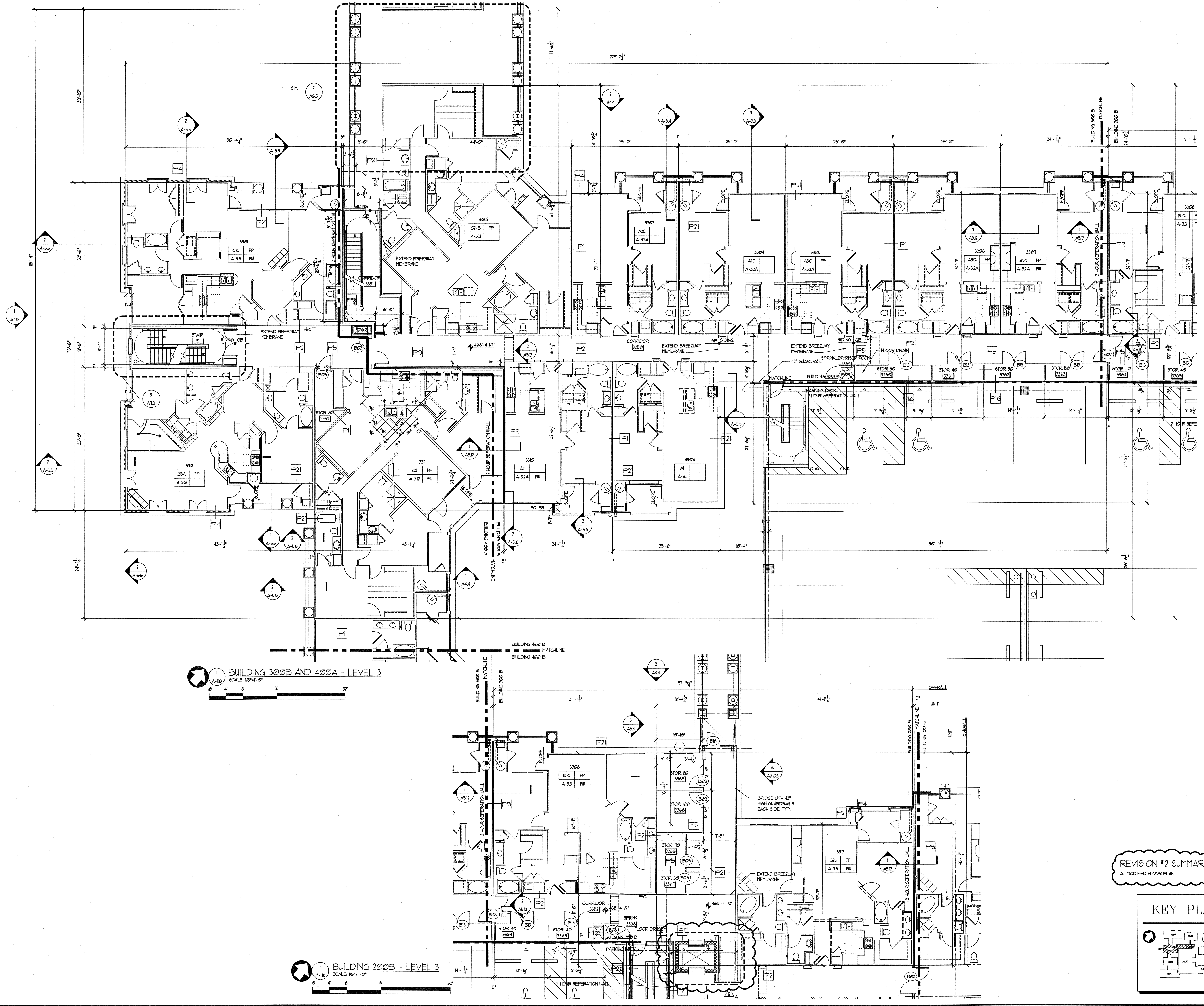
FOR

**ARCHSTONE**  
 COMMUNITIES  
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REVISIONS

RELEASED FOR CONSTRUCTION	07/18/03
FIRE MARSHALL REVIEW	07/22/04

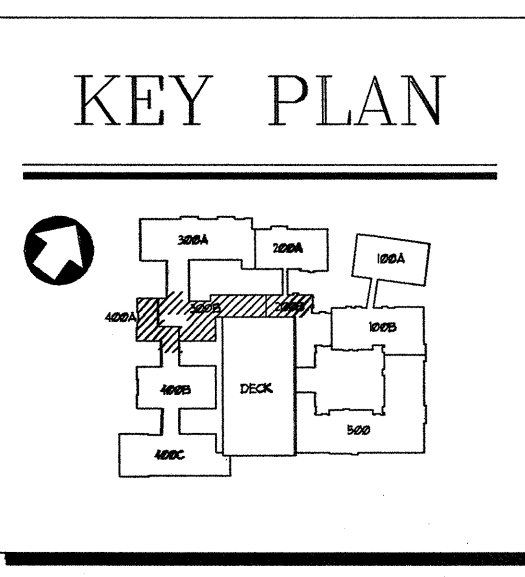
DATE	
JOB NUMBER	013103
DRAWN BY	021108
CHECKED BY	STM
DRAWING TITLE	BUILDING 200B, 300B & 400A LEVEL THREE
DRAWING NUMBER	A-118
COMMENTS	



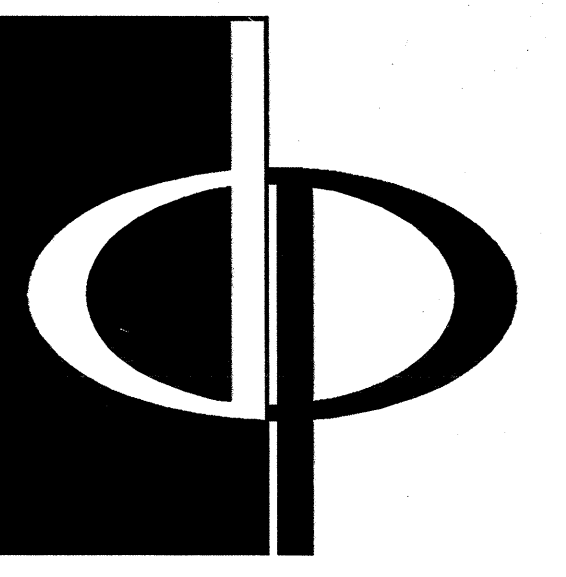
1 BUILDING 300B AND 400A - LEVEL 3  
 A-118 SCALE: 1/8"=1'-0"

2 BUILDING 200B - LEVEL 3  
 A-118 SCALE: 1/8"=1'-0"

REVISION #12 SUMMARY  
 A MODIFIED FLOOR PLAN







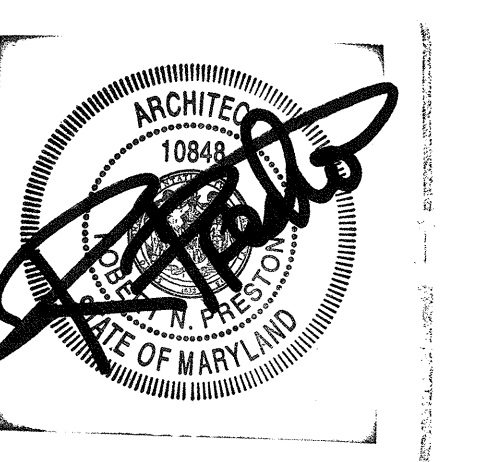
THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
FAX: 770 396 2945

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CONSULTANT

SEAL



PROJECT

ARCHSTONE  
KENTLANDS  
349 QUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

FOR

**ARCHSTONE**  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

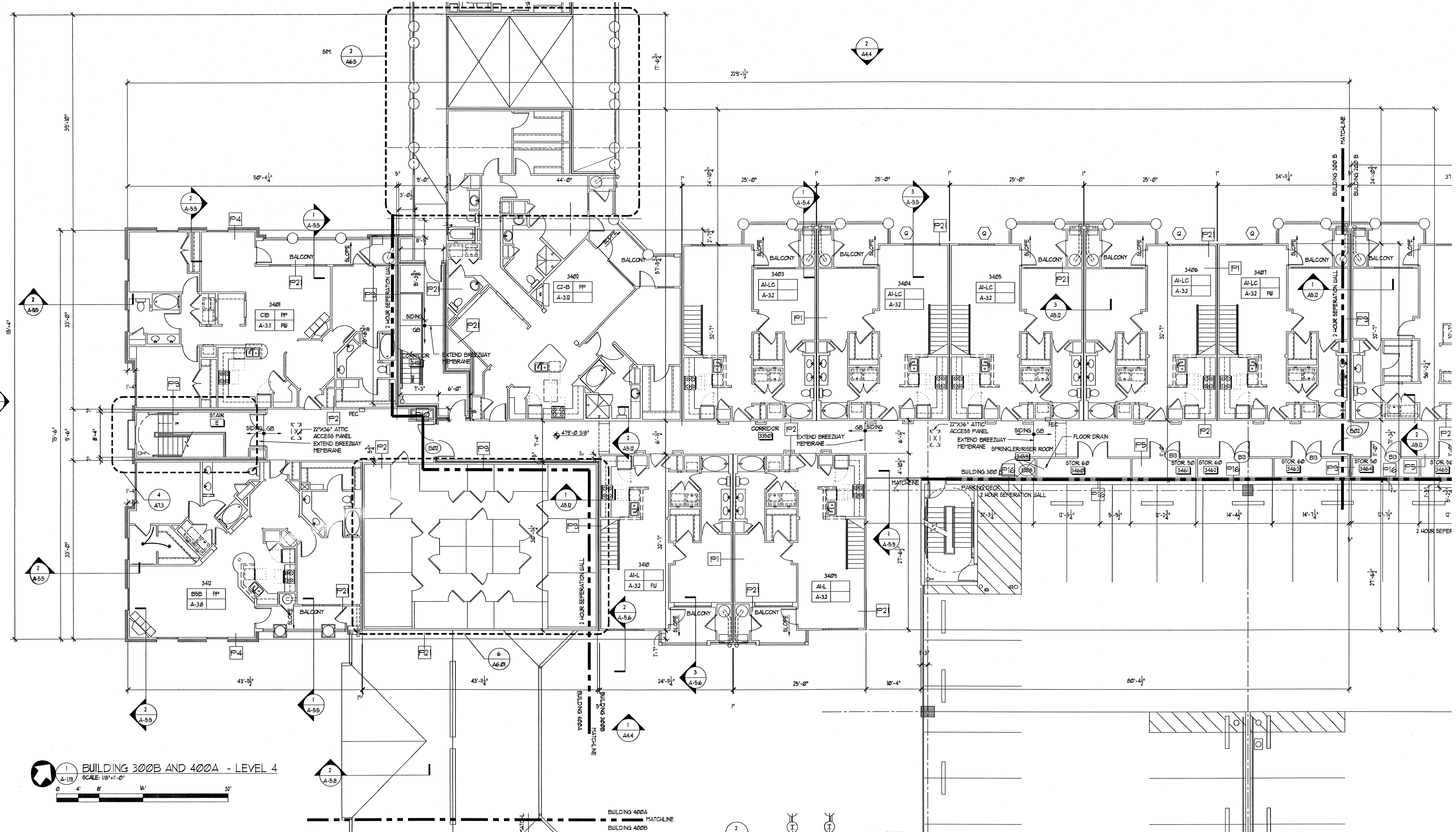
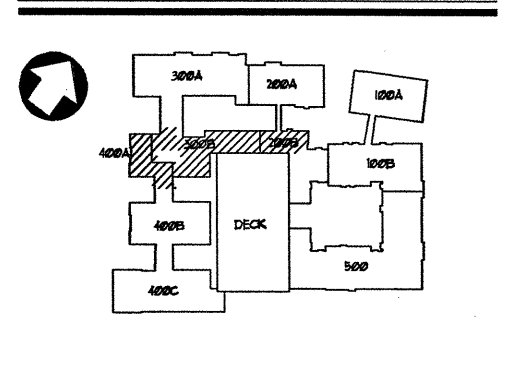
REVISIONS

RELEASED FOR CONSTRUCTION	07/18/03
FIRE MARSHALL REVIEW	07/12/04

DATE	07/13/03
JOB NUMBER	021108
DRAWN BY	STM
CHECKED BY	STM
DRAWING TITLE	BUILDING 200B, 300B & 400A LEVEL FOUR
DRAWING NUMBER	A-119
COMMENTS	

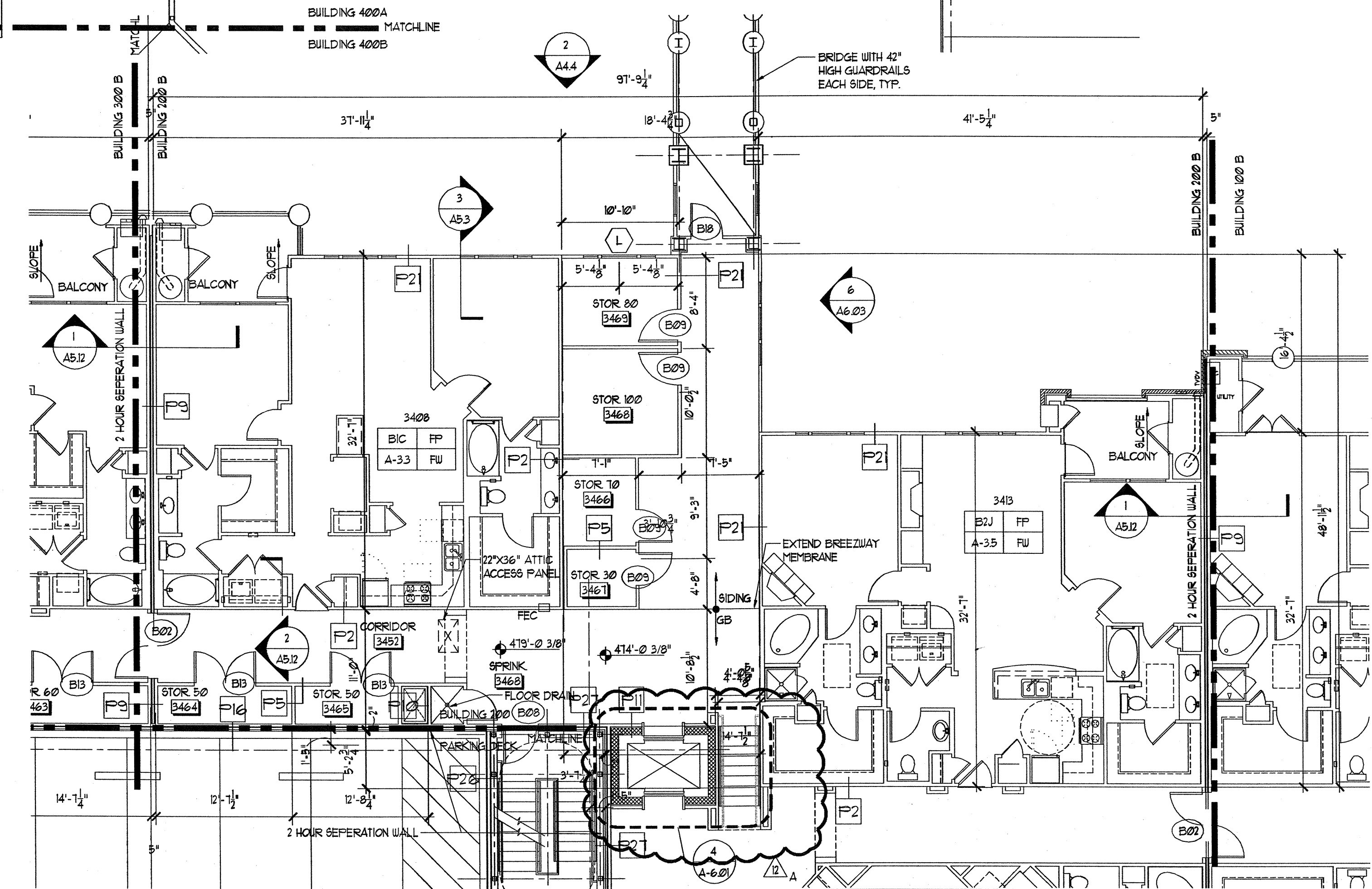
REVISION #12 SUMMARY  
A. MODIFIED FLOOR PLAN

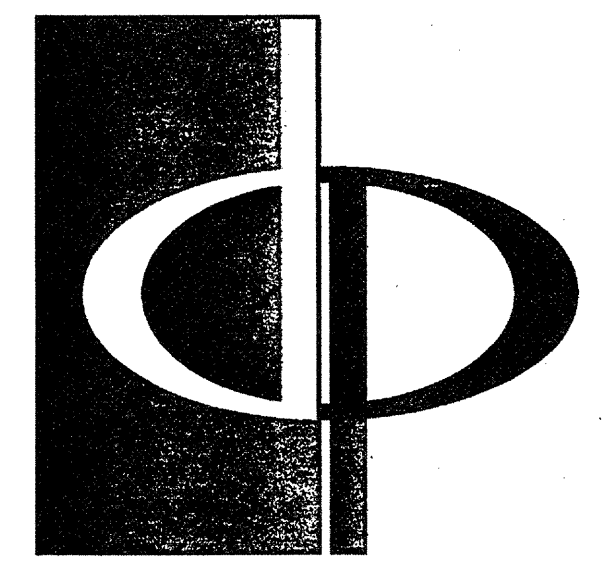
KEY PLAN



1 BUILDING 300B AND 400A - LEVEL 4  
SCALE 1/8"=1'-0"

2 BUILDING 200B - LEVEL 4  
SCALE 1/8"=1'-0"





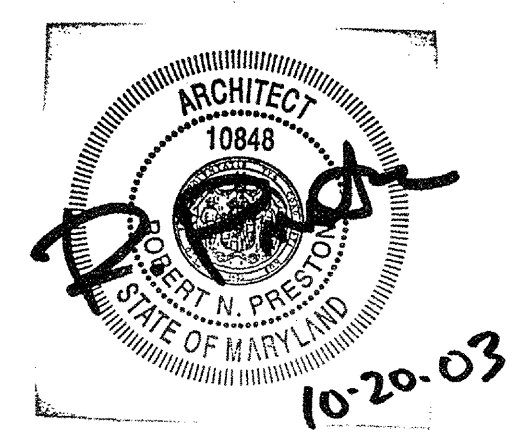
THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
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FAX: 770 396 2945

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ARCHSTONE  
KENTLANDS  
949 QUINCE ORCHARD ROAD  
GATHERERSBURG, MARYLAND

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**ARCHSTONE**  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-888-3553

REVISIONS

RELEASED FOR CONSTRUCTION 07/26/03

DATE 01/31/03

JOB NUMBER 021102

DRAWN BY

CHECKED BY STM

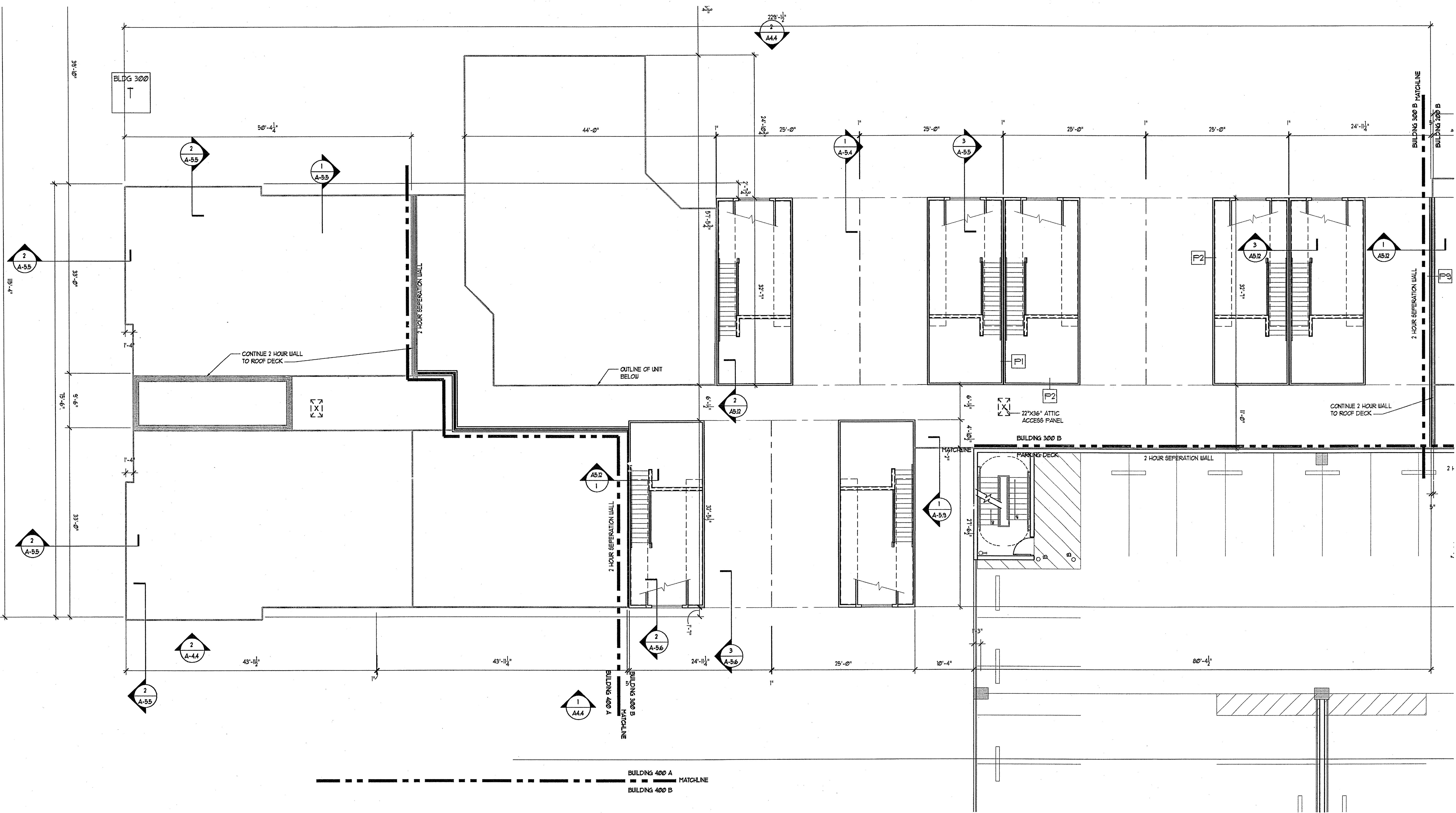
DRAWING TITLE

BUILDINGS 200B, 300B  
& 400A MEZZANINE LEVEL

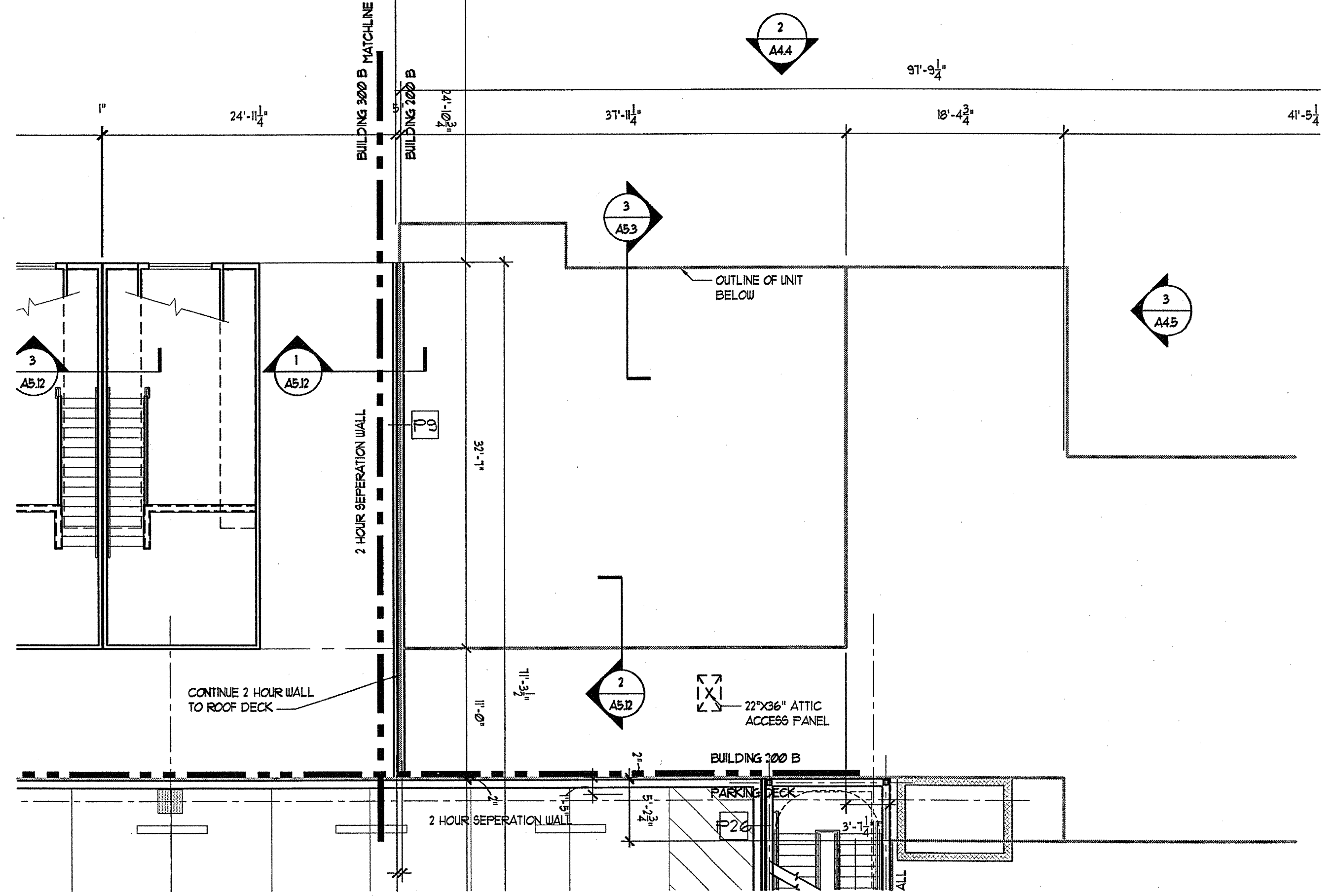
DRAWING NUMBER

A-120

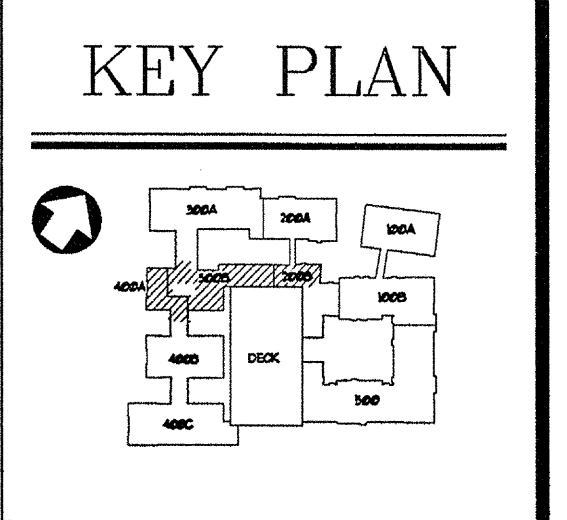
COMMENTS

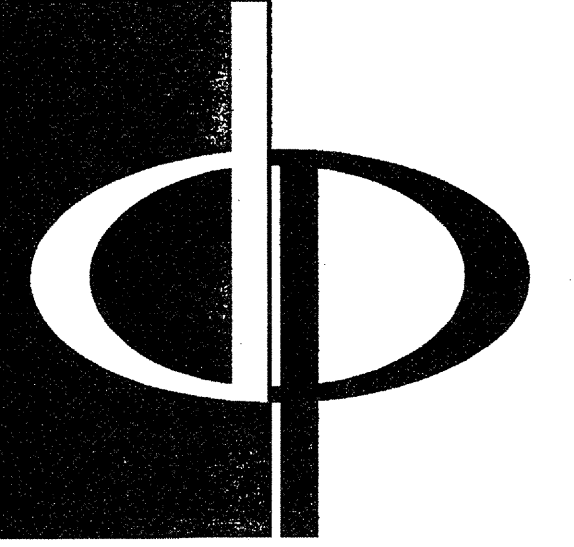


1 BUILDING 300B AND 400A - MEZZANINE LEVEL  
SCALE: 1/8"=1'-0"



2 BUILDING 200B - MEZZANINE LEVEL  
SCALE: 1/8"=1'-0"





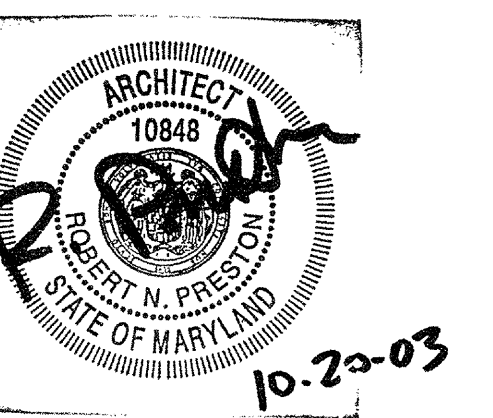
THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

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TELEPHONE: 770 396 7248  
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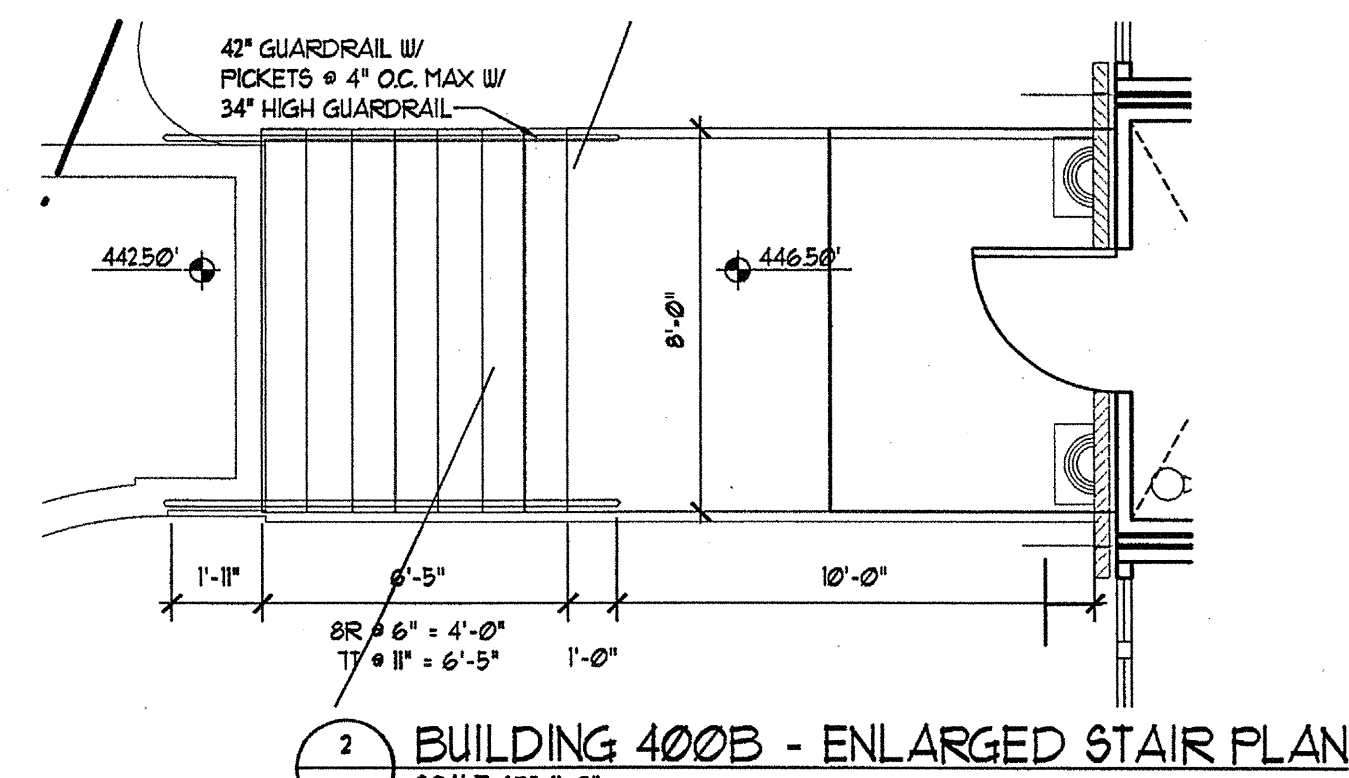
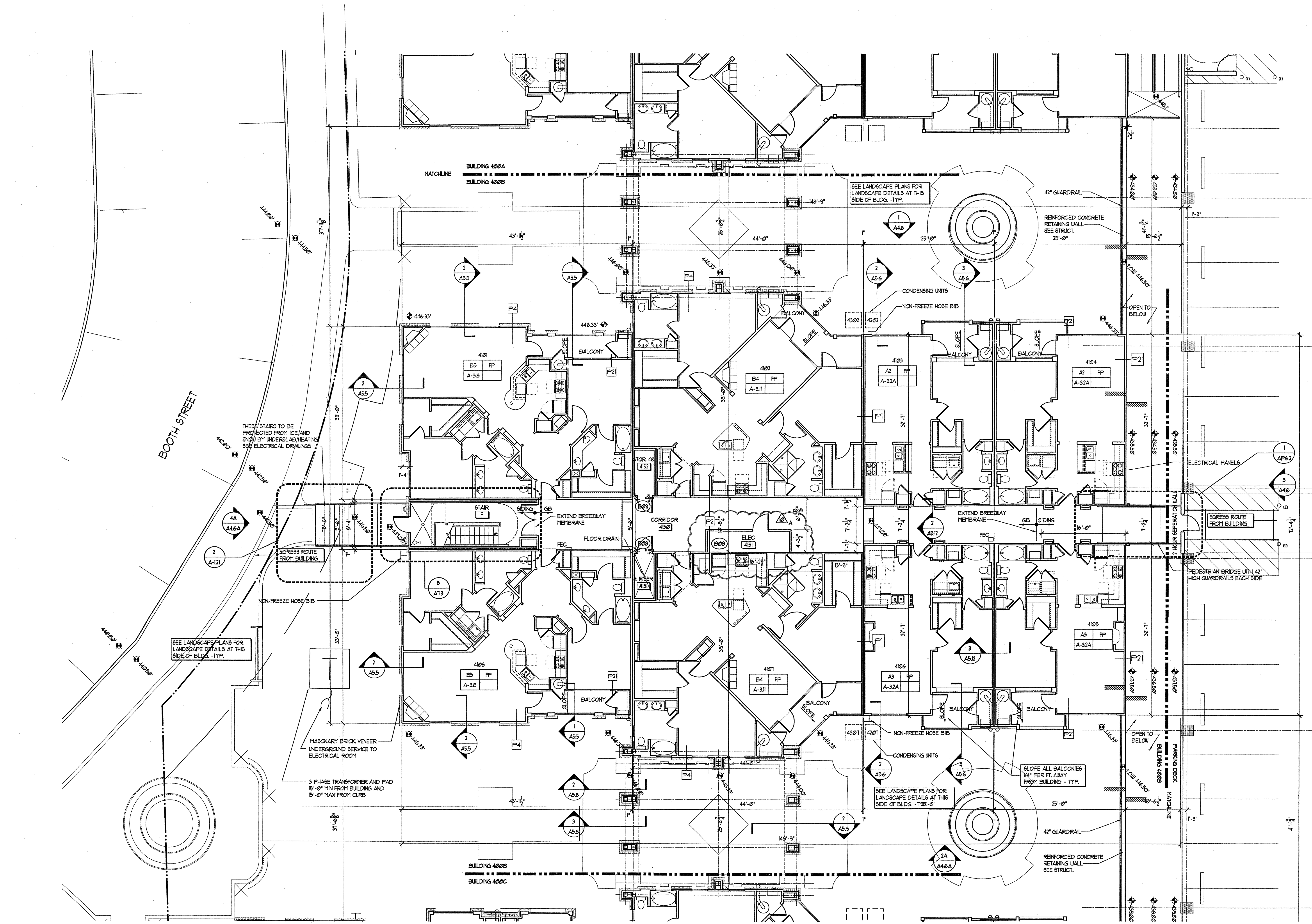
ARCHSTONE  
KENTLANDS  
949 QUINCE ORCHARD ROAD  
GAITHERSBURG, MARYLAND

FOR

**ARCHSTONE**  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS  
RELEASED FOR CONSTRUCTION 07/18/03  
TOM POPOFF REVIEW COMMENTS 07/18/03

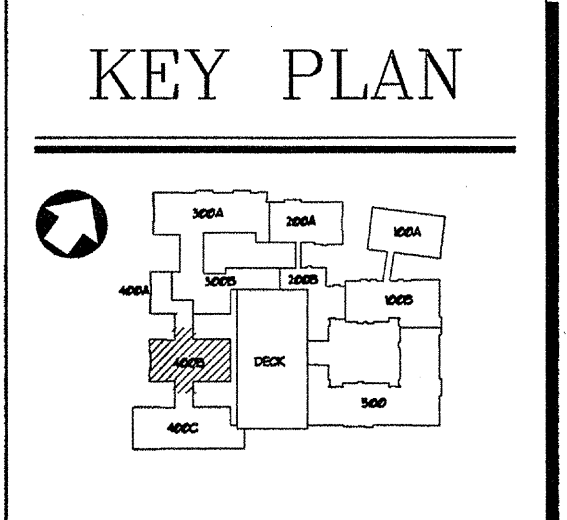
DATE \_\_\_\_\_  
JOB NUMBER 07/31/03  
DRAWN BY 02/11/02  
CHECKED BY \_\_\_\_\_  
DRAWING TITLE BUILDING 400B LEVEL ONE  
DRAWING NUMBER A-121  
COMMENTS \_\_\_\_\_

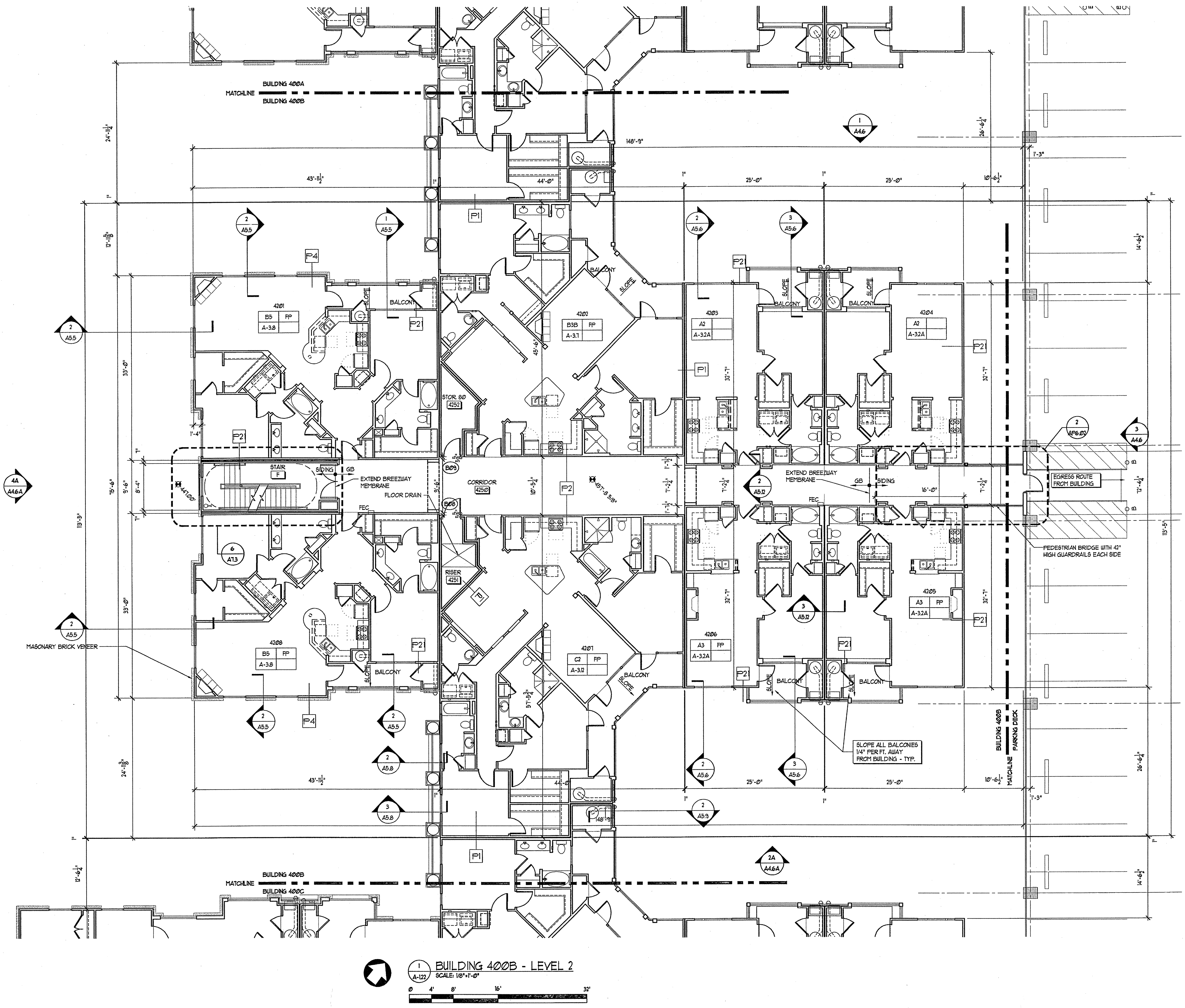


1 BUILDING 400B - LEVEL 1  
SCALE: 1/8\"/>

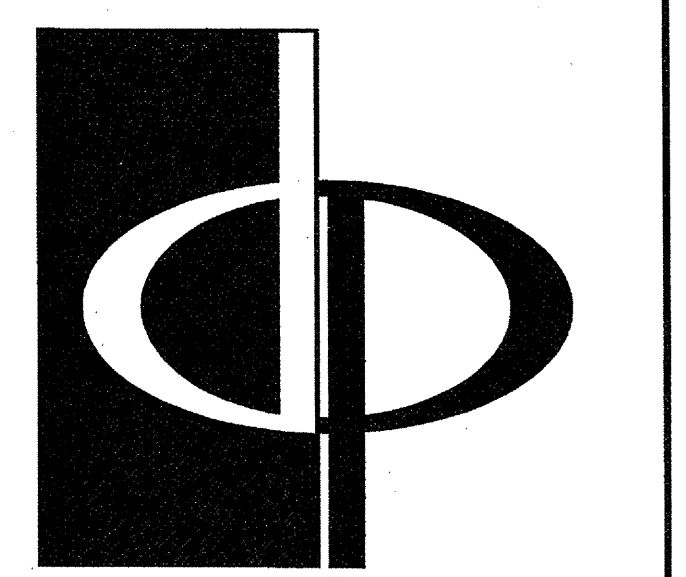
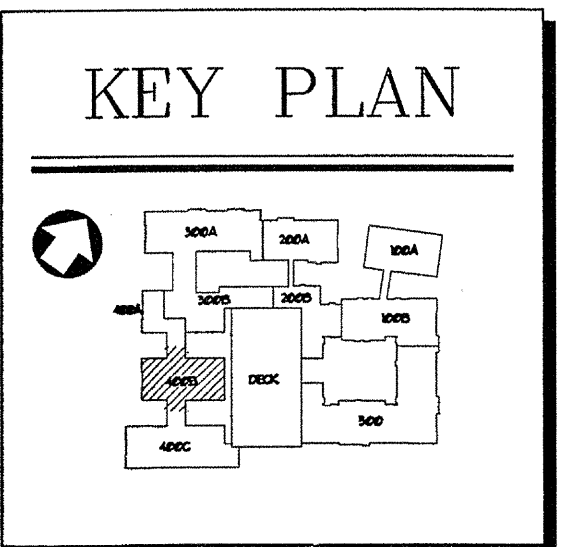
SEE CIVIL DRAWINGS FOR CURBS AND BACK OF CURB LOCATIONS. SEE LANDSCAPE DRAWINGS FOR SIDEWALK BETWEEN BUILDING AND BACK OF CURB EXCEPT WHERE SIDEWALK/EXTERIOR STAIRS ARE SPECIFICALLY DETAILED ON ARCHITECTURAL DRAWINGS.

REVISION #0 SUMMARY  
A. ADDED ELECTRICAL ROOM





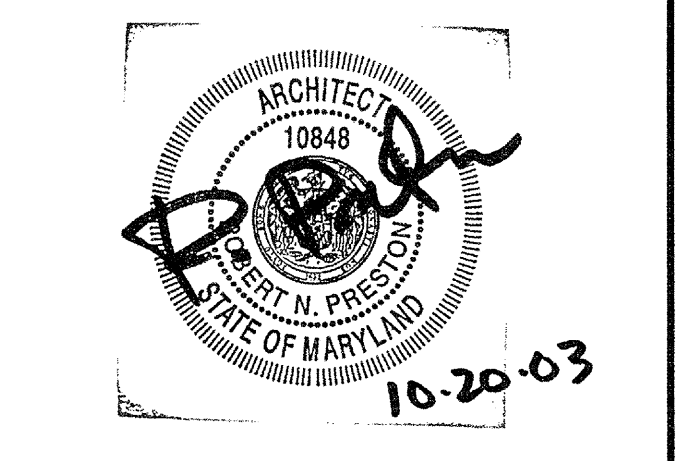
1 BUILDING 400B - LEVEL 2  
 SCALE: 1/8"=1'-0"  
 0 4' 8' 16' 32'



THE PRESTON PARTNERSHIP, LLC  
 A MULTI-DISCIPLINARY DESIGN FIRM  
 1000 ABERNATHY ROAD NE, SUITE 600  
 ATLANTA, GEORGIA 30328  
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 FAX: 770 396 2945  
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PROJECT  
**ARCHSTONE KENTLANDS**  
 943 QUINCE ORCHARD ROAD  
 GAITHERSBURG, MARYLAND

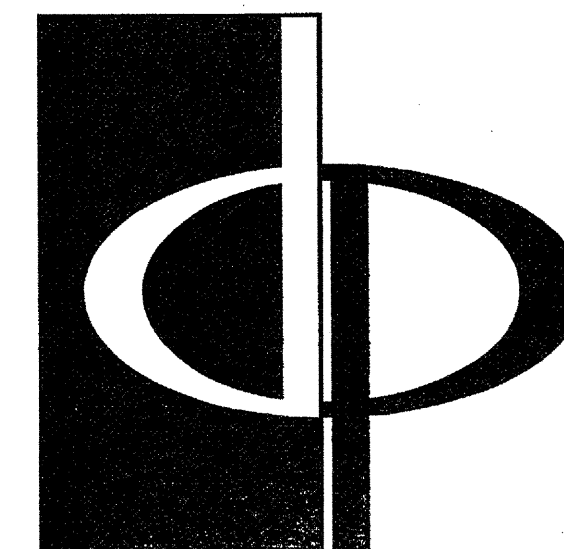
FOR

**ARCHSTONE COMMUNITIES**  
 6631 OLD DOMINION DRIVE  
 MCLEAN, VIRGINIA 22101  
 703-883-3353

REVISIONS  
 RELEASED FOR CONSTRUCTION 07/18/03

DATE	
JOB NUMBER	0131023
DRAWN BY	0211020
CHECKED BY	
DRAWING TITLE	BUILDING 400B LEVEL TWO
DRAWING NUMBER	A-122
COMMENTS	

DATE \_\_\_\_\_  
 JOB NUMBER 0131023  
 DRAWN BY 0211020  
 CHECKED BY \_\_\_\_\_  
 DRAWING TITLE BUILDING 400B LEVEL TWO  
 DRAWING NUMBER A-122  
 COMMENTS \_\_\_\_\_



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PROJECT

ARCHSTONE  
KENTLANDS

949 QUINCE ORCHARD ROAD  
GAITHERSBURG, MARYLAND

FOR

**ARCHSTONE**  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS  
RELEASED FOR CONSTRUCTION 01/18/03

DATE 01/31/03

JOB NUMBER 021102

DRAWN BY

CHECKED BY

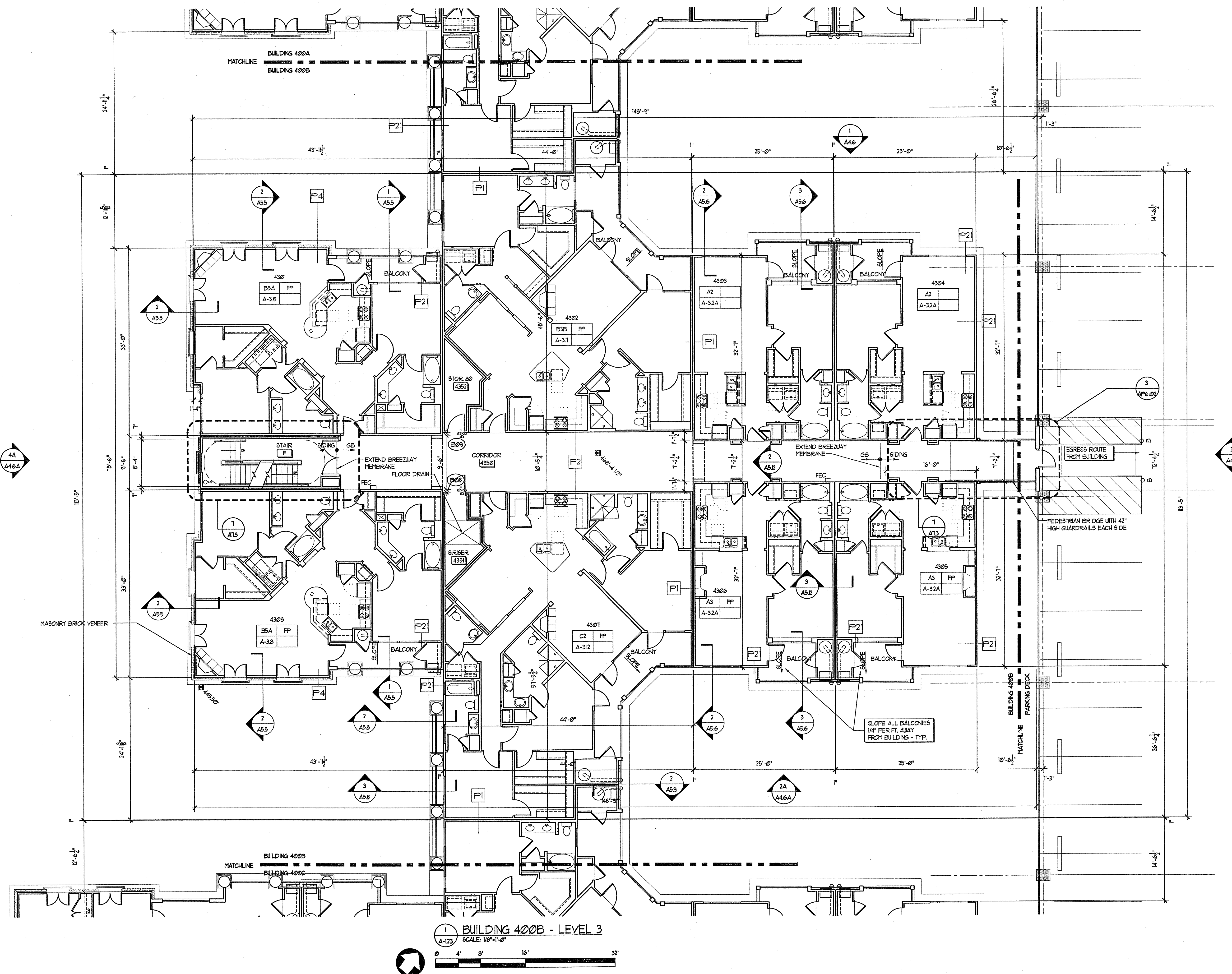
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BUILDING 400B  
LEVEL THREE

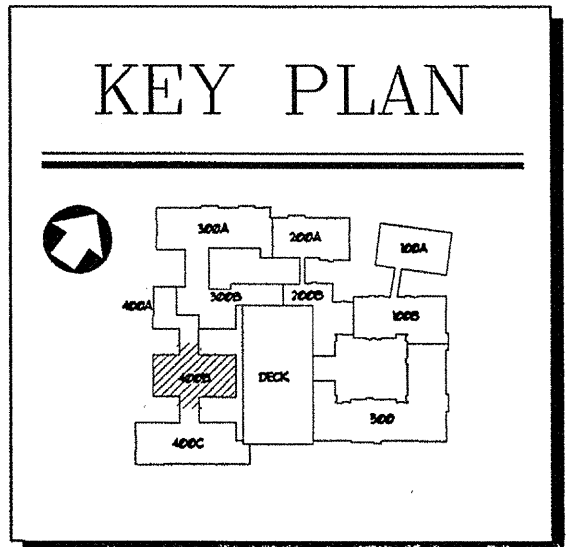
DRAWING NUMBER

A-123

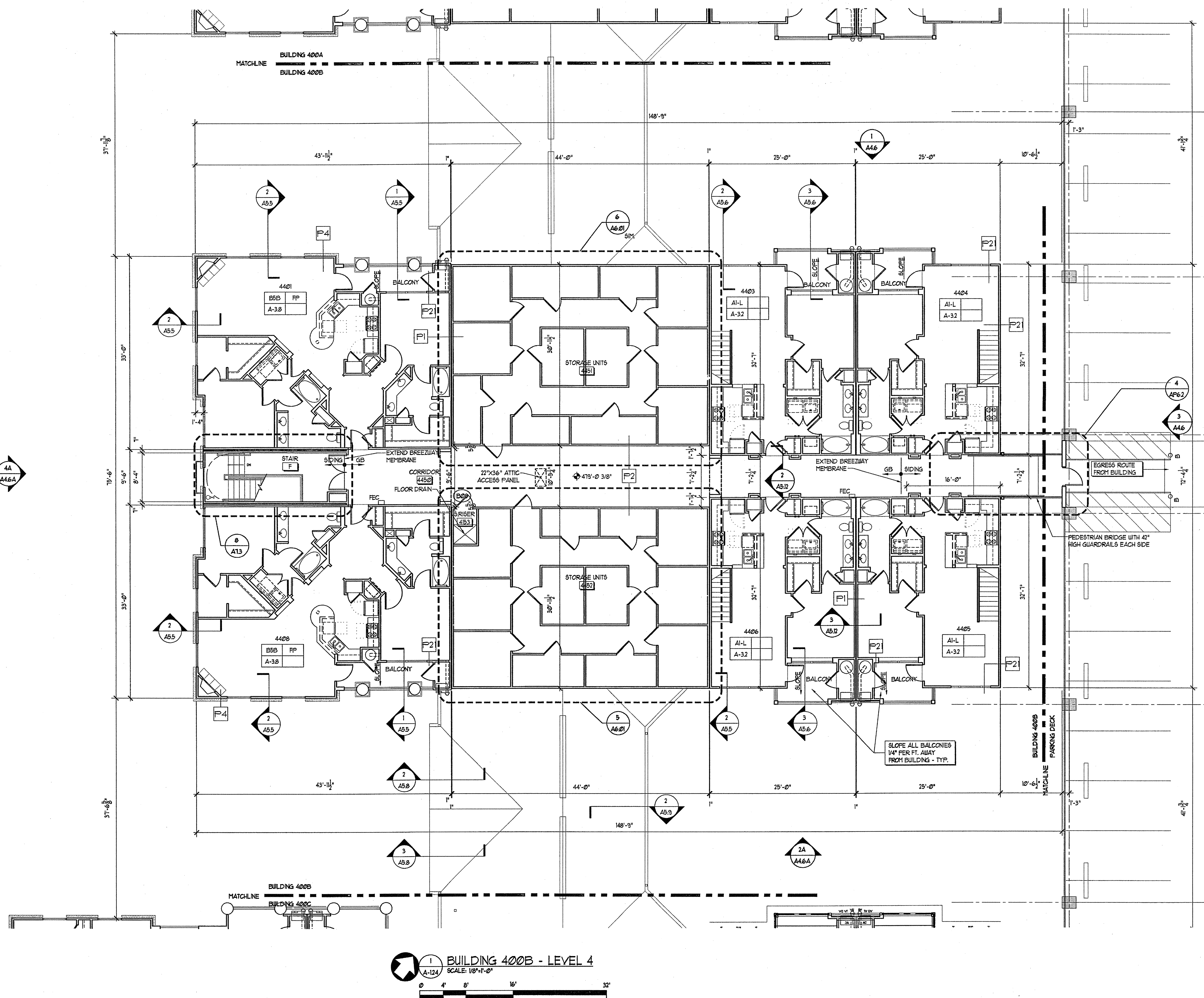
COMMENTS



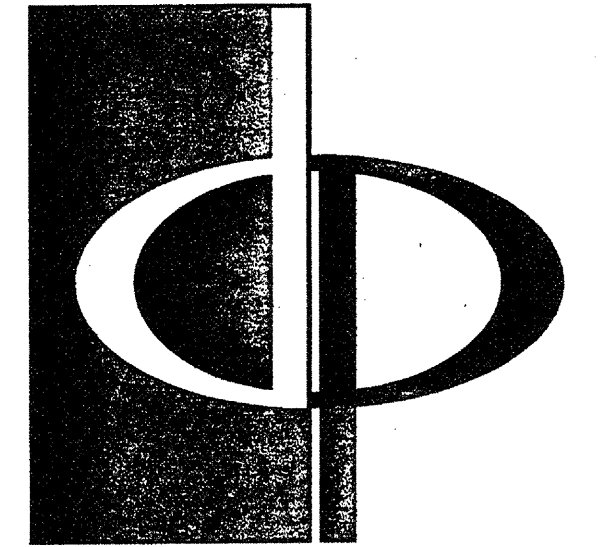
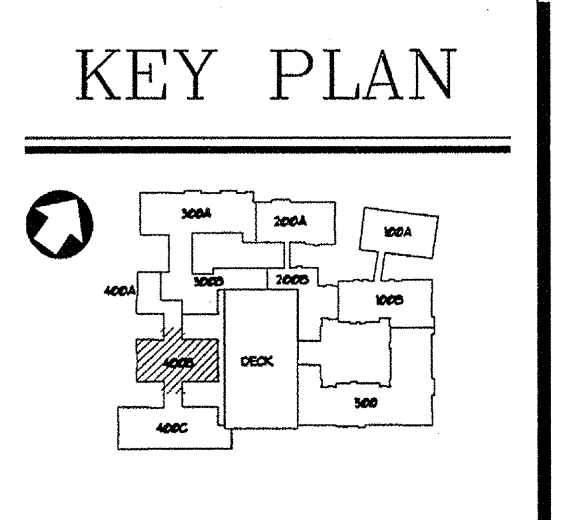
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A-123  
SCALE: 1/8"=1'-0"



A-123 02/14/03 11:14:42 02/14/03 11:14:42



1 BUILDING 400B - LEVEL 4  
SCALE: 1/8"=1'-0"

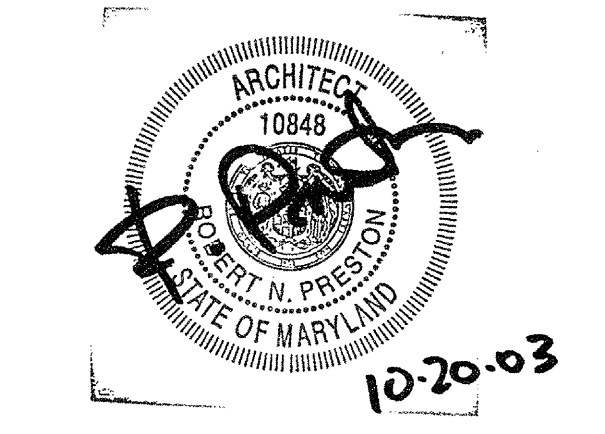


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ARCHSTONE  
KENTLANDS  
949 QUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

FOR

ARCHSTONE  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS  
RELEASED FOR CONSTRUCTION 01/31/03

DATE 01/31/03

JOB NUMBER 02117028

DRAWN BY

CHECKED BY

DRAWING TITLE

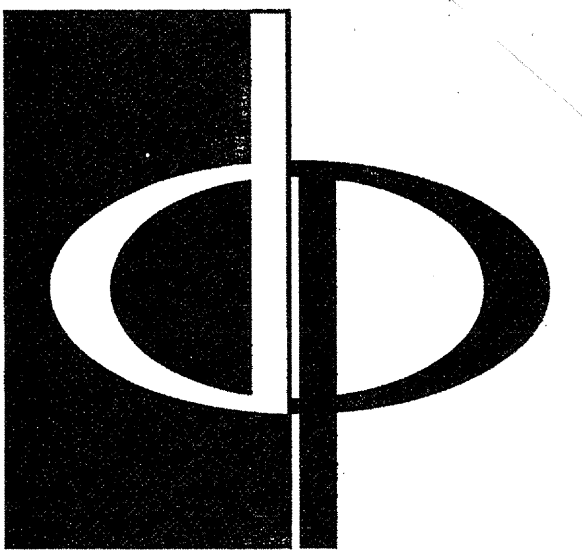
BUILDING 400B  
LEVEL FOUR

DRAWING NUMBER

A-124

COMMENTS





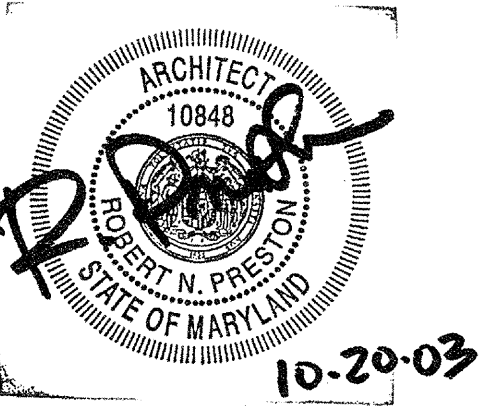
THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

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ATLANTA, GEORGIA 30328  
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PROJECT

ARCHSTONE  
KENTLANDS

949 QUINCE ORCHARD ROAD  
GAITHERSBURG, MARYLAND

FOR

**ARCHSTONE**  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS  
RELEASED FOR CONSTRUCTION 07/18/03

DATE 01/31/03

JOB NUMBER 0211108

DRAWN BY GTM

CHECKED BY GTM

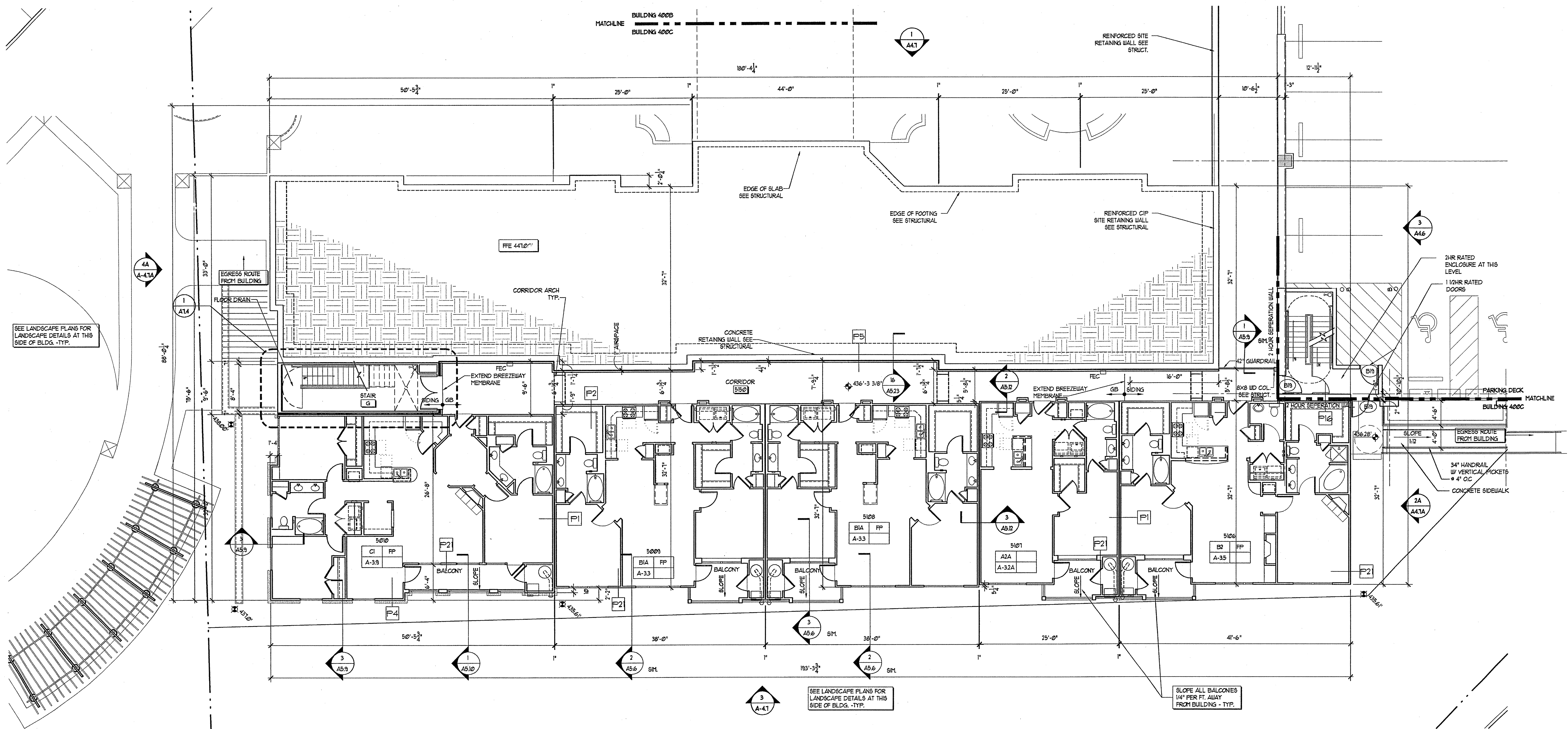
DRAWING TITLE

BUILDING 400C  
BASEMENT LEVEL

DRAWING NUMBER

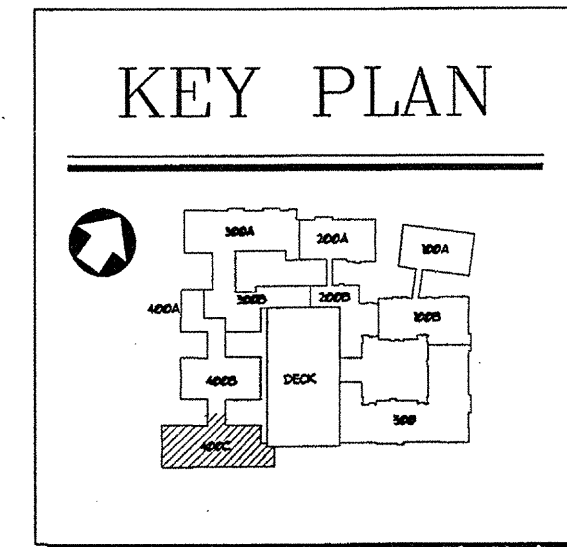
A-126

COMMENTS



**1 BUILDING 400C - BASEMENT LEVEL**  
SCALE: 1/8"=1'-0"  
0 4' 8' 16' 32'

SEE CIVIL DRAWINGS FOR CURB AND  
BACK OF CURB LOCATIONS. SEE  
LANDSCAPE DRAWINGS FOR SIDEWALK  
BETWEEN BUILDING AND BACK OF CURB  
EXCEPT WHERE SIDEWALKS/EXTERIOR  
STAIRS ARE SPECIFICALLY DETAILED ON  
ARCHITECTURAL DRAWINGS.

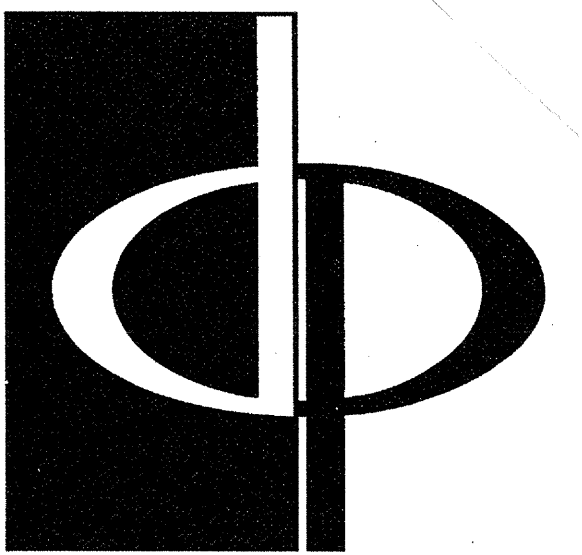


SEE LANDSCAPE PLANS FOR  
LANDSCAPE DETAILS AT THIS  
SIDE OF BLDG. - TYP.

SEE LANDSCAPE PLANS FOR  
LANDSCAPE DETAILS AT THIS  
SIDE OF BLDG. - TYP.

SLOPE ALL BALCONIES  
1/4" PER FT. AWAY  
FROM BUILDING - TYP.





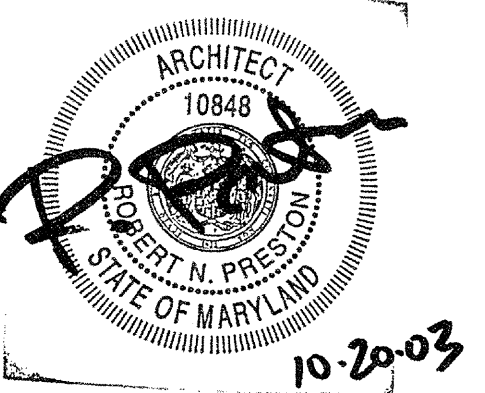
THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

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ARCHSTONE  
KENTLANDS

949 QUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

FOR

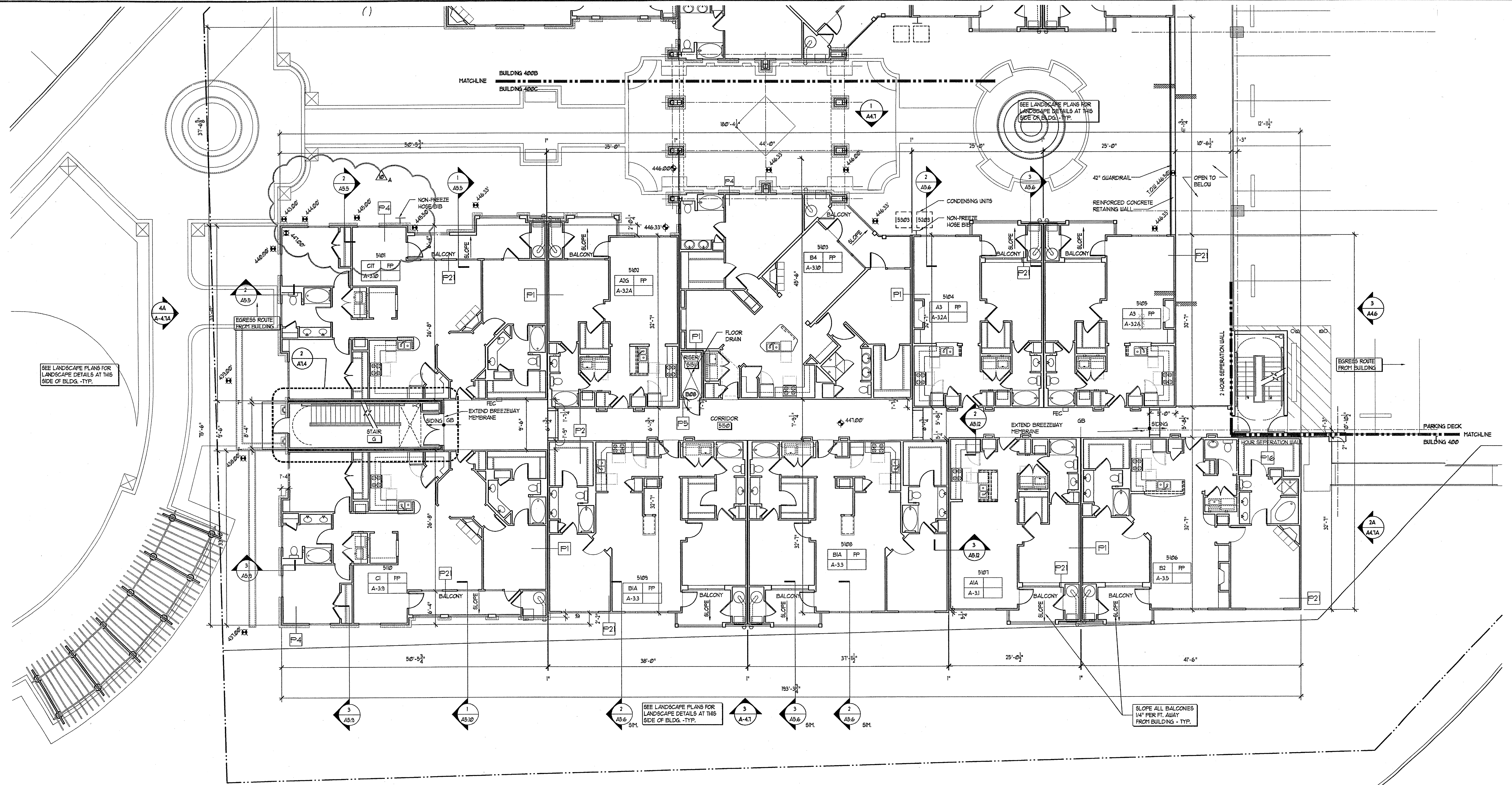
ARCHSTONE  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS

RELEASED FOR CONSTRUCTION 07/18/03  
TOP POP-OFF REVIEW COMMENTS 07/18/03

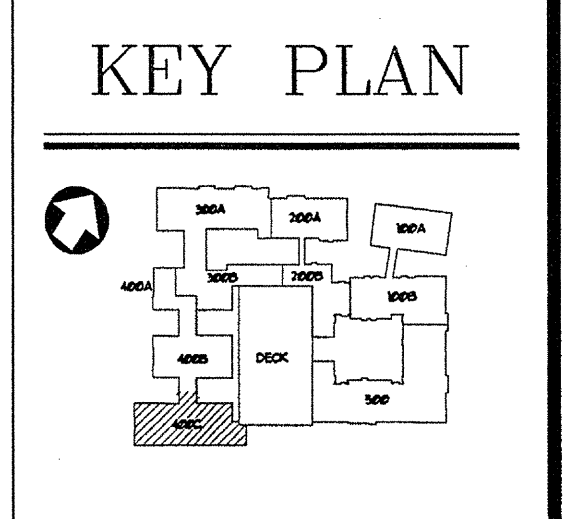
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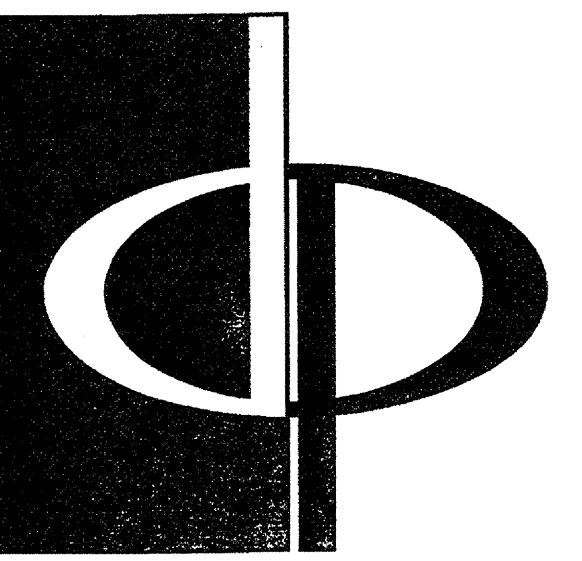
DATE 01/31/03  
JOB NUMBER 02111020  
DRAWN BY  
CHECKED BY STM  
DRAWING TITLE BUILDING 400C LEVEL ONE  
DRAWING NUMBER A-127  
COMMENTS



BUILDING 400C - LEVEL 1  
SCALE 1/8"=1'-0"

SEE CIVIL DRAWINGS FOR CURBS AND BACK OF CURB LOCATIONS. SEE LANDSCAPE DRAWINGS FOR SIDEWALK BETWEEN BUILDING AND BACK OF CURB EXCEPT WHERE SIGNALS/INTERIOR STAIRS ARE SPECIFICALLY DETAILED ON ARCHITECTURAL DRAWINGS.





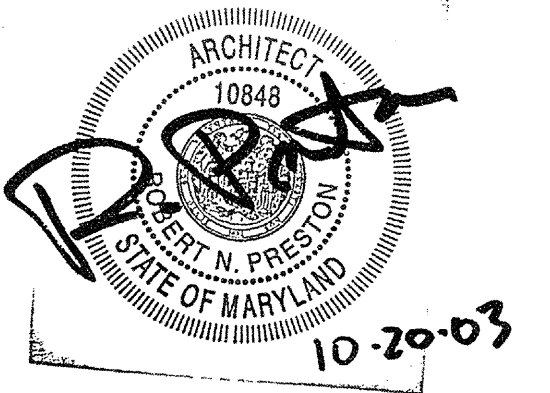
THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

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PROJECT

**ARCHSTONE  
KENTLANDS**  
948 QUINCE ORCHARD ROAD  
GAITHERSBURG, MARYLAND

FOR

**ARCHSTONE  
COMMUNITIES**  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS  
RELEASED FOR CONSTRUCTION 07/18/03

DATE 01/31/03

JOB NUMBER 0211102

DRAWN BY

CHECKED BY STM

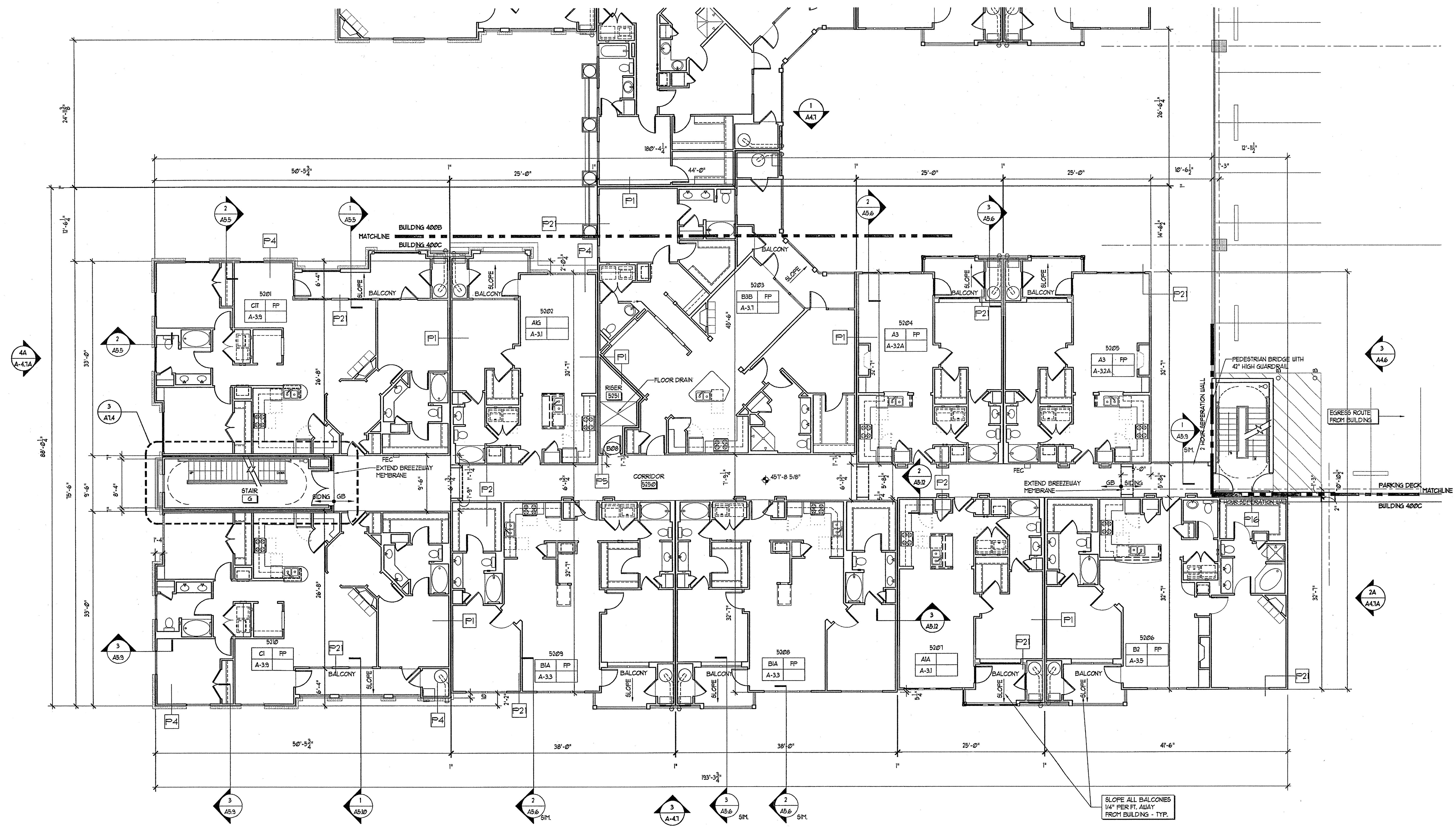
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**BUILDING 400C  
LEVEL TWO**

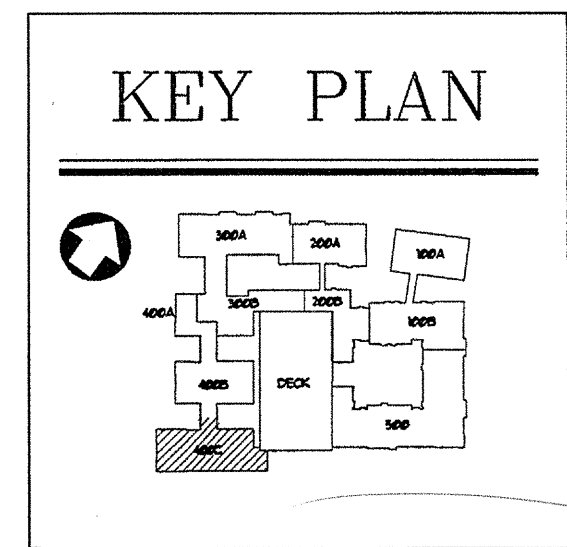
DRAWING NUMBER

**A-128**

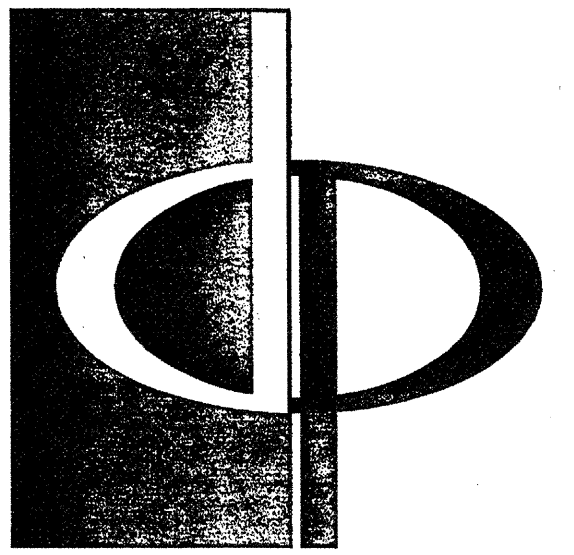
COMMENTS



**BUILDING 400C - LEVEL 2**  
SCALE: 1/8"=1'-0"  
0 4' 8' 16' 32'



APPENDIX 10/21/03 11:27:18 AM 0211102128.dwg



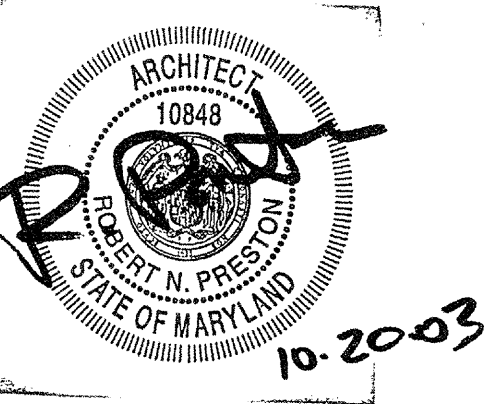
THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
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PROJECT

ARCHSTONE  
KENTLANDS  
949 QUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

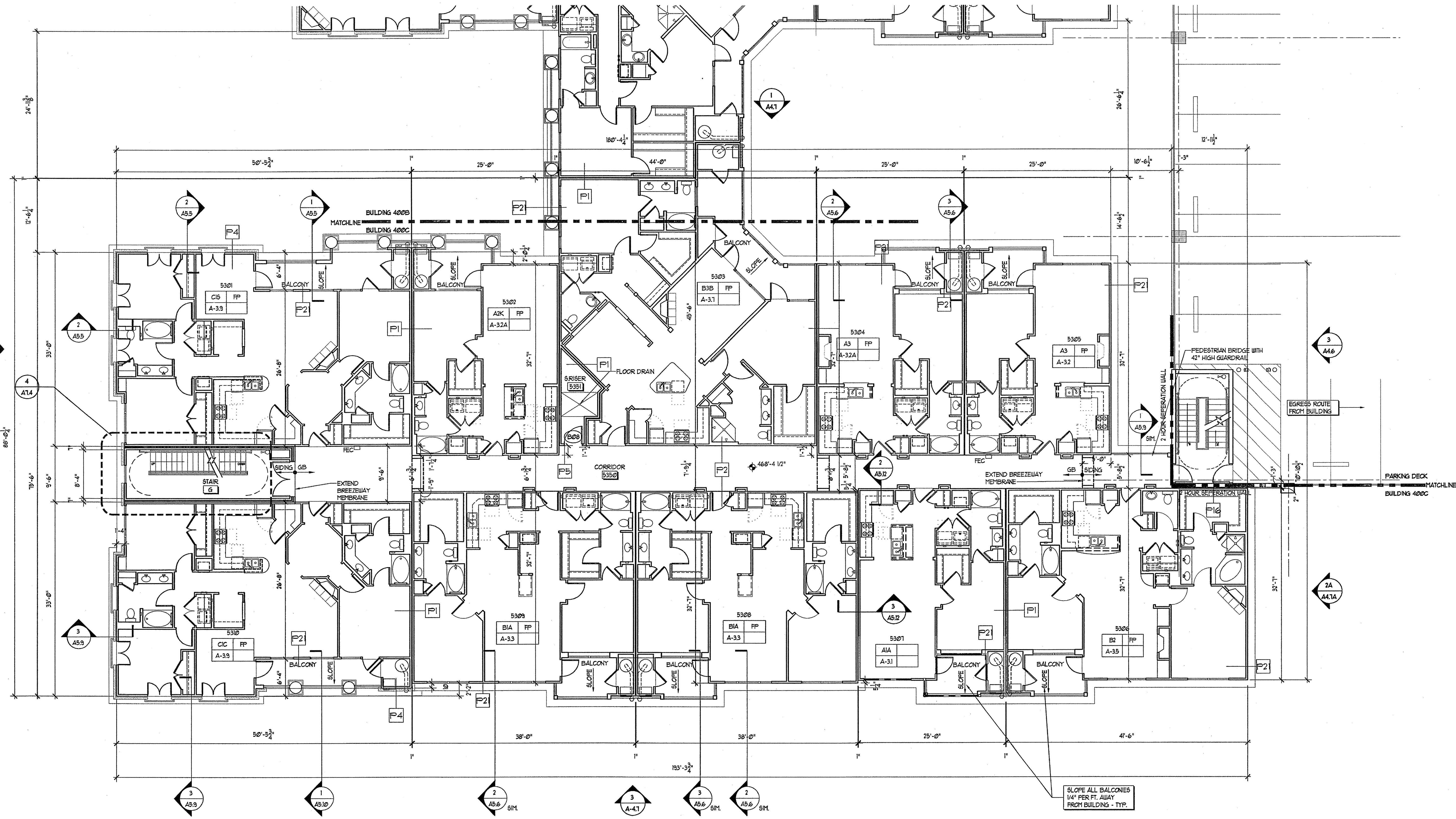
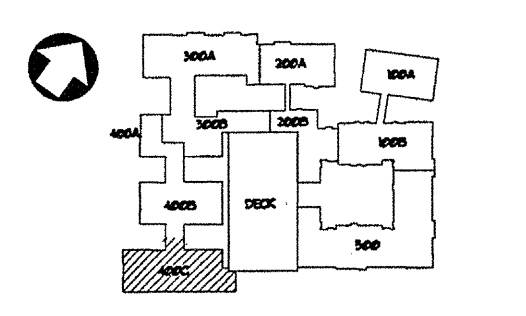
FOR

**ARCHSTONE**  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS  
RELEASED FOR CONSTRUCTION 01/18/03

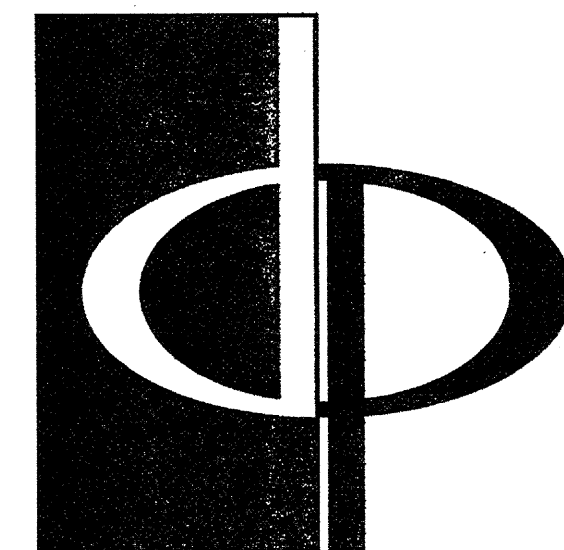
DATE 01/31/03  
JOB NUMBER 0211708  
DRAWN BY  
CHECKED BY GTM  
DRAWING TITLE BUILDING 400C LEVEL THREE  
DRAWING NUMBER A-129  
COMMENTS

KEY PLAN



1 BUILDING 400C - LEVEL 3  
SCALE 1/8"=1'-0"  
0 4' 8' 16' 32'

SLOPE ALL BALCONIES  
1/4" PER FT. AWAY  
FROM BUILDING - TYP.



THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
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ARCHSTONE  
KENTLANDS

949 QUINCE ORCHARD ROAD  
GAITHERSBURG, MARYLAND

FOR

**ARCHSTONE**  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-888-3353

REVISIONS

RELEASED FOR CONSTRUCTION 01/18/03

DATE 01/31/03

JOB NUMBER 0211206

DRAWN BY STM

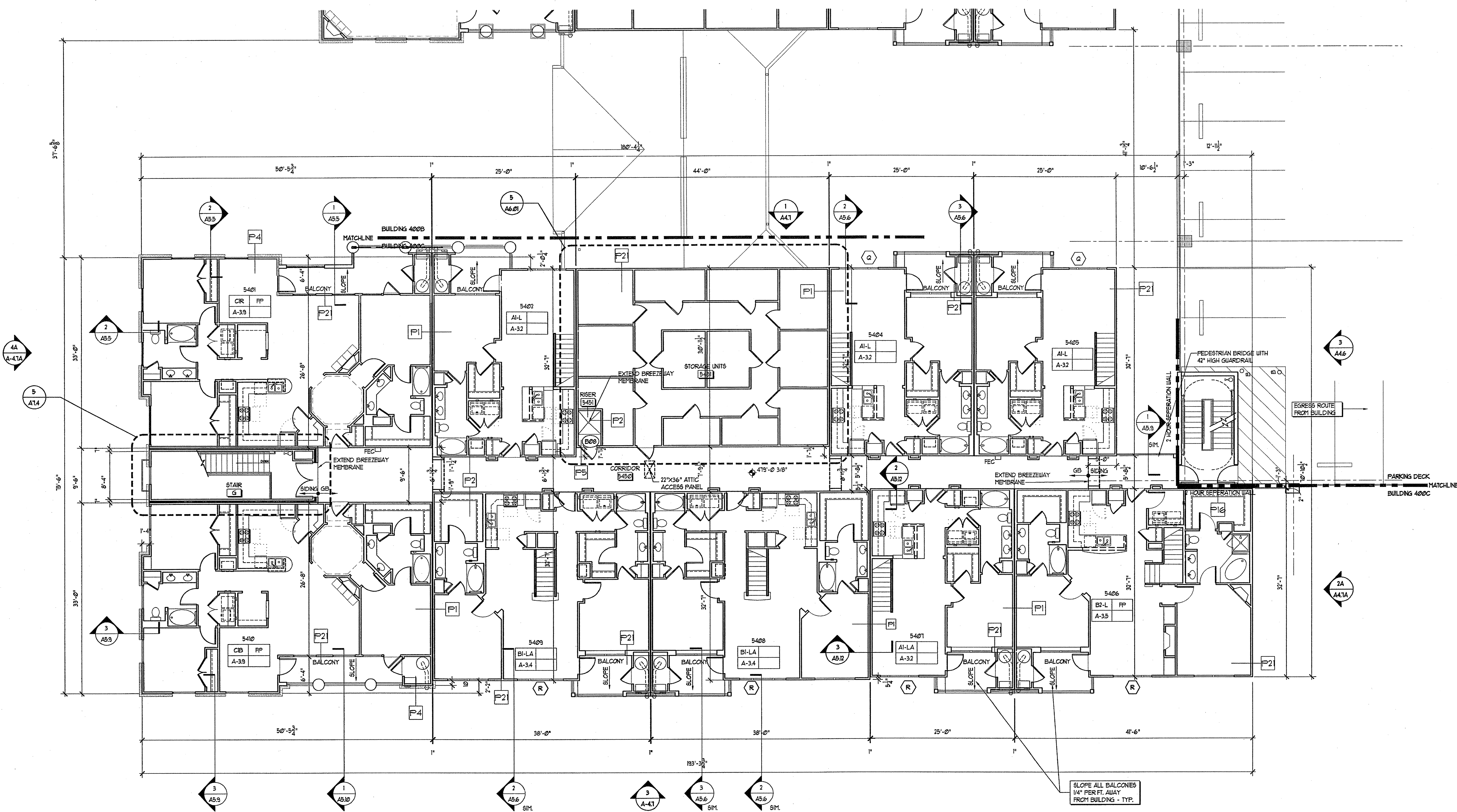
CHECKED BY STM

DRAWING TITLE BUILDING 400C LEVEL FOUR

DRAWING NUMBER A-130

COMMENTS

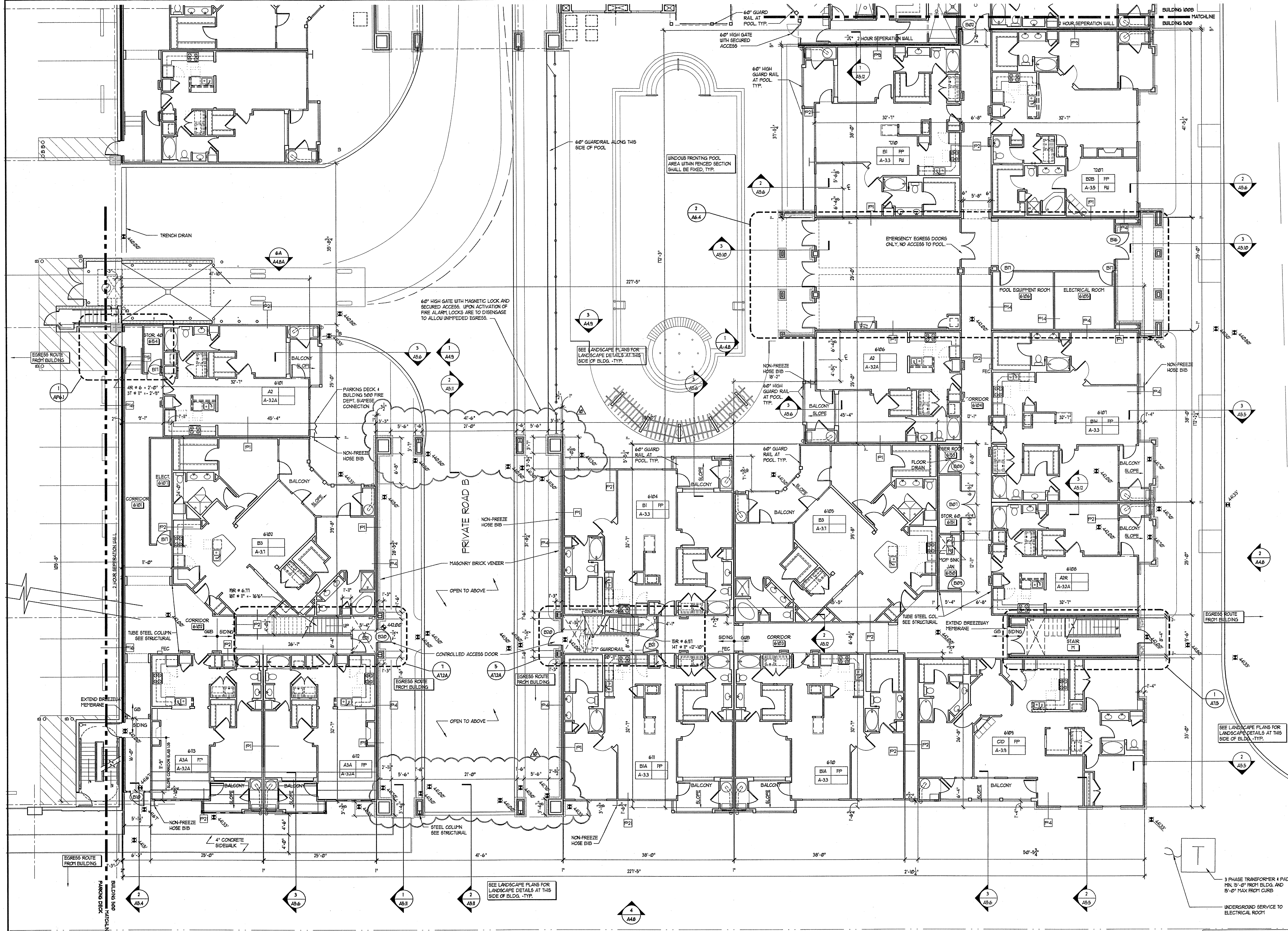
**KEY PLAN**



**1 BUILDING 400C - LEVEL 4**  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16' 32'

SLOPE ALL BALCONIES  
1/4" PER FT. AWAY  
FROM BUILDING - TYP.

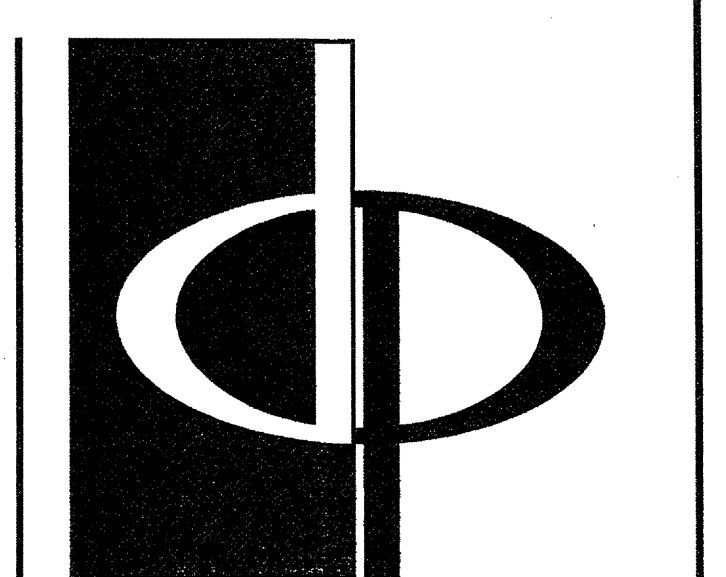
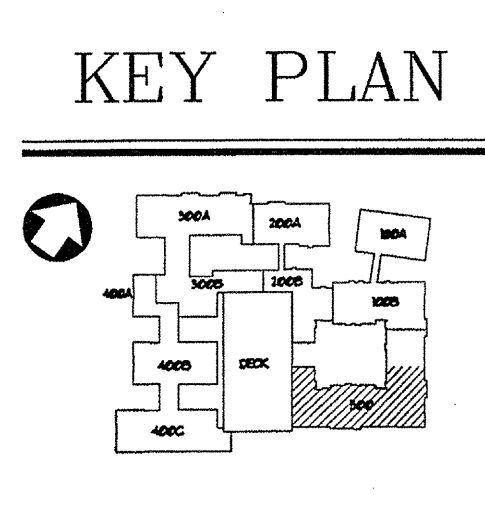




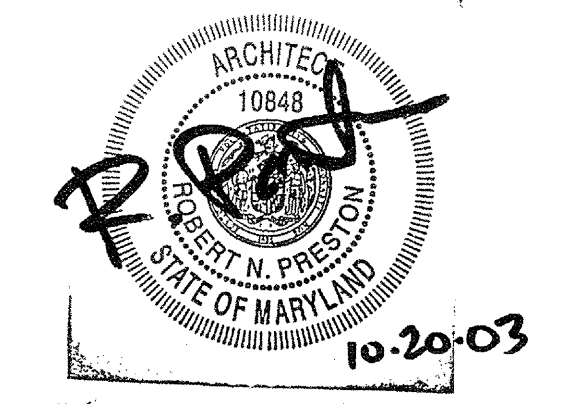
**BUILDING 500 - LEVEL 1**  
 SCALE: 1/8" = 1'-0"  
 0' 4' 8' 16'

SEE CIVIL DRAWINGS FOR CURB AND BACK OF CURB LOCATIONS. SEE LANDSCAPE DRAWINGS FOR SIDEWALK BETWEEN BUILDING AND BACK OF CURB EXCEPT WHERE SIDEWALK/EXTERIOR STAIRS ARE SPECIFICALLY DETAILED ON ARCHITECTURAL DRAWINGS.

**REVISION #10 SUMMARY**  
 A. UPDATED COLUMN DIMENSIONS



**THE PRESTON PARTNERSHIP, LLC**  
 A MULTI-DISCIPLINARY DESIGN FIRM  
 1000 ABERNATHY ROAD NE, SUITE 600  
 ATLANTA, GEORGIA 30328  
 TELEPHONE: 770 396 7248  
 FAX: 770 396 2945  
 WWW.THEPRESTONPARTNERSHIP.COM  
 CONSULTANT

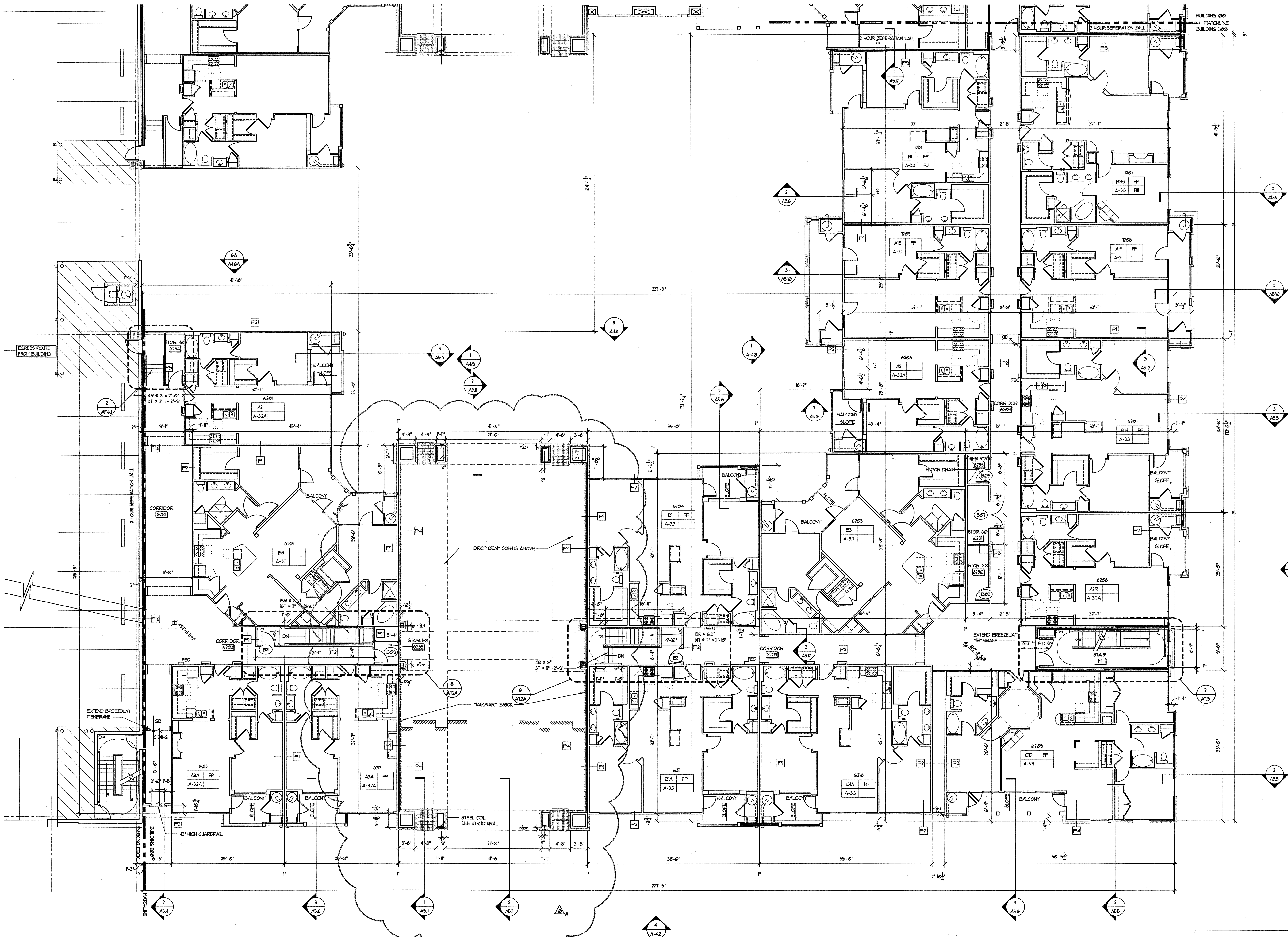


PROJECT  
**ARCHSTONE KENTLANDS**  
 949 QUINCE ORCHARD ROAD  
 GAITHERSBURG, MARYLAND

FOR  
**ARCHSTONE COMMUNITIES**  
 6631 OLD DOMINION DRIVE  
 MCLEAN, VIRGINIA 22101  
 703-883-3353

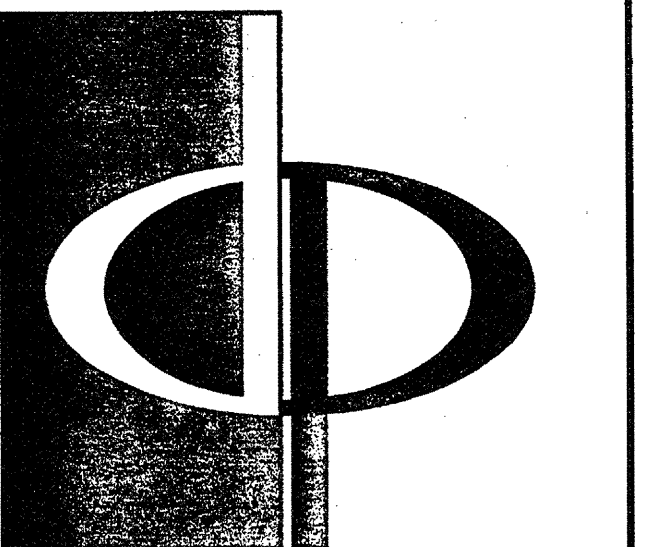
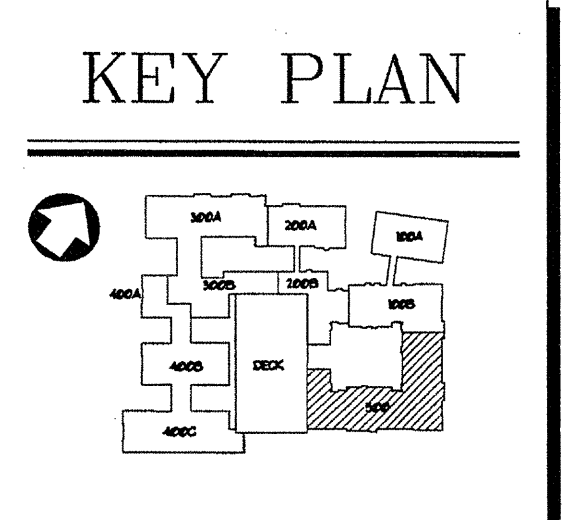
REVISIONS  
 RELEASED FOR CONSTRUCTION 01/31/03  
 TOP POPOFF REVIEW COMMENTS 01/18/03

DATE 01/31/03  
 JOB NUMBER 0211108  
 DRAWN BY  
 CHECKED BY  
 DRAWING TITLE 5TH  
 DRAWING NUMBER BUILDING 500 LEVEL ONE  
 COMMENTS A-1.32



1 BUILDING 500 - LEVEL 2  
SCALE: 1/8"=1'-0"

REVISION #10 SUMMARY  
A COORDINATED COLLING



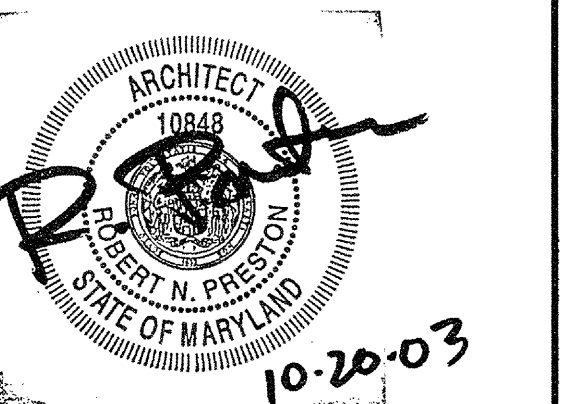
THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
FAX: 770 396 2945

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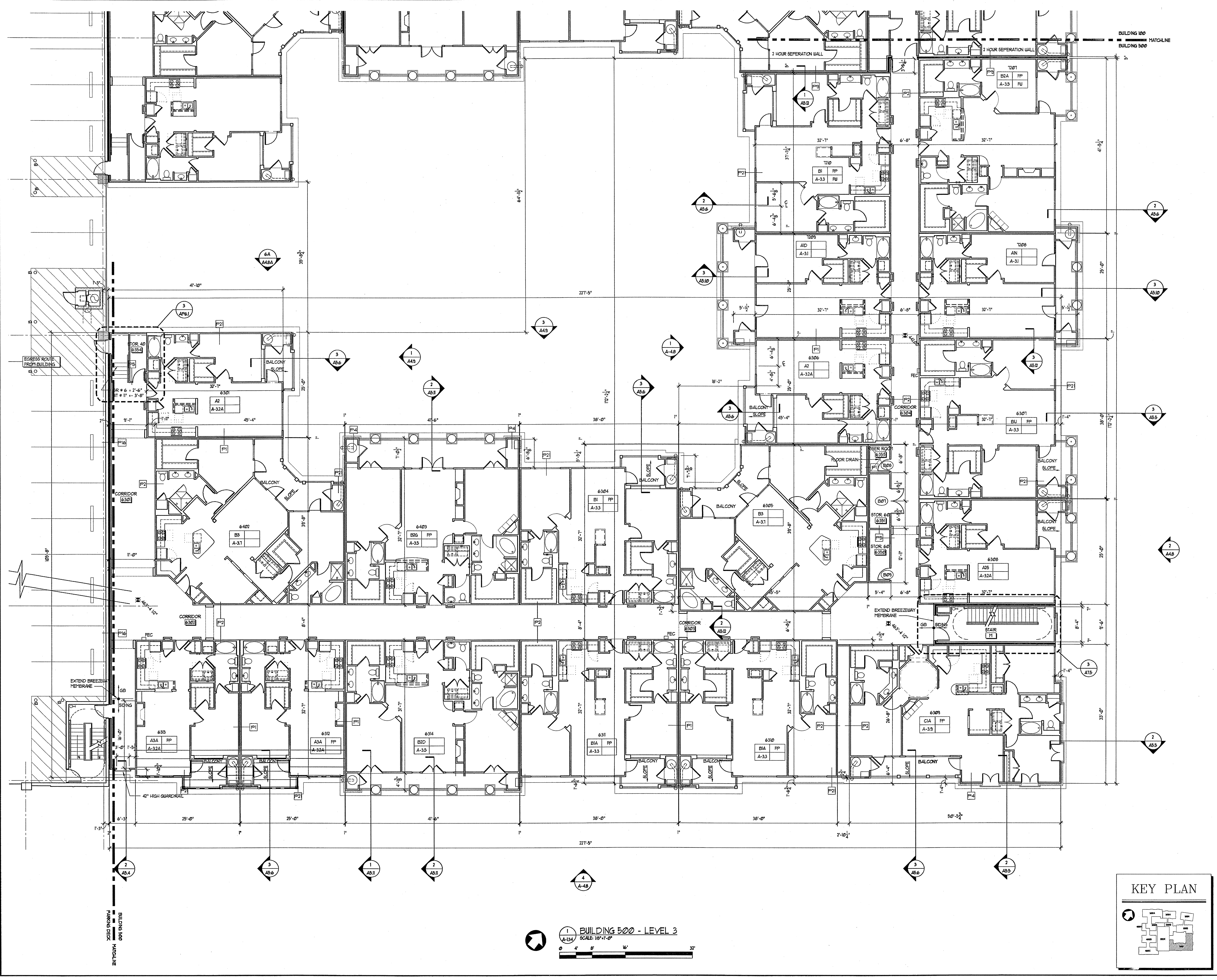
PROJECT  
ARCHSTONE  
KENTLANDS  
949 QUINCE ORCHARD ROAD  
GANTHERSBURG, MARYLAND

FOR

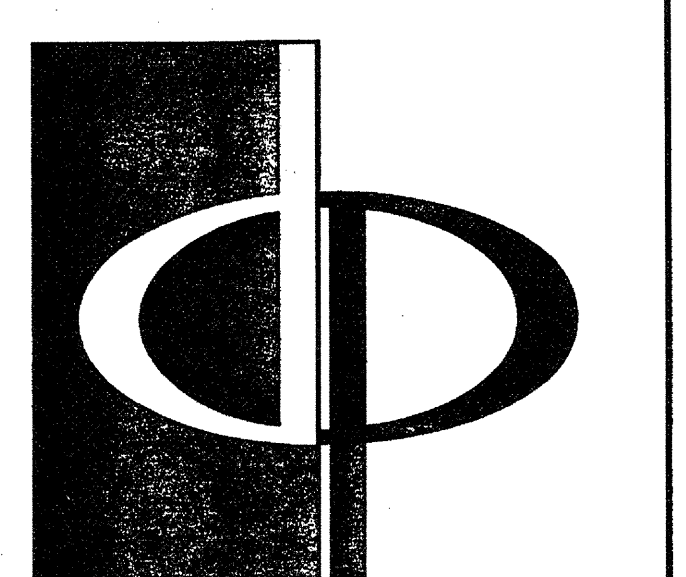
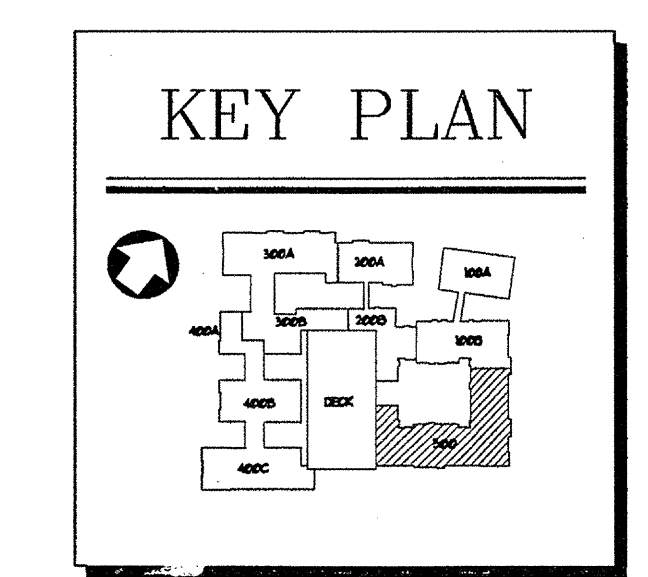
ARCHSTONE  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS  
RELEASED FOR CONSTRUCTION 01/18/03  
TOM POPOFF REVIEW COMMENTS 01/18/03

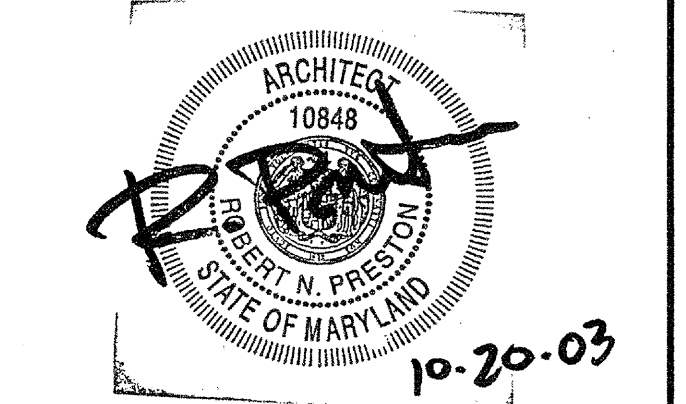
DATE 01/31/03  
JOB NUMBER 0211702  
DRAWN BY  
CHECKED BY  
DRAWING TITLE 5TH  
BUILDING 500  
LEVEL TWO  
DRAWING NUMBER A-1.33  
COMMENTS



1 BUILDING 500 - LEVEL 3  
 A-134 SCALE: 1/8" = 1'-0"  
 0 4' 8' 16' 32'



**THE PRESTON PARTNERSHIP, LLC**  
 A MULTI-DISCIPLINARY DESIGN FIRM  
 1000 ABERNATHY ROAD NE, SUITE 600  
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 FAX: 770 396 2945  
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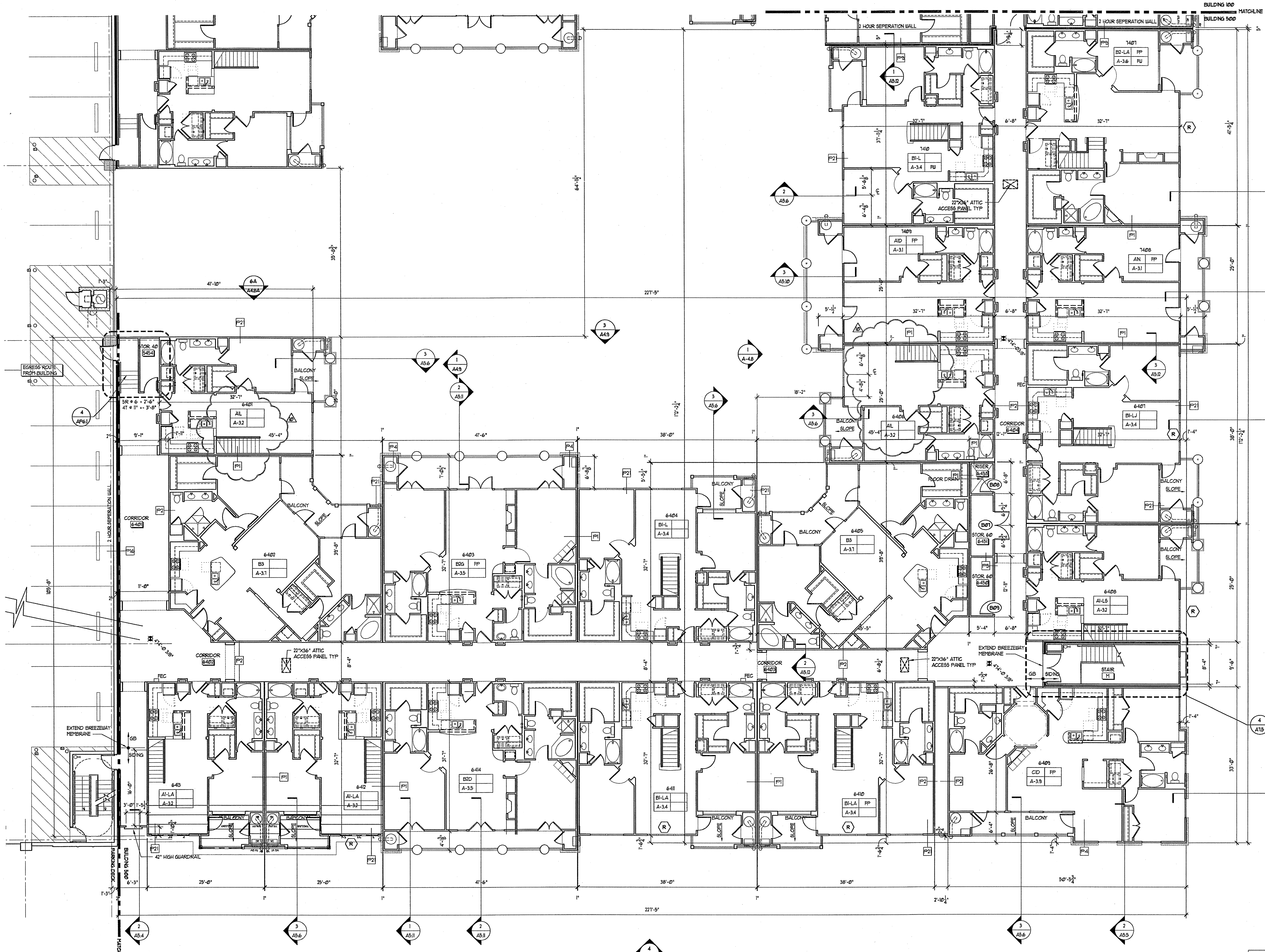
PROJECT  
**ARCHSTONE KENTLANDS**  
 949 QUINCE ORCHARD ROAD  
 GAITHERSBURG, MARYLAND

FOR  
**ARCHSTONE COMMUNITIES**  
 6631 OLD DOMINION DRIVE  
 MCLEAN, VIRGINIA 22101  
 703-883-3353

REVISIONS  
 RELEASED FOR CONSTRUCTION 01/21/03

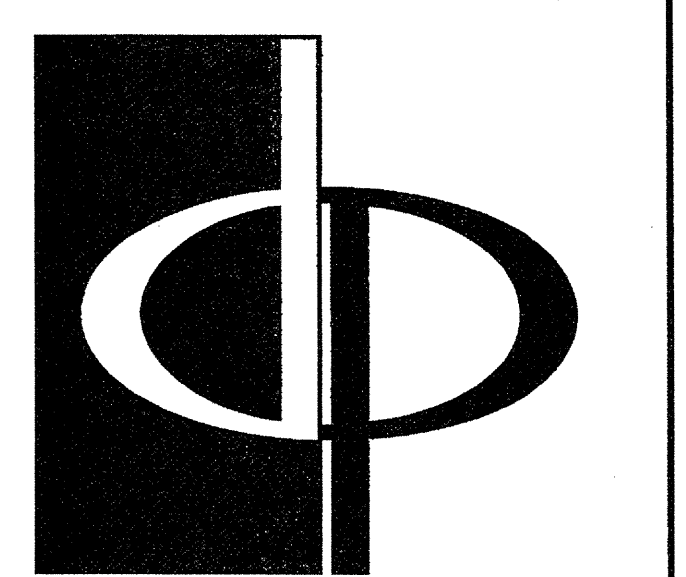
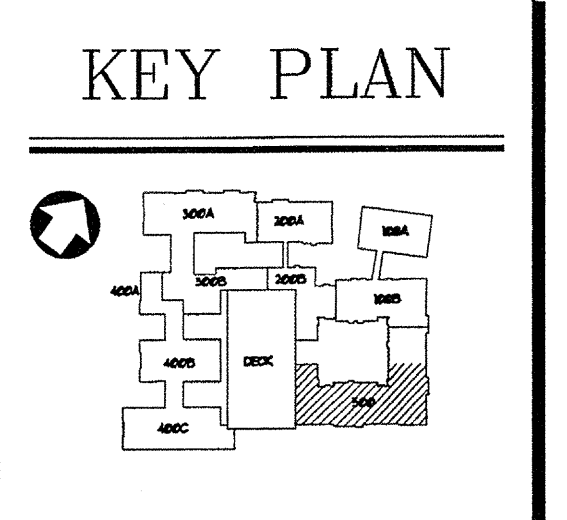
DATE \_\_\_\_\_  
 JOB NUMBER 02131023  
 DRAWN BY 0211708  
 CHECKED BY \_\_\_\_\_  
 DRAWING TITLE STM  
**BUILDING 500 LEVEL THREE**  
 DRAWING NUMBER A-134  
 COMMENTS \_\_\_\_\_



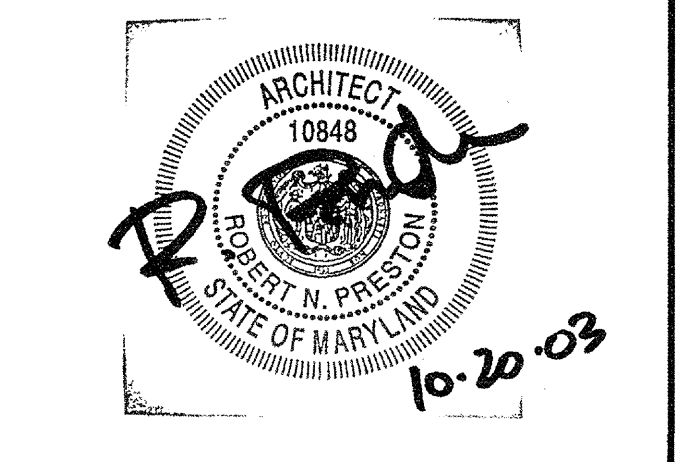


1 BUILDING 500 - LEVEL 4  
 A-135 SCALE: 1/8"=1'-0"

REVISION #10 SUMMARY  
 A MEZZANINE UNITS UPDATED



THE PRESTON PARTNERSHIP, LLC  
 A MULTI-DISCIPLINARY DESIGN FIRM  
 1000 ABERNATHY ROAD NE, SUITE 600  
 ATLANTA, GEORGIA 30328  
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 FAX: 770 396 2945  
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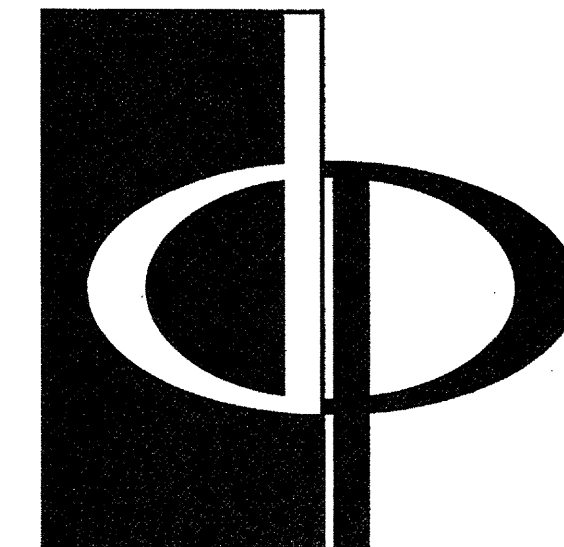


PROJECT  
**ARCHSTONE  
 KENTLANDS**  
 948 QUINCE ORCHARD ROAD  
 GAITHERSBURG, MARYLAND

FOR  
**ARCHSTONE  
 COMMUNITIES**  
 6631 OLD DOMINION DRIVE  
 MCLEAN, VIRGINIA 22101  
 703-883-3353

REVISIONS  
 RELEASED FOR CONSTRUCTION 07/18/03  
 TOP POPOFF REVIEW COMMENTS 07/18/03

DATE 07/18/03  
 JOB NUMBER 02117028  
 DRAWN BY  
 CHECKED BY STM  
 DRAWING TITLE BUILDING 500 LEVEL FOUR  
 DRAWING NUMBER A-1.35  
 COMMENTS



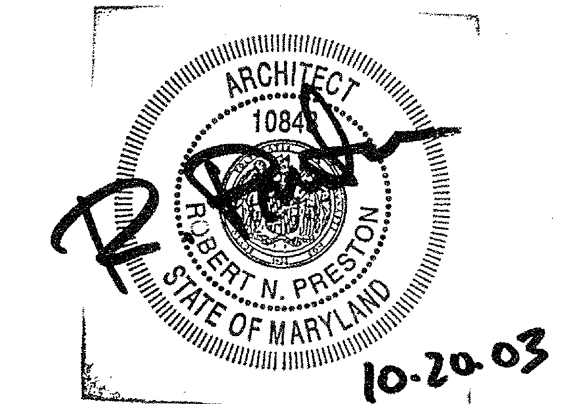
THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
FAX: 770 396 2945

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SEAL \_\_\_\_\_



PROJECT  
**ARCHSTONE KENTLANDS**  
949 QUINCE ORCHARD ROAD  
GAITHERSBURG, MARYLAND

FOR \_\_\_\_\_

**ARCHSTONE**  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS \_\_\_\_\_

RELEASED FOR CONSTRUCTION 01/31/03

DATE 01/31/03

JOB NUMBER 0211708

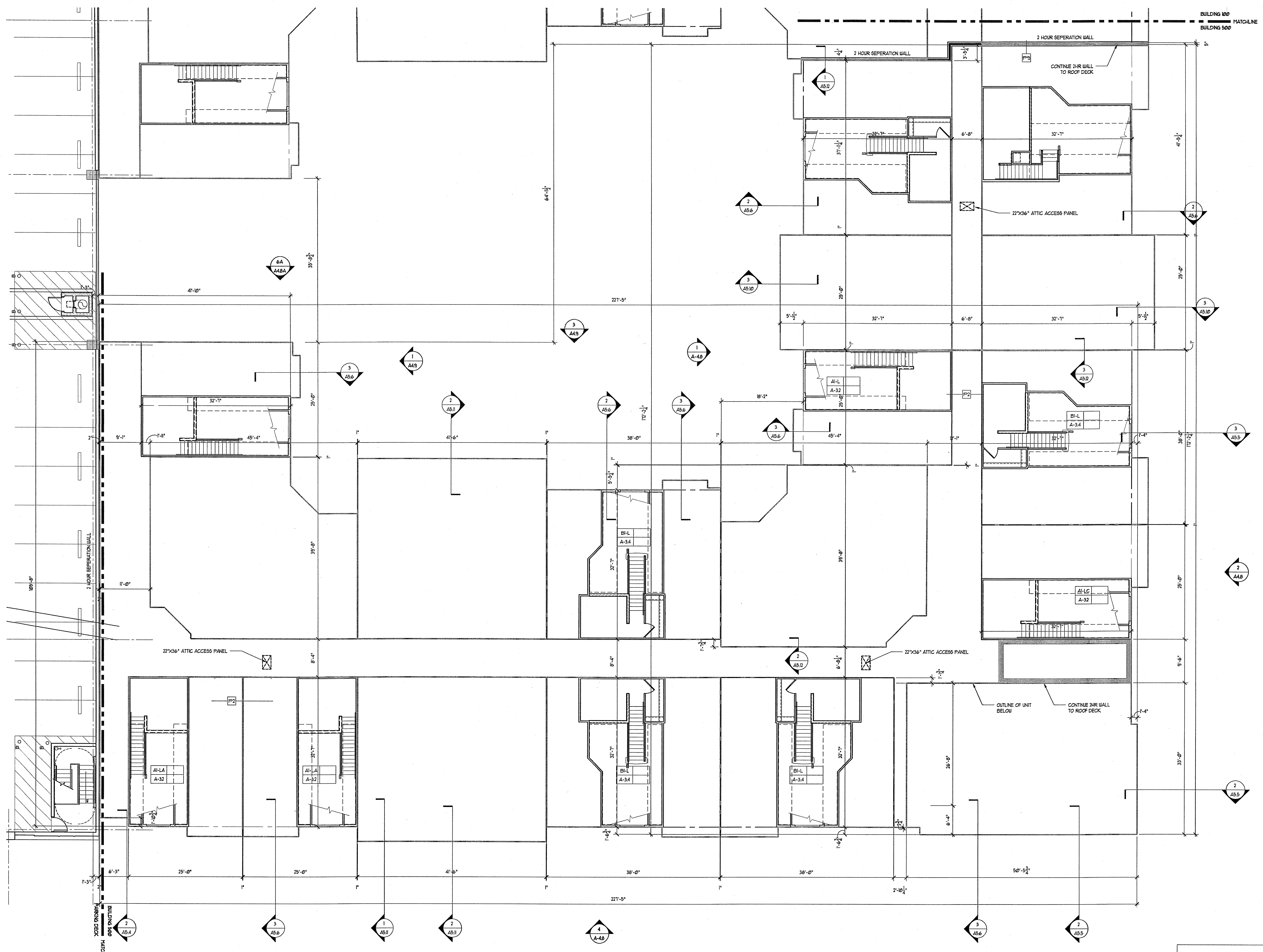
DRAWN BY STM

CHECKED BY \_\_\_\_\_

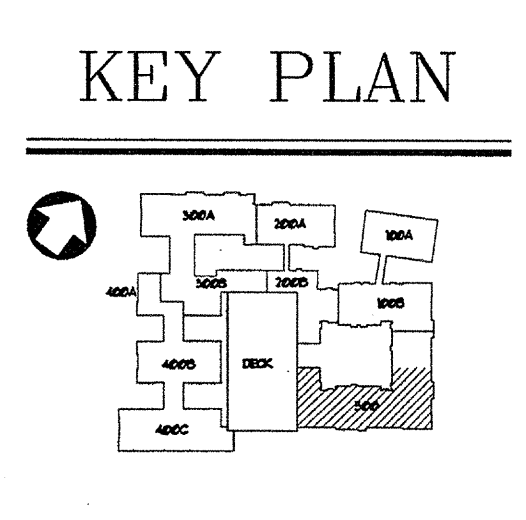
DRAWING TITLE BUILDING 500 MEZZANINE LEVEL

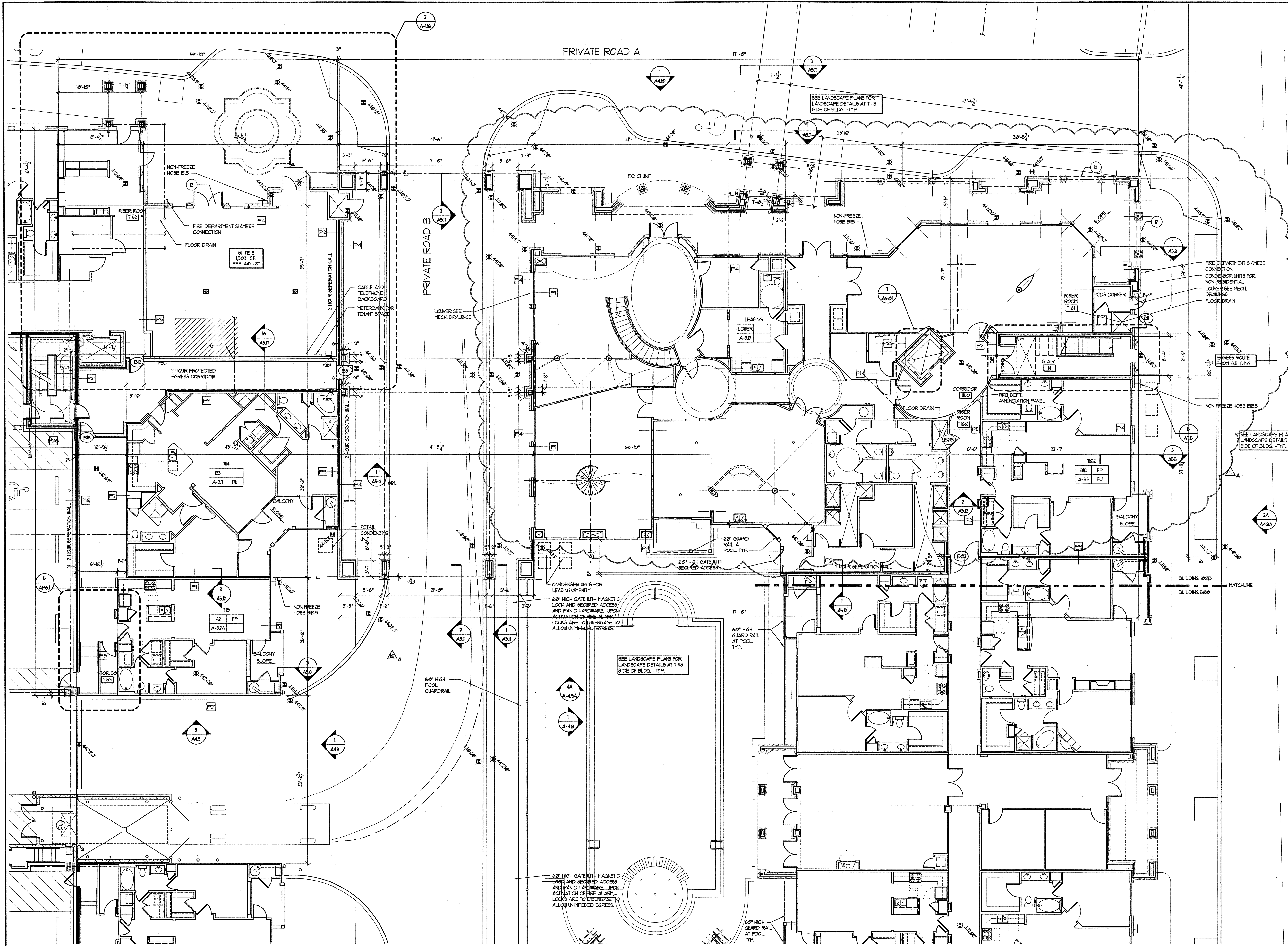
DRAWING NUMBER A-136

COMMENTS \_\_\_\_\_



**BUILDING 500 - MEZZANINE LEVEL**  
SCALE: 1/8"=1'-0"





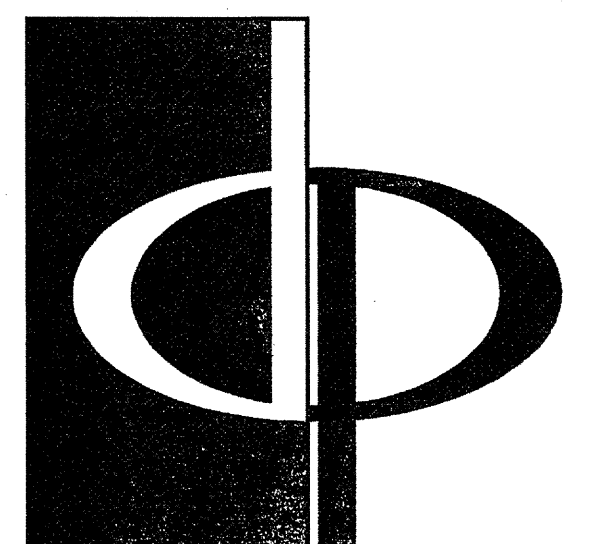
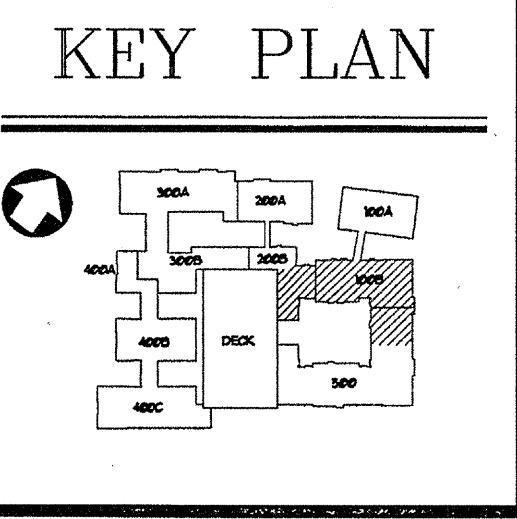
PRIVATE ROAD A

PRIVATE ROAD B

**1** BUILDING 100B & 200B - LEVEL 1  
SCALE: 1/8"=1'-0"

**REVISION #11 SUMMARY**  
A. REVISED PLAN

SEE CIVIL DRAWINGS FOR CURB AND BACK OF CURB LOCATIONS. SEE LANDSCAPE DRAWINGS FOR SIDEWALK BETWEEN BUILDING AND BACK OF CURB EXCEPT WHERE SIDEWALKS/INTERIOR STAIRS ARE SPECIFICALLY DETAILED ON ARCHITECTURAL DRAWINGS.

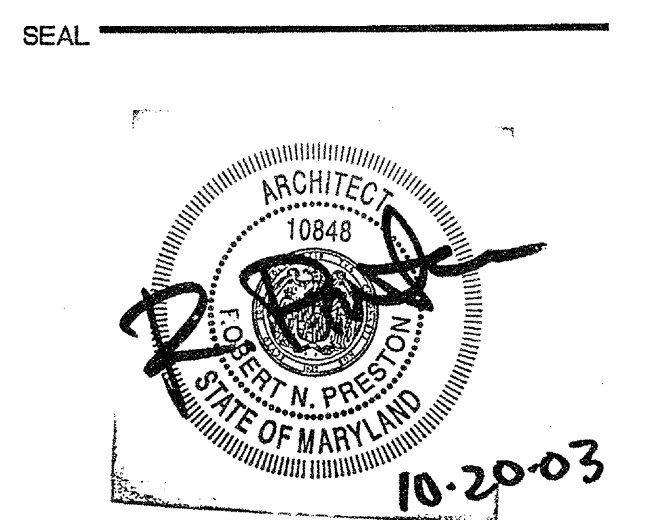


**THE PRESTON PARTNERSHIP, LLC**  
A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
FAX: 770 396 2945

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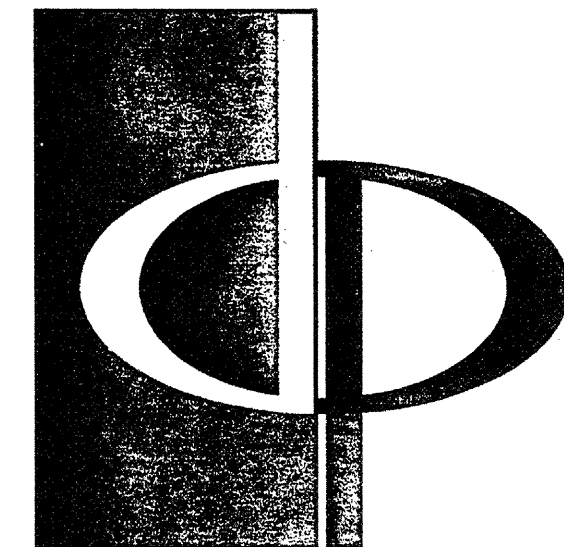


PROJECT  
**ARCHSTONE KENTLANDS**  
949 QUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

FOR  
**ARCHSTONE COMMUNITIES**  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-888-3353

REVISIONS  
RELEASED FOR CONSTRUCTION 07/18/03  
TGM POPOFF REVIEW COMMENTS 07/18/03  
REVISED AMENITY AREAS 09/15/03

DATE 01/31/03  
JOB NUMBER 0211102B  
DRAWN BY 0211102B  
CHECKED BY 9TM  
DRAWING TITLE BUILDING 100B & 200B LEVEL ONE  
DRAWING NUMBER A-137  
COMMENTS



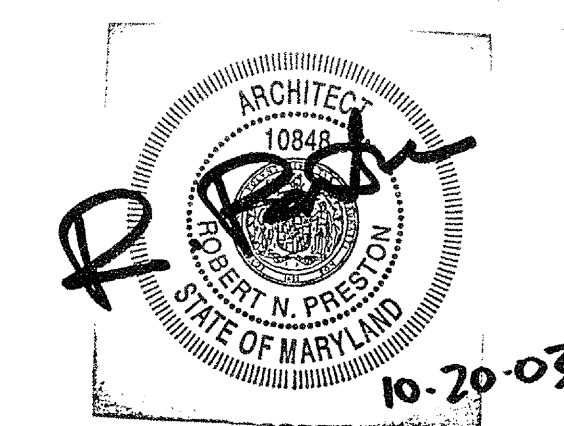
THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
FAX: 770 396 2945

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PROJECT

ARCHSTONE  
KENTLANDS

949 QUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

FOR

**ARCHSTONE**  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS  
RELEASED FOR CONSTRUCTION 07/18/03  
TOP POPOFF REVIEW COMMENTS 07/18/03  
REVISED AMENITY AREAS 09/15/03

DATE 07/21/03

JOB NUMBER 0211108

DRAWN BY

CHECKED BY

DRAWING TITLE 5TH

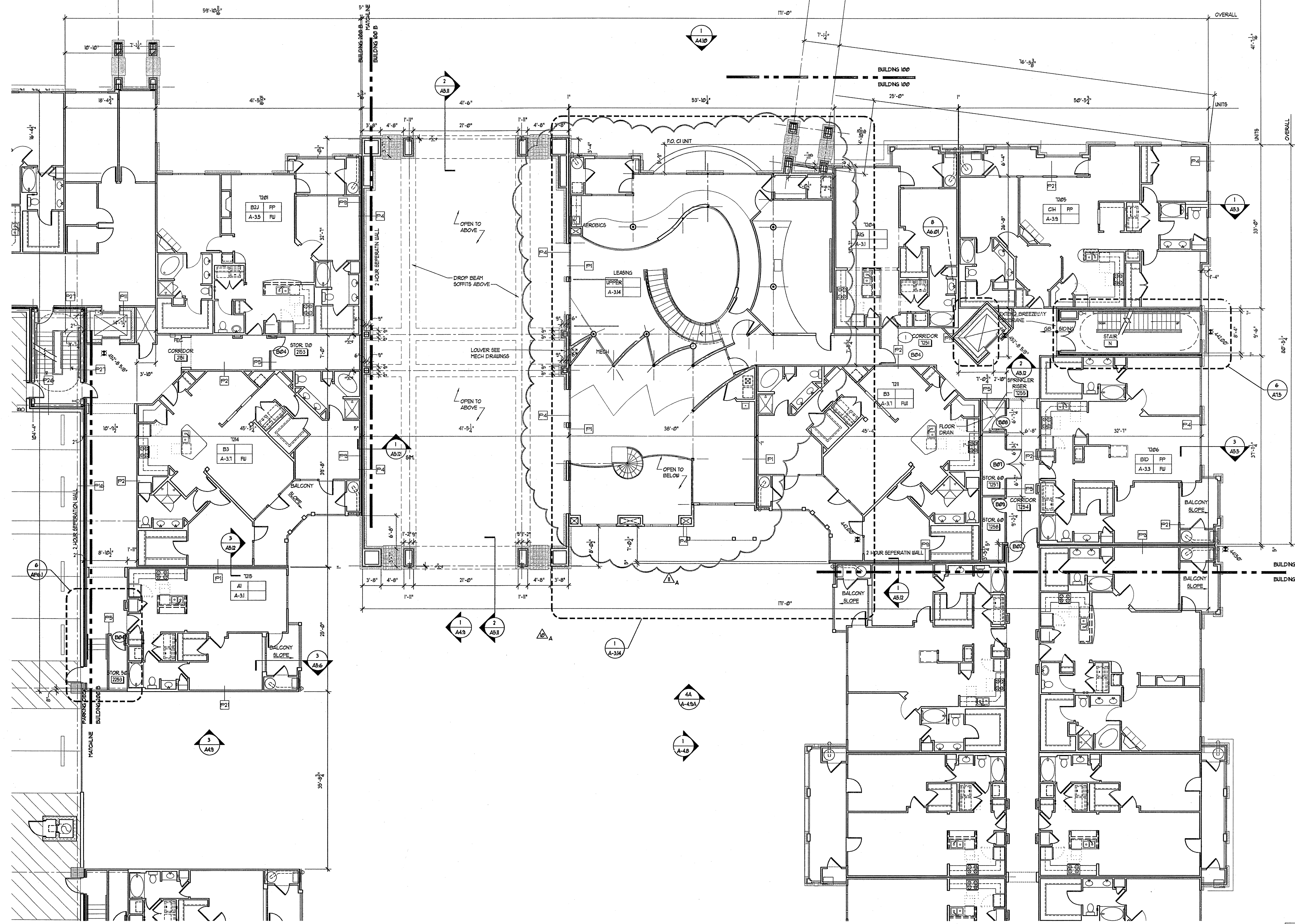
BUILDING 100B & 200B

LEVEL TWO

DRAWING NUMBER

A-138

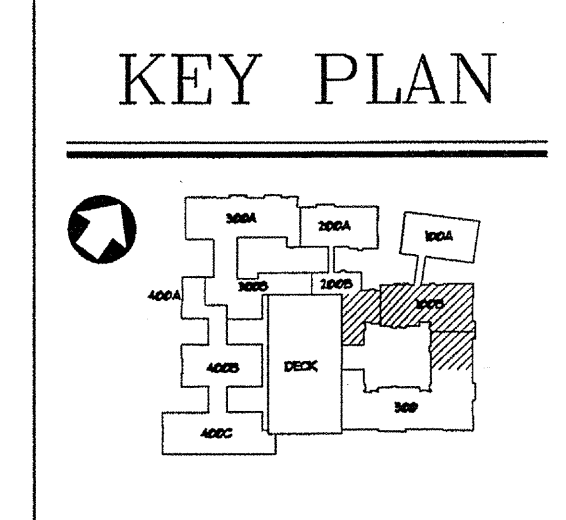
COMMENTS

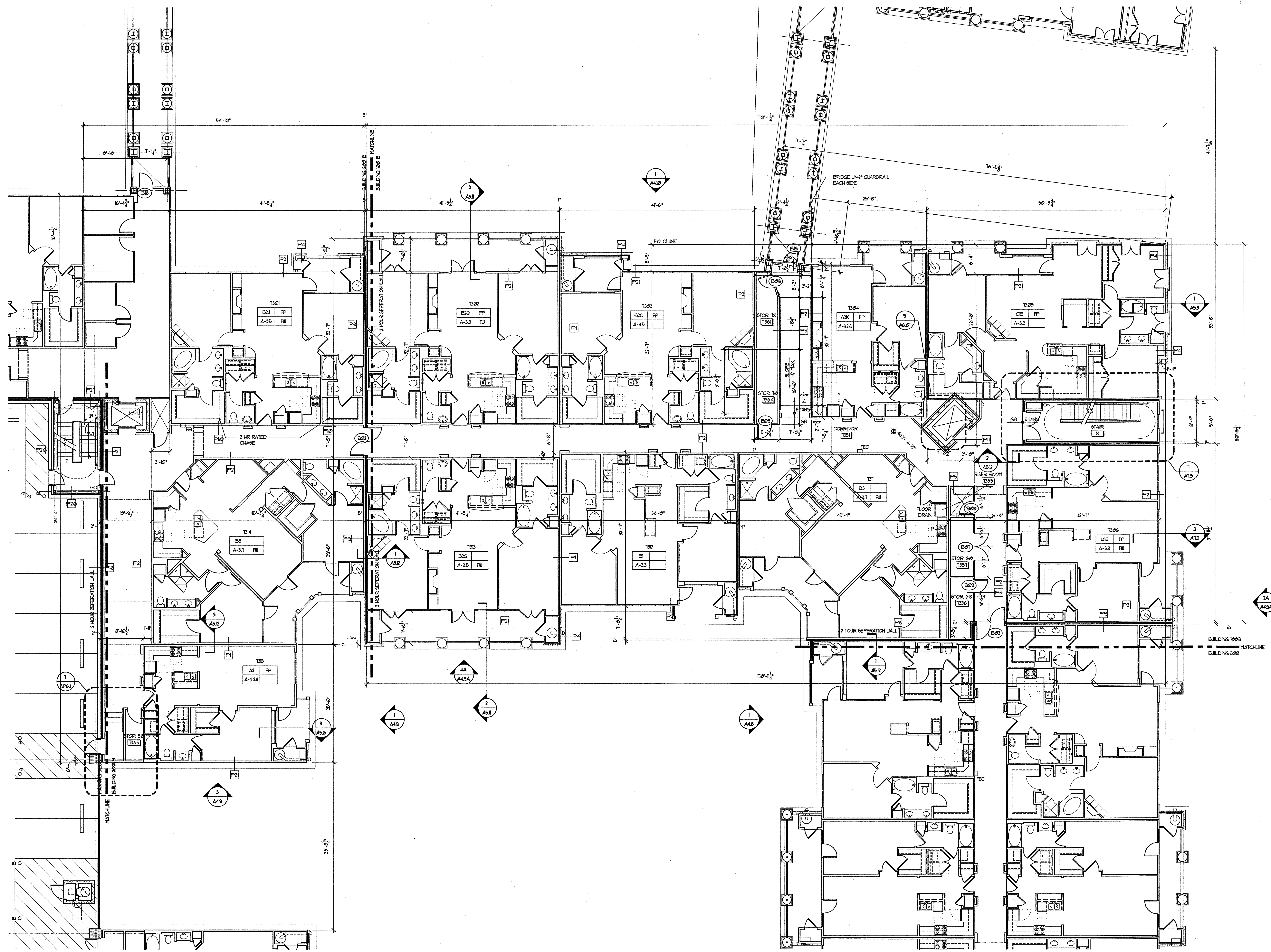


**BUILDING 100B & 200B - LEVEL 2**  
SCALE: 1/8"=1'-0"  
0 4 8 16 32'

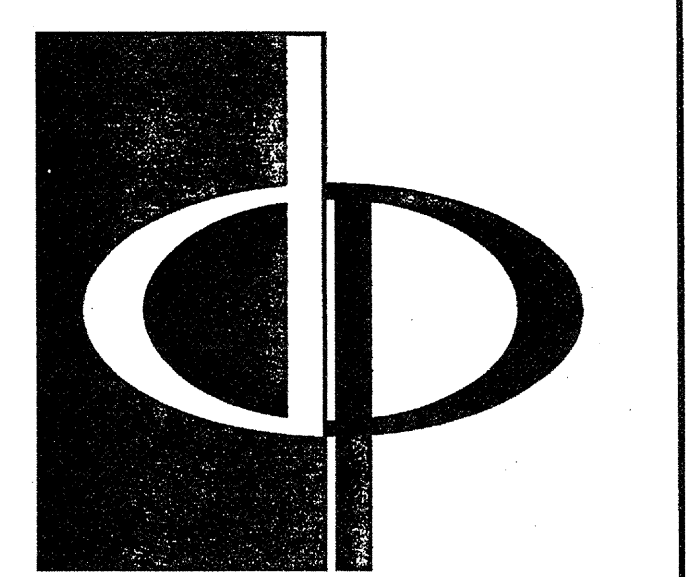
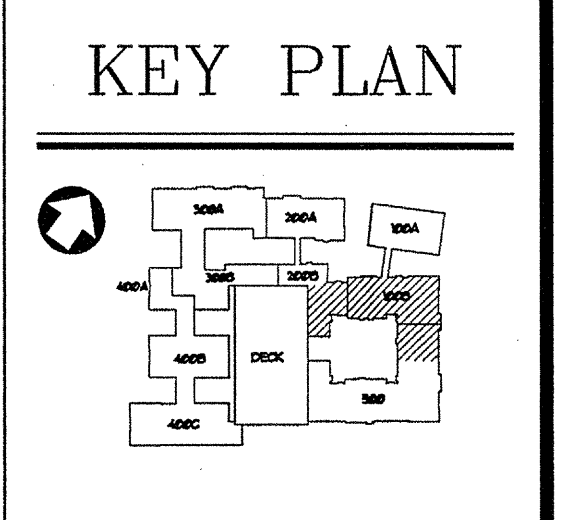
**REVISION #11 SUMMARY**  
A. REVISED PLAN

**REVISION #10 SUMMARY**  
A. COORDINATED COLUMNS





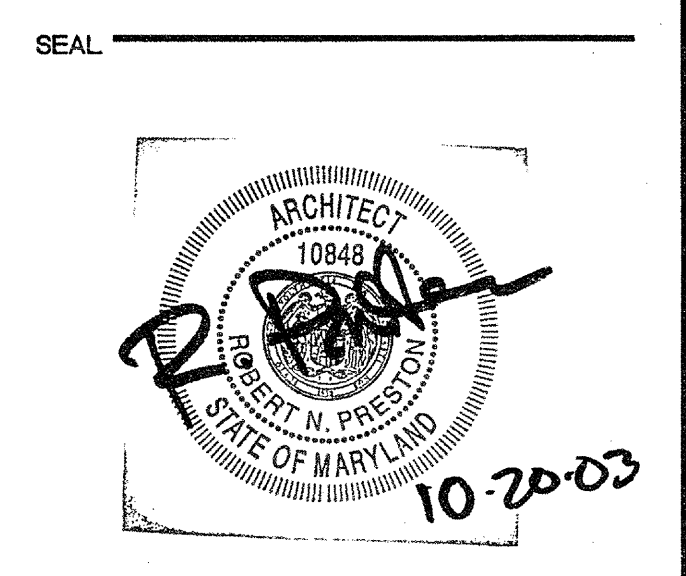
1 BUILDING 100B & 200B - LEVEL 3  
 A-139 SCALE: 1/8"=1'-0"



THE PRESTON PARTNERSHIP, LLC  
 A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
 ATLANTA, GEORGIA 30328  
 TELEPHONE: 770 396 7248  
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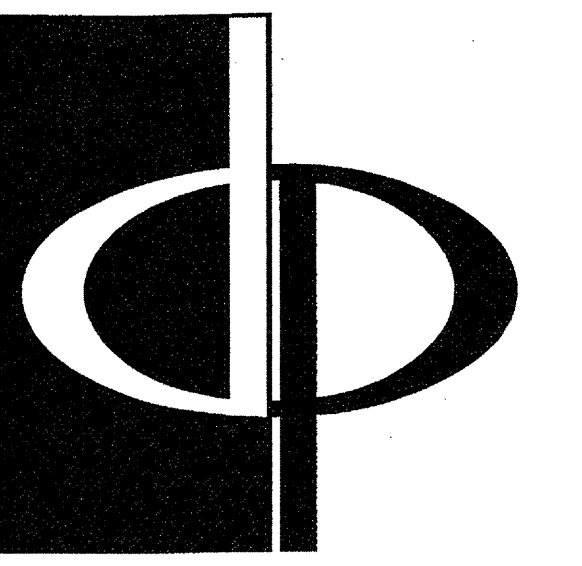


PROJECT  
**ARCHSTONE KENTLANDS**  
 949 QUINCE ORCHARD ROAD  
 GAITHERSBURG, MARYLAND

FOR  
**ARCHSTONE COMMUNITIES**  
 6631 OLD DOMINION DRIVE  
 MCLEAN, VIRGINIA 22101  
 703-883-3353

REVISIONS  
 RELEASED FOR CONSTRUCTION 01/31/03

DATE 01/31/03  
 JOB NUMBER 021102  
 DRAWN BY  
 CHECKED BY STH  
 DRAWING TITLE BUILDING 100B & 200B LEVEL THREE  
 DRAWING NUMBER A-139  
 COMMENTS



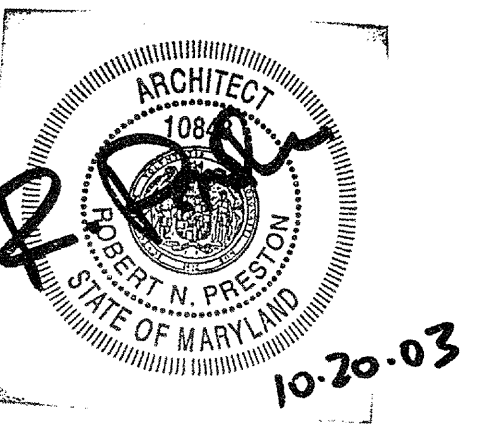
THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
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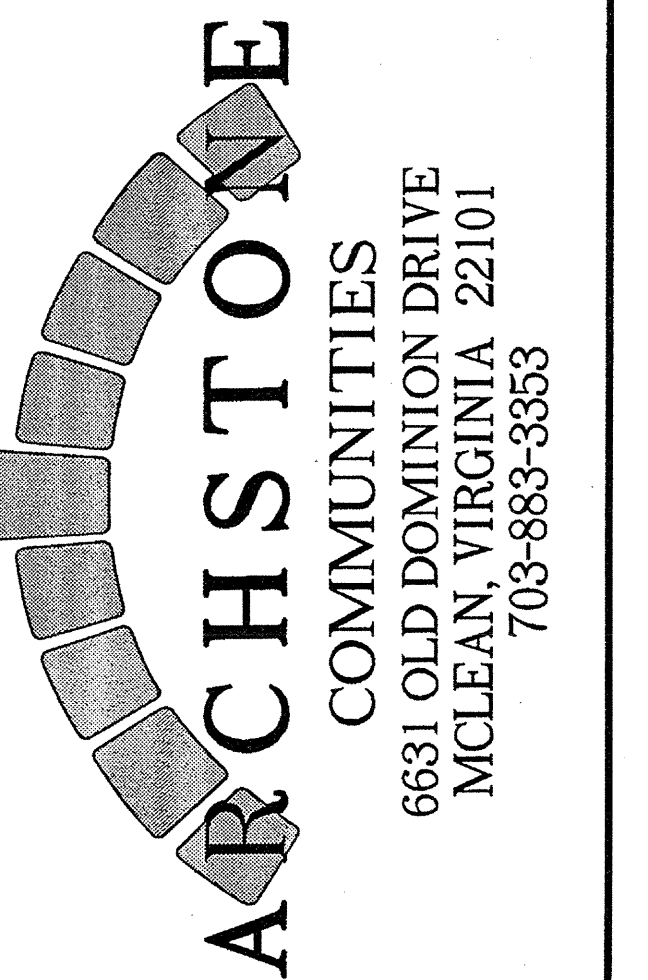


PROJECT

**ARCHSTONE  
KENTLANDS**

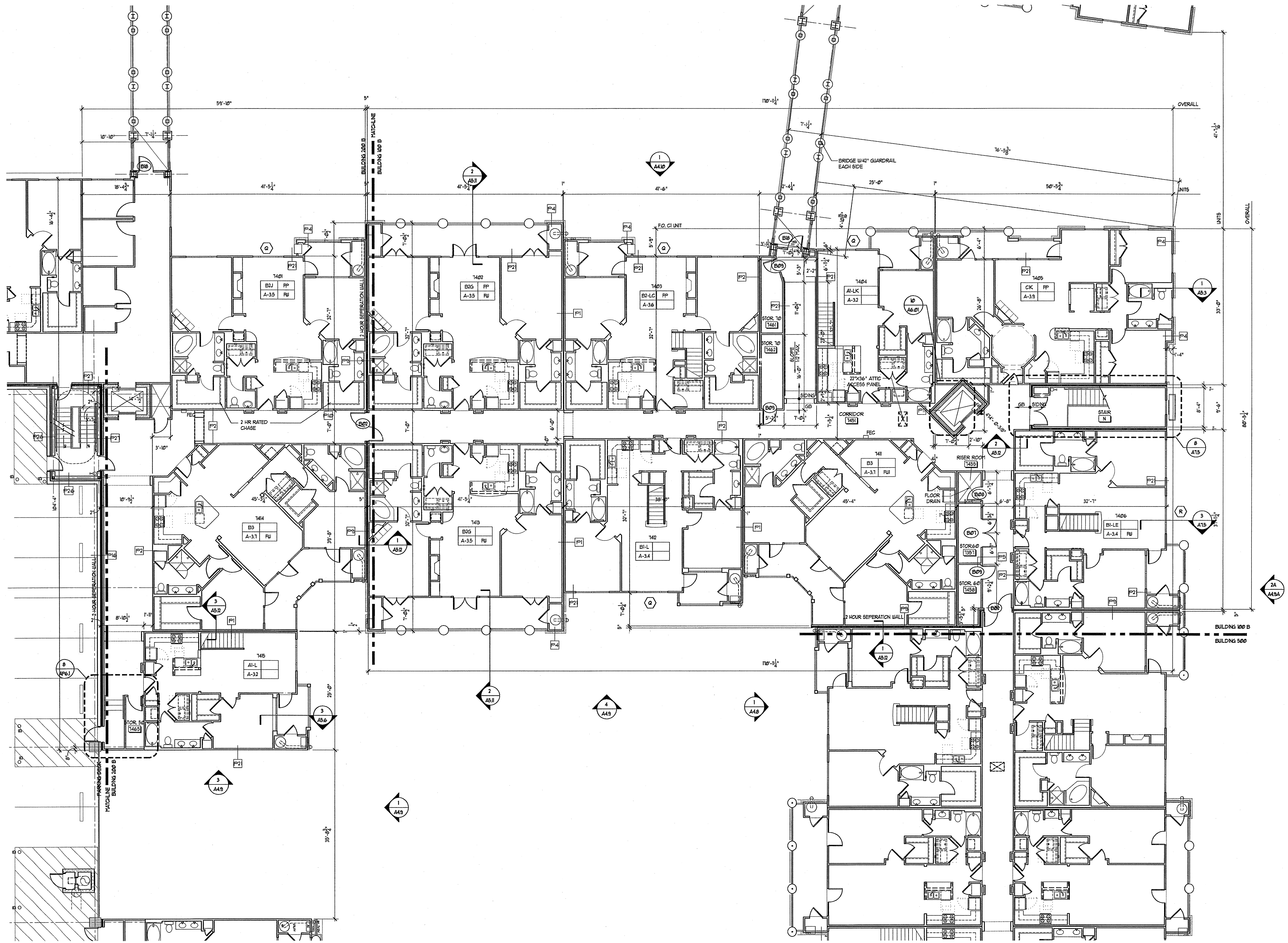
949 QUINCE ORCHARD ROAD  
GAITHERSBURG, MARYLAND

FOR

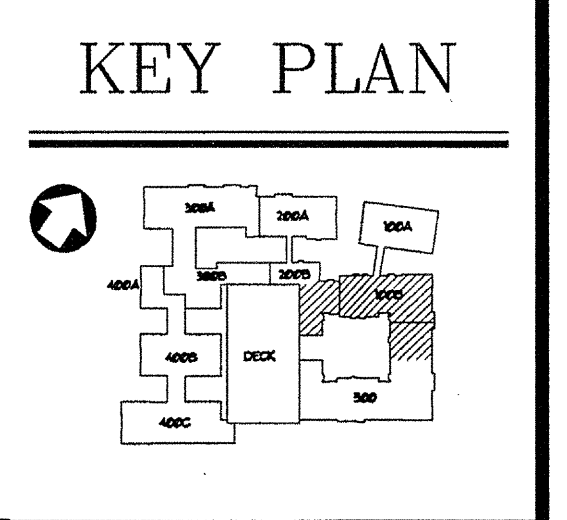


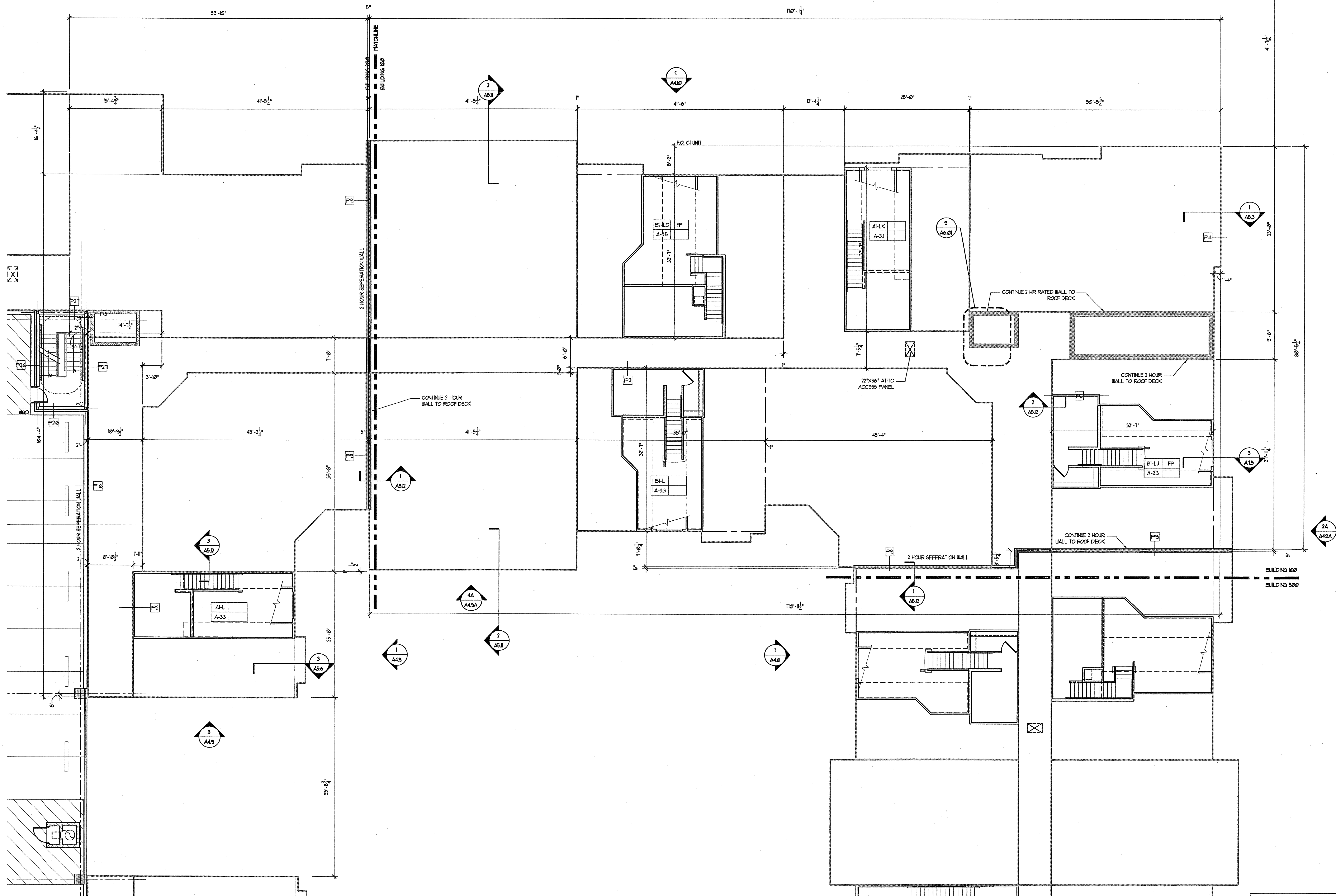
REVISIONS  
RELEASED FOR CONSTRUCTION 07/18/03

DATE 01/31/03  
JOB NUMBER 02111008  
DRAWN BY  
CHECKED BY STM  
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DRAWING NUMBER A-140  
COMMENTS

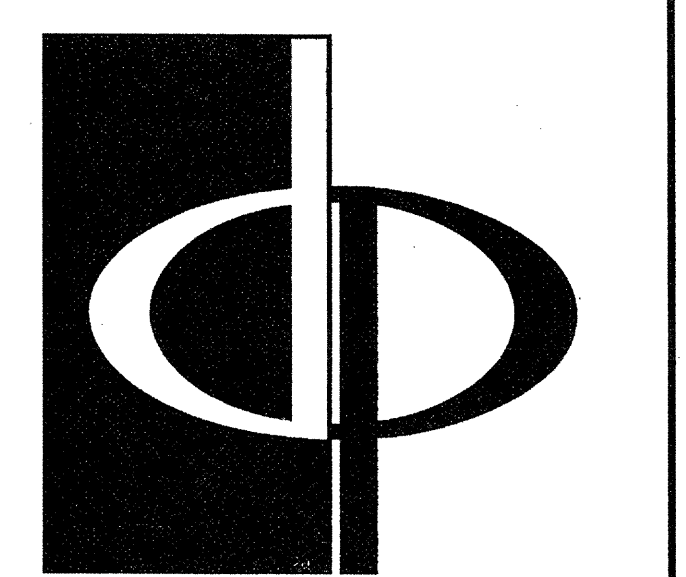
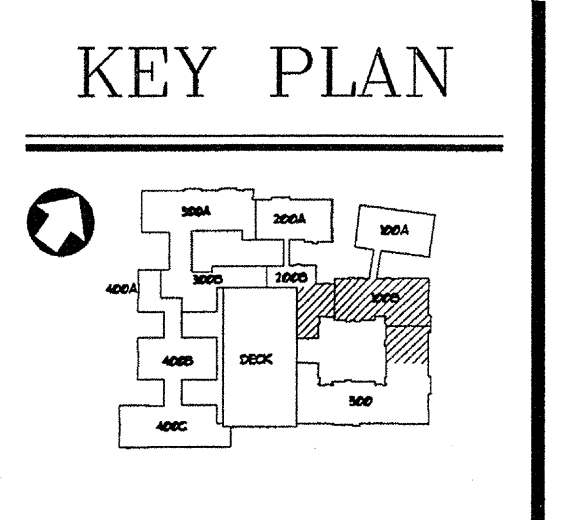


1  
A-140 BUILDING 100B & 200B - LEVEL 4  
SCALE: 1/8"=1'-0"





1 BUILDING 100B & 200B - MEZZANINE LEVEL  
 A-14 SCALE: 1/8"=1'-0"



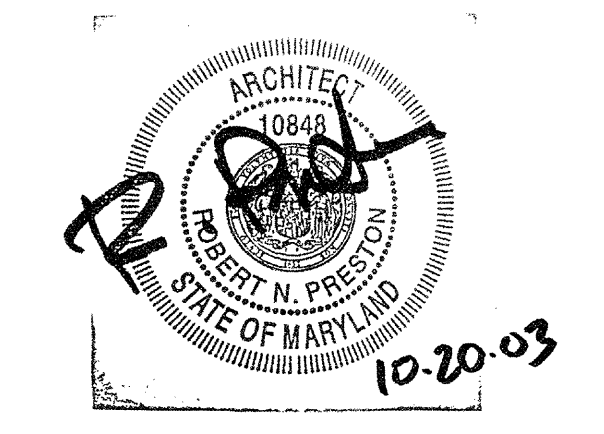
THE PRESTON PARTNERSHIP, LLC  
 A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
 ATLANTA, GEORGIA 30328  
 TELEPHONE: 770 396 7248  
 FAX: 770 396 2945

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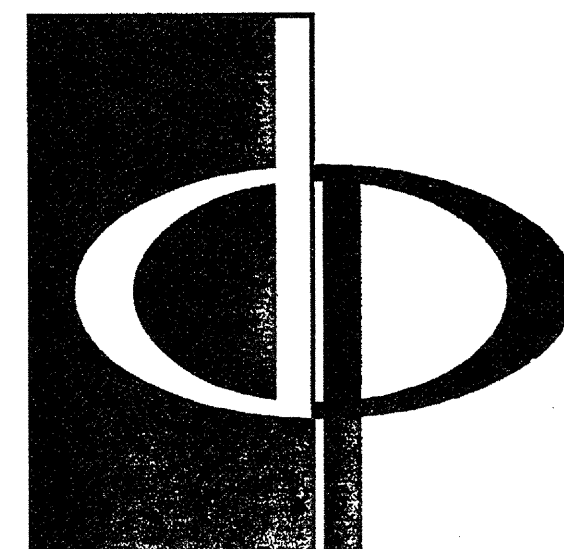


PROJECT  
**ARCHSTONE KENTLANDS**  
 949 QUINCE ORCHARD ROAD  
 GAITHERSBURG, MARYLAND

FOR  
**ARCHSTONE COMMUNITIES**  
 6681 OLD DOMINION DRIVE  
 MCLEAN, VIRGINIA 22101  
 703-883-3353

REVISIONS  
 RELEASED FOR CONSTRUCTION 07/18/03

DATE 07/31/03  
 JOB NUMBER 0211108  
 DRAWN BY  
 CHECKED BY STM  
 DRAWING TITLE BUILDING 100B & 200B MEZZANINE LEVEL  
 DRAWING NUMBER A-14  
 COMMENTS



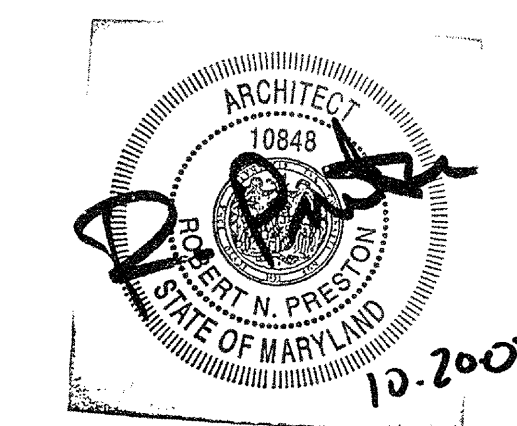
THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
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PROJECT

ARCHSTONE  
KENTLANDS  
949 QUINCE ORCHARD ROAD  
GAITHERSBURG, MARYLAND

FOR

ARCHSTONE  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
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703-883-3833

REVISIONS

RELEASED FOR CONSTRUCTION 07/18/03

DATE

JULY 21, 2003

JOB NUMBER

0211702

DRAWN BY

JULY

CHECKED BY

STM

DRAWING TITLE

BUILDING 100A  
ROOF PLAN

DRAWING NUMBER

A-2.1

COMMENTS

GENERAL ROOF NOTES

- A. ROOF PENETRATIONS TO OCCUR ON REAR OR NON STREET FRONT ELEVATION SIDE OF PITCHED ROOF. ALL PENETRATIONS TO BE PAINTED TO MATCH ROOF.
- B. VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH STRUCTURAL, MECHANICAL, AND PLUMBING DRAWINGS. PAINT TO MATCH ROOF.
- C. PROVIDE VALLEY FLASHING WHERE ROOF PITCHES CHANGE AND WHERE ROOF INTERSECTS VERTICAL SURFACES.
- D. MECHANICAL SUB-CONTRACTOR TO COORDINATE INSTALLATION AND ACCEPTANCE OF PREFABRICATED CURBS AND PENETRATIONS WITH ROOF MEMBRANE SUB-CONTRACTOR. G.C. TO PROVIDE ALL NECESSARY BLOCKING, NAILERS, ETC. AS NECESSARY FOR A WATER-TIGHT AND WATERPROOF ROOF.
- E. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY, COORDINATE AND/OR INSTALL ALL ADJACENT AND/OR RELATED FLASHINGS, BLOCKINGS, NAILERS, INSULATION STOPS AND CRICKETS NECESSARY FOR THE COMPLETE INSTALLATION OF THE ROOF MEMBRANE WHICH ARE REQUIRED FOR A COMPLETE, WARRANTED, WATER-TIGHT, WATERPROOF INSTALLATION.
- F. ALL ROOF SLOPES ARE TO HAVE A MINIMUM 1/4" FALL WHERE CRICKET VALLEYS OCCUR. CRICKETS ARE TO BE PROVIDED WITH SUFFICIENT DEPTH AND SLOPE TO ACCOMMODATE A MINIMUM 1/4" PER FOOT FALL AT THE VALLEY.
- G. LOCATIONS OF ROOF ACCESSORIES AND MATERIAL ARE SCHEMATIC IN NATURE. EXACT LOCATIONS SHALL BE DETERMINED BY INFORMATION ELSEWHERE ON THE DRAWINGS.
- H. ROOF DECKING TO BE BONDED TO ROOF TRUSS WITH EXTERIOR GLUE.
- I. ROOFING CONTRACTOR TO PROVIDE ATTIC SPACE VENTILATION WITH RIDGE VENTS, OFF RIDGE VENTS, AND CONTINUOUS VENT IN SOFFIT IN ACCORDANCE WITH 2000 IRC.
- J. PROVIDE GABLE END TRUSSES AT ALL GABLE END CONDITIONS AND AT ALL VERTICAL DRAFTSTOP LOCATIONS PARALLEL TO PARTY WALLS.
- K. ALL CHIMNEYS SHALL HAVE FLASHING AND COUNTERFLASHING 8" MIN ABOVE SHEATHING. PROVIDE CRICKET AS SHOWN.
- L. FLASH ALL ROOF, WALL INTERSECTIONS AND VALLEYS WITH FLASHING.
- M. ALL BLDGS. SHALL HAVE GUTTERS AND DOWNSPOUTS. REFER TO CIVIL DRAWINGS FOR DISCHARGE INTO STORM SEWER WITH PIPE UNDERGROUND.
- N. PROVIDE SCREENING AT ALL ROOF OPENINGS INTO THE ATTIC SPACE. OPENINGS IN SCREEN SHALL NOT EXCEED 1/4".
- O. DOWNSPOUTS ARE TO BE 4" ROUND, PAINTED TO MATCH ADJOINING MATERIAL, PIPE WITH BELL FITTINGS.
- P. SHINGLES TO BE 25 YEAR DIMENSIONAL.
- Q. OVERHANG AREAS TO BE DRAFTSTOPPED AT INTERVALS NOT EXCEEDING 2000 IBC.

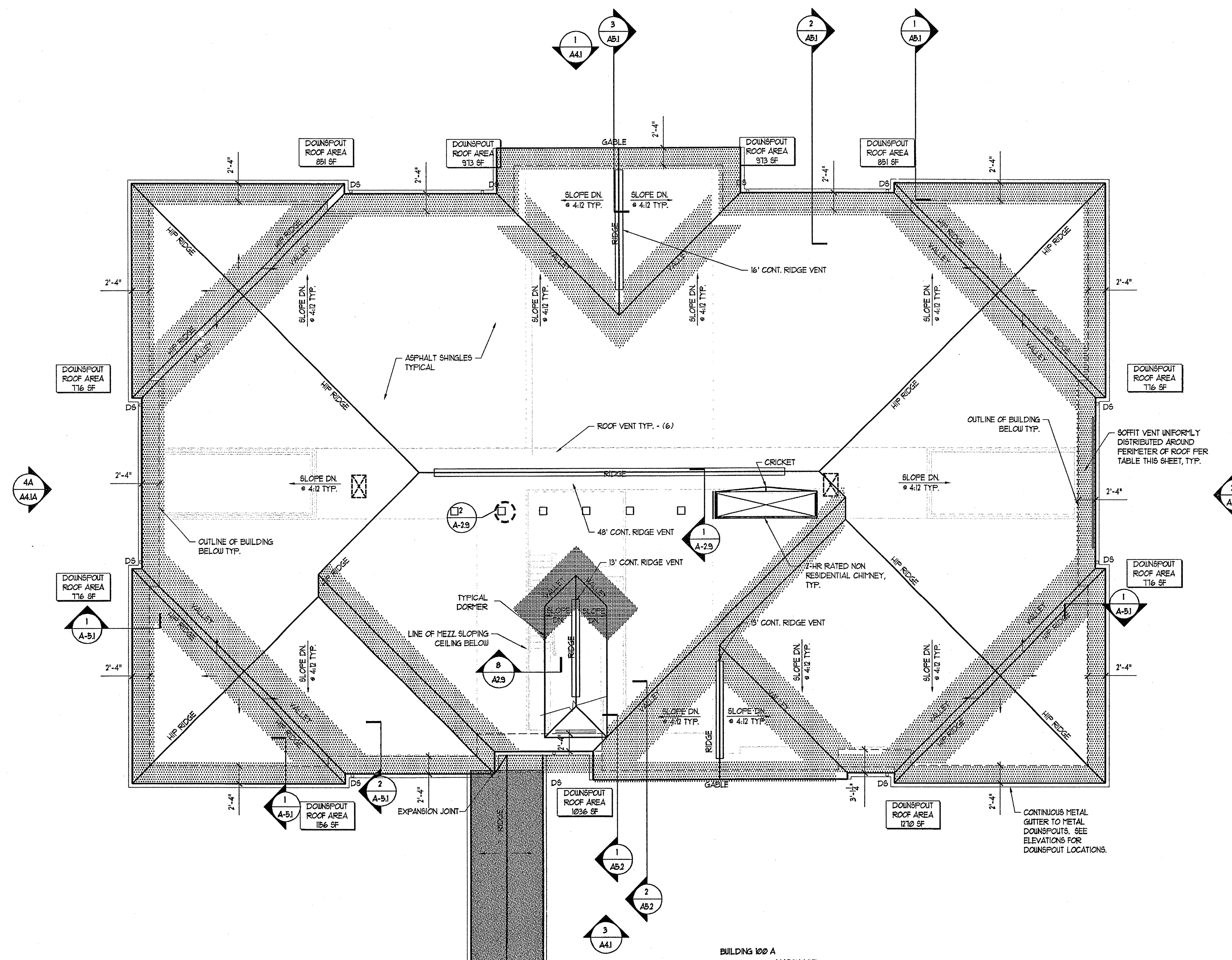
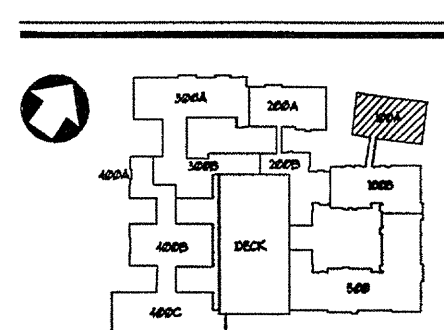
LEGEND

- ATTIC DRAFTSTOPPING
- RV RIDGE VENT
- DS GUTTER DOWNSPOUT
- OH OVERHANG
- CL CENTERLINE
- G GUTTER
- S ROOF SLOPE
- INDICATES LOCATION OF FIRE RATED FLYWOOD OVER FIRE SEPARATION WALL
- INDICATES LOCATION OF ICE & WATER SHIELD - 36" MIN LAP EACH SIDE

DOWNSPOUT CALC'S

SLOPE FACTOR (6/12 ROOF) = 1.20  
DOWNSPOUT CAPACITY FACTOR (50 FT. ROOF SQ. IN. DS) = 5.0 SF.  
DOWNSPOUT SIZE (AREA @ SQ. IN.)  
3/4" (2.25) = 1256  
MAXIMUM ROOF AREA PER DOWNSPOUT:  
50 x 1256 / 1.20 = 1171 SF @ DS.

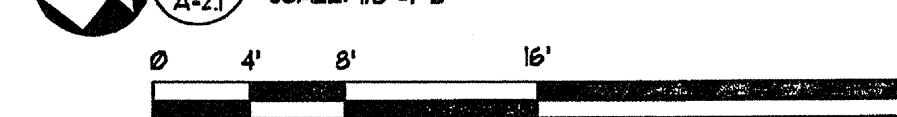
KEY PLAN



NOTE:

ROOF / CEILING INSULATION MAY BE BATT OR BLOWN TO MEET R39 REQUIREMENT. VAPOR RETARDER IN ACCORDANCE WITH ASTM E86 MUST BE PROVIDED.  
CONTRACTOR HAS OPTION TO POWER VENT PROVIDED SAME VENTILATION REQUIREMENTS ARE MET.

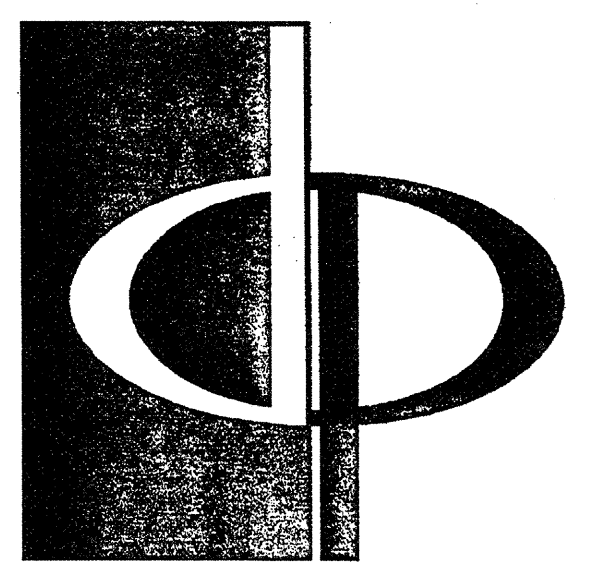
BUILDING 100A - ROOF PLAN  
SCALE: 1/8"=1'-0"



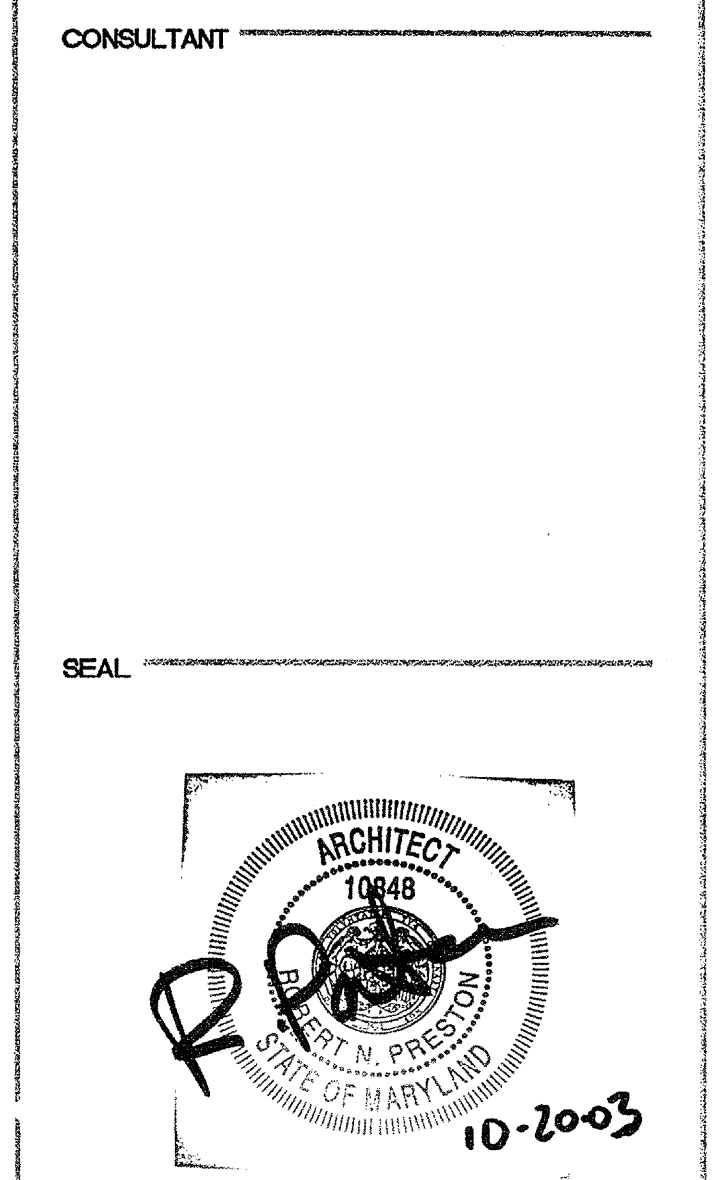
ATTIC VENTILATION REQUIRED (IBC 12.02.2)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
VENTILATION TYPE:	<input checked="" type="checkbox"/> PASSIVE <input type="checkbox"/> MECHANICAL
AREA REQUIRED: CEILING AREA (SQ. IN.) / 320	1282400 SQ. IN. / 320 = 4008 SQ. IN.
AREA REQUIRED AT MIN. 3'-0" ABOVE CEILING	4298 x 5.0% = 2149 SQ. IN.
AREA REQUIRED AT SOFFIT	2149 SQ. IN.
OWENS CORNING VENT SURE RIDGE VENT	90 LINEAR FEET @ 15" / FOOT = 1350 SQ. IN.
OWENS CORNING VENT SURE HP VENT	6 VENTS @ 144" VENT = 864 SQ. IN.
TOTAL AREA PROVIDED AT SOFFIT:	2214 SQ. IN. = 2149 SQ. IN.
AREA PROVIDED AT SOFFIT:	192 L. FT. @ 1125 SQ. IN. / L. FT. = 2160 SQ. IN.
TOTAL AREA PROVIDED:	4374 SQ. IN. = 4298 SQ. IN.

ALL VENTS ARE OWENS CORNING. RIDGE VENT IS VENT SURE RIGID ROLL  
ROOF VENT IS VENTURE HIGH PERFORMANCE  
SOFFIT VENT IS MODEL U295J26 OR U26T





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 WWW.THEPRESTONPARTNERSHIP.COM



PROJECT  
**ARCHSTONE**  
**KENTLANDS**  
 948 GUINCE ORCHARD ROAD  
 GAITHERSBURG, MARYLAND

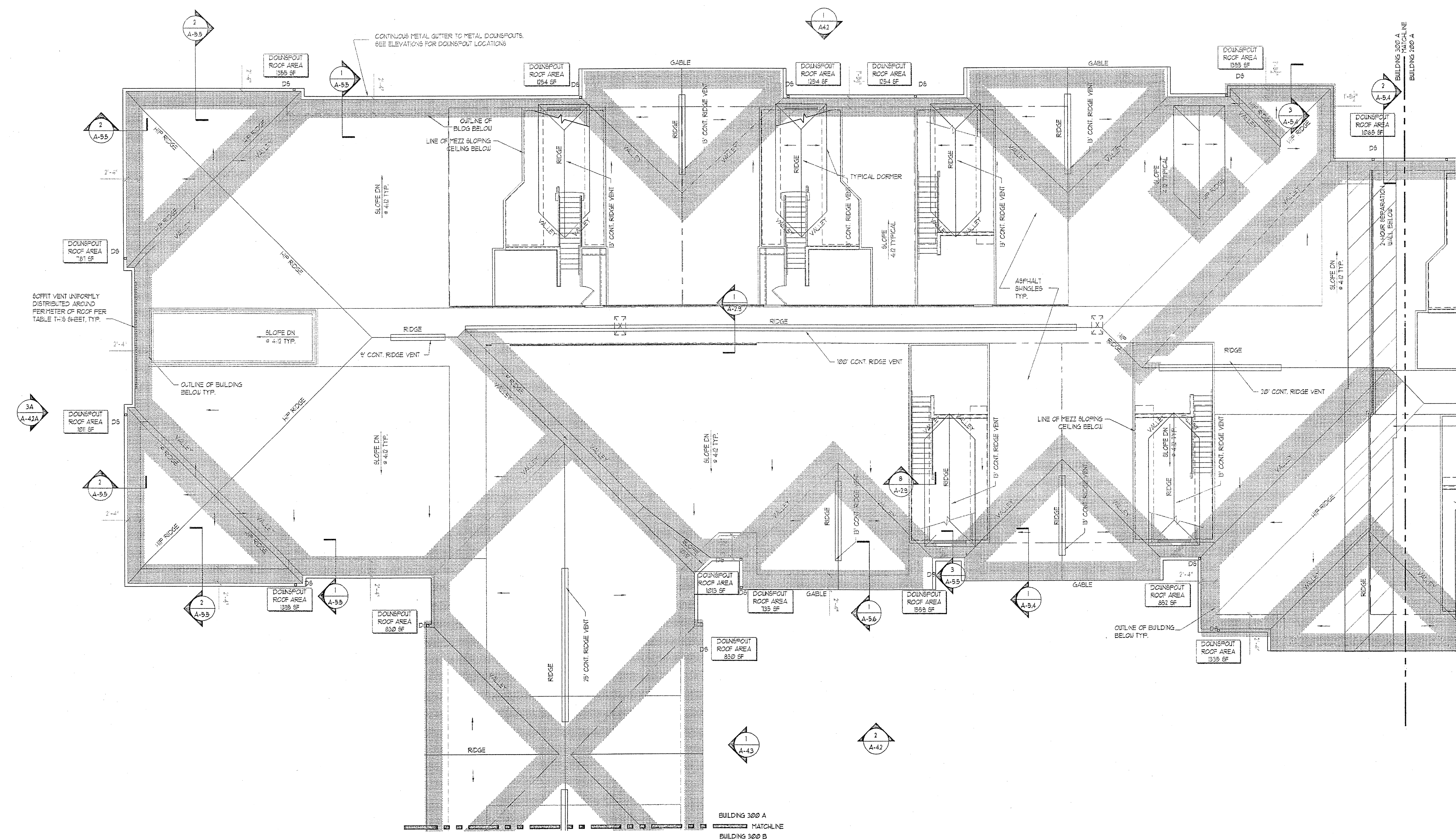
FOR  
**ARCHSTONE**  
 COMMUNITIES  
 6631 OLD DOMINION DRIVE  
 MCLEAN, VIRGINIA 22101  
 703-883-3333

REVISIONS  
 RELEASED FOR CONSTRUCTION 07/18/03

DATE: 01/31/03  
 JOB NUMBER: 0217028  
 DRAWN BY: JUM  
 CHECKED BY: STM  
 DRAWING TITLE: BUILDING 300A ROOF PLAN  
 DRAWING NUMBER: A-22  
 COMMENTS:

**GENERAL ROOF NOTES**

- A. ROOF PENETRATIONS TO OCCUR ON REAR OR NON STREET FRONT ELEVATION SIDE OF PITCHED ROOF. ALL PENETRATIONS TO BE PAINTED TO MATCH ROOF.
- B. VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH STRUCTURAL, MECHANICAL, AND PLUMBING DRAWINGS. PAINT TO MATCH ROOF.
- C. PROVIDE VALLEY FLASHING WHERE ROOF FITCHES CHANGE AND WHERE ROOF INTERSECTS VERTICAL SURFACES.
- D. MECHANICAL SUB-CONTRACTOR TO COORDINATE INSTALLATION AND ACCEPTANCE OF PREFABRICATED CURBS AND PENETRATIONS WITH ROOF MEMBRANE SUB-CONTRACTOR. G.C. TO PROVIDE ALL NECESSARY BLOCKING, NAILERS, ETC. AS NECESSARY FOR A WATER-TIGHT AND WATERPROOF ROOF.
- E. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY, COORDINATE AND/OR INSTALL ALL ADJACENT AND/OR RELATED FLASHINGS, BLOCKING, NAILERS, INSULATION STOPS AND CRICKETS NECESSARY FOR THE COMPLETE INSTALLATION OF THE ROOF MEMBRANE WHICH ARE REQUIRED FOR A COMPLETE, GUARANTEED, WATER-TIGHT, WATERPROOF INSTALLATION.
- F. ALL ROOF SLOPES ARE TO HAVE A MINIMUM 1/4" FALL WHERE CRICKET VALLEYS OCCUR. CRICKETS ARE TO BE PROVIDED WITH SUFFICIENT DEPTH AND SLOPE TO ACCOMMODATE A MINIMUM 1/4" PER FOOT FALL AT THE VALLEY.
- G. LOCATIONS OF ROOF ACCESSORIES AND MATERIAL ARE SCHEMATIC IN NATURE. EXACT LOCATION SHALL BE DETERMINED BY INFORMATION ELSEWHERE ON THE DRAWINGS.
- H. ROOF DECKING TO BE BONDED TO ROOF TRUSS WITH EXTERIOR GLUE.
- I. ROOFING CONTRACTOR TO PROVIDE ATTIC SPACE VENTILATION WITH RIDGE VENTS, OFF RIDGE VENTS, AND CONTINUOUS VENT IN SOFFIT IN ACCORDANCE WITH 2000 IRC.
- J. PROVIDE GABLE END TRUSSES AT ALL GABLE END CONDITIONS AND AT ALL VERTICAL DRAFTSTOP LOCATIONS PARALLEL TO PARTY WALLS.
- K. ALL CHIMNEYS SHALL HAVE FLASHING AND COUNTERFLASHING 1" MIN. ABOVE SHEATHING. PROVIDE CRICKET AS SHOWN.
- L. FLASH ALL ROOF/WALL INTERSECTIONS AND VALLEYS WITH FLASHING.
- M. ALL BLDGS. SHALL HAVE GUTTERS AND DOWNSPOUTS. REFER TO CIVIL DRAWINGS FOR DISCHARGE INTO STORY SEWER WITH PIPE UNDERGROUND.
- N. PROVIDE SCREENING AT ALL ROOF OPENINGS INTO THE ATTIC SPACE. OPENINGS A SCREEN SHALL NOT EXCEED 1/4".
- O. DOWNSPOUTS ARE TO BE 4" ROUND, PAINTED TO MATCH ADJOINING MATERIAL. PIPE WITH BELL FITTINGS.
- P. SHINGLES TO BE 25 YEAR DIMENSIONAL.
- Q. OVERHANG AREAS TO BE DRAFTSTOPPED AT INTERVALS NOT EXCEEDING 2000' BC.



NOTE: HATCHED AREA INDICATES EXTENT OF FIRE RATED ROOF SHEATHING 4'-0" TO EACH SIDE WALL NO ROOF PENETRATIONS. THE ALTERNATE (1) LAYER OF 5/8" TYPE 'X' GUS ON TOP OF ROOF TRUSSES BY 1/4" OVER ON TOP.

**LEGEND**

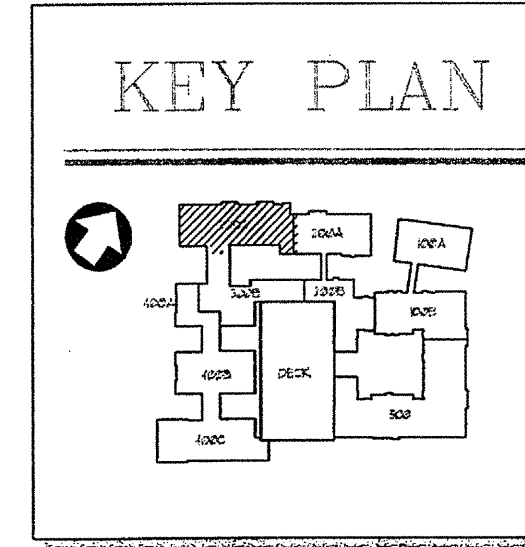
- ATTIC DRAFTSTOPPING
- RV RIDGE VENT
- DS GUTTER DOWNSPOUT
- OH OVERHANG
- CL CENTERLINE
- GUTTER
- ROOF SLOPE
- INDICATES LOCATION OF FIRE RATED FLYWOOD OVER FIRE SEPARATION WALL
- INDICATES LOCATION OF ICE & WATER SHIELD - 36" MIN. LAP EACH SIDE

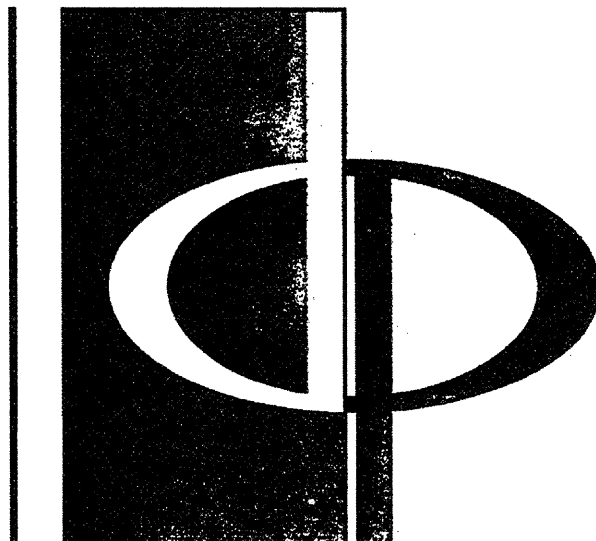
**DOWNSPOUT CALC'S**

SLOPE FACTOR (6/12 ROOF) = 1.0  
 DOWNSPOUT CAPACITY FACTOR (60 FT. ROOF SQ. IN DS) = 80 SF  
 DOWNSPOUT SIZE (AREA SQ. IN) 3/4" (27" x 126)  
 MAXIMUM ROOF AREA PER DOWNSPOUT: 80 X 80 = 6400 / 1.0 = 6400 SF/DS

**BUILDING 300A - ROOF PLAN**  
 SCALE 1/8"=1'-0"  
 0 4' 8' 16' 32'

ATTIC VENTILATION REQUIRED (IBC 2,022)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
VENTILATION TYPE:	<input checked="" type="checkbox"/> PASSIVE <input type="checkbox"/> MECHANICAL
AREA REQUIRED: CEILING AREA (SQ. IN) / 300	24336 SQ. IN. / 8061 SQ. IN.
AREA REQUIRED AT MIN. 3'-0" ABOVE CEILING	8,061 x 30% = 4,034 SQ. IN.
AREA REQUIRED AT SOFFIT	4,034 SQ. IN.
QUENS CORNING VENT SURE RIDGE VENT	271 LINEAR FEET @ 15" / FOOT = 4,065 SQ. IN.
TOTAL AREA PROVIDED @ MIN. 3'-0" ABOVE CLNG.	4,065 SQ. IN. > 4,034 SQ. IN.
TOTAL AREA PROVIDED AT SOFFIT:	360 L. FT. @ 1125 SQ. IN. / L. FT. = 4,050 SQ. IN.
TOTAL AREA PROVIDED:	8,115 SQ. IN. > 8,061 SQ. IN.
ALL VENTS ARE QUENS CORNING: RIDGE VENT IS VENT SURE RIGID ROLL. ROOF VENT IS VENT SURE HIGH PERFORMANCE SOFFIT VENT IS VEGEL UNIVERSE OR UNVT.	





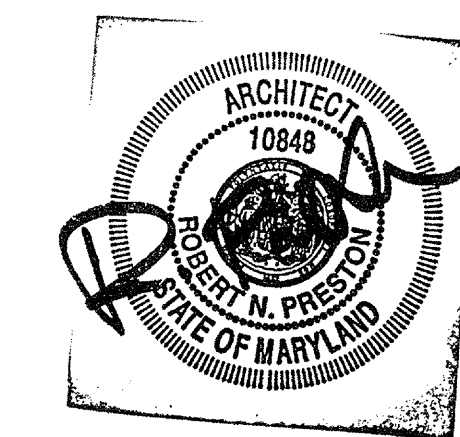
THE PRESTON PARTNERSHIP, LLC  
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CONSULTANT

SEAL



PROJECT

ARCHSTONE  
KENTLANDS  
949 QUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

FOR

ARCHSTONE

REVISIONS

RELEASED FOR CONSTRUCTION 07/18/03

DATE 01/31/03

JOB NUMBER 0211108

DRAWN BY JUM

CHECKED BY STM

DRAWING TITLE BUILDING 200A ROOF PLAN

DRAWING NUMBER A-2.3

COMMENTS

GENERAL ROOF NOTES

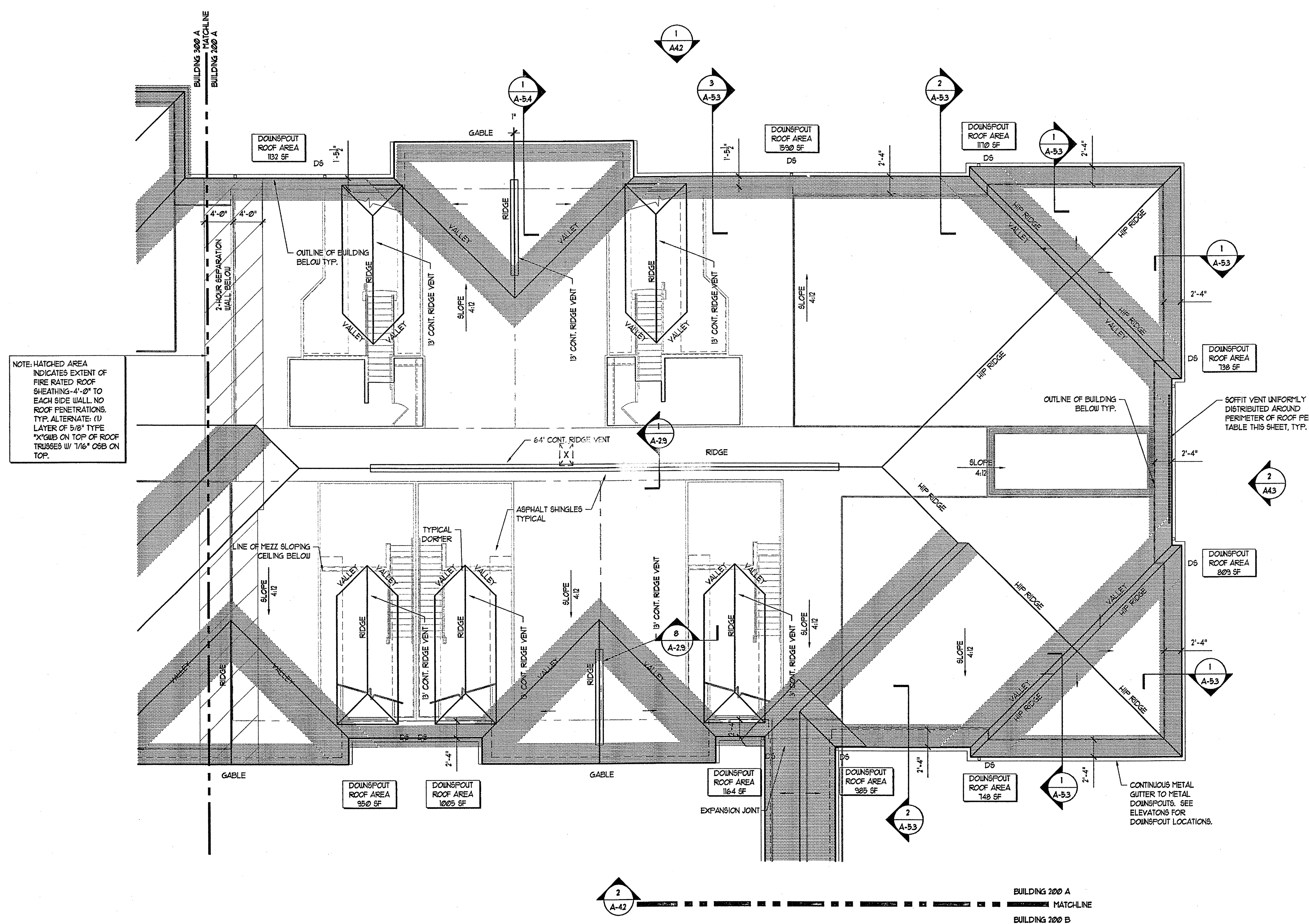
- ROOF PENETRATIONS TO OCCUR ON REAR OR NON STREET FRONT ELEVATION SIDE OF RICHED ROOF. ALL PENETRATIONS TO BE PAINTED TO MATCH ROOF.
- VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH STRUCTURAL, MECHANICAL AND PLUMBING DRAWINGS. PAINT TO MATCH ROOF.
- PROVIDE VALLEY FLASHING WHERE ROOF FITCHES CHANGE AND WHERE ROOF INTERSECTS VERTICAL SURFACES.
- MECHANICAL SUB-CONTRACTOR TO COORDINATE INSTALLATION AND ACCEPTANCE OF PREFABRICATED CURBS AND PENETRATIONS WITH ROOF MEMBRANE SUB-CONTRACTOR. G.C. TO PROVIDE ALL NECESSARY BLOCKING, NAILERS, ETC. AS NECESSARY FOR A WATERTIGHT AND WATERPROOF ROOF.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY, COORDINATE AND/OR INSTALL ALL ADJACENT AND/OR RELATED FLASHINGS, BLOCKINGS, NAILERS, INSULATION STOPS AND CRICKETS NECESSARY FOR THE COMPLETE INSTALLATION OF THE ROOF MEMBRANE WHICH ARE REQUIRED FOR A COMPLETE, GUARANTEED, WATERTIGHT, WATERPROOF INSTALLATION.
- ALL ROOF SLOPES ARE TO HAVE A MINIMUM 1/4" FALL WHERE CRICKET VALLEYS OCCUR. CRICKETS ARE TO BE PROVIDED WITH SUFFICIENT DEPTH AND SLOPE TO ACCOMMODATE A MINIMUM 1/4" PER FOOT FALL AT THE VALLEY.
- LOCATIONS OF ROOF ACCESSORIES AND MATERIAL ARE SCHEMATIC IN NATURE. EXACT LOCATIONS SHALL BE DETERMINED BY INFORMATION ELSEWHERE ON THE DRAWINGS.
- ROOF DECKING TO BE BONDED TO ROOF TRUSS WITH EXTERIOR GLUE.
- ROOFING CONTRACTOR TO PROVIDE ATTIC SPACE VENTILATION WITH RIDGE VENTS, OFF RIDGE VENTS, AND CONTINUOUS VENT IN SOFFIT IN ACCORDANCE WITH 2000 IBC.
- PROVIDE GABLE END TRUSSES AT ALL GABLE END CONDITIONS AND AT ALL VERTICAL DRAFTSTOP LOCATIONS PARALLEL TO PARTY WALLS.
- ALL CHIMNEYS SHALL HAVE FLASHING AND COUNTERFLASHING 8" MIN. ABOVE SHEATHING. PROVIDE CRICKET AS SHOWN.
- FLASH ALL ROOF, WALL INTERSECTIONS AND VALLEYS WITH FLASHING.
- ALL BLDGS. SHALL HAVE GUTTERS AND DOWNSPOUTS REFER TO CIVIL DRAWINGS FOR DISCHARGE INTO STORM SEWER WITH PIPE UNDERGROUND.
- PROVIDE SCREENING AT ALL ROOF OPENINGS INTO THE ATTIC SPACE. OPENINGS IN SCREEN SHALL NOT EXCEED 1/4".
- DOWNSPOUTS ARE TO BE 4" ROUND, PAINTED TO MATCH ADJOINING MATERIAL, PIPE WITH BELL FITTINGS.
- SHINGLES TO BE 75 YEAR DIMENSIONAL.
- OVERHANG AREAS TO BE DRAFTSTOPPED AT INTERVALS NOT EXCEEDING 2000 IBC.

LEGEND

- ATTIC DRAFTSTOPPING
- RV RIDGE VENT
- D6 GUTTER DOWNSPOUT
- OH OVERHANG
- CL CENTERLINE
- ← GUTTER
- ← ROOF SLOPE
- [Hatched Box] INDICATES LOCATION OF FIRE RATED FLYWOOD OVER FIRE SEPARATION WALL
- [Cross-hatched Box] INDICATES LOCATION OF ICE & WATER SHIELD - 36" MIN. LAP EACH SIDE

DOWNSPOUT CALC'S

SLOPE FACTOR (S/R ROOF) = 110  
DOWNSPOUT CAPACITY FACTOR (SQ. FT. ROOF/SQ. IN. D6) = 150 SF.  
DOWNSPOUT SIZE (AREA/SQ. IN.)  
314 \* (2.2)² = 1236  
MAXIMUM ROOF AREA PER DOWNSPOUT:  
50 \* 1236 / 110 = [119 SF/D6]

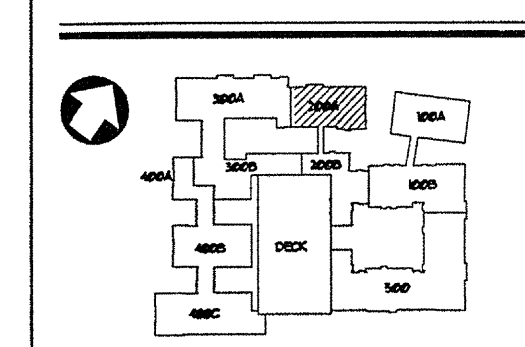


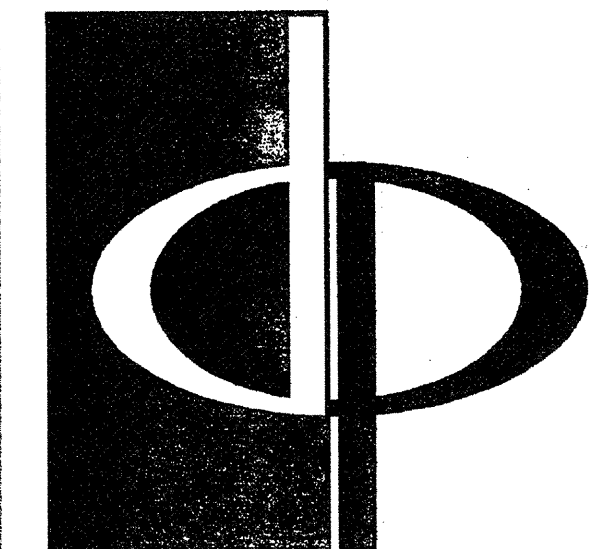
NOTE: HATCHED AREA INDICATES EXTENT OF FIRE RATED ROOF SHEATHING 4'-0" TO EACH SIDE WALL. NO ROOF PENETRATIONS. TYP. ALTERNATE (1) LAYER OF 5/8" TYPE \*XIGAB ON TOP OF ROOF TRUSSES W/ 1/4" GSB ON TOP.

BUILDING 200A - ROOF PLAN  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16' 32'

ATTIC VENTILATION REQUIRED (IBC 12.02.2)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
VENTILATION TYPE:	<input checked="" type="checkbox"/> PASSIVE <input type="checkbox"/> MECHANICAL
AREA REQUIRED: CEILING AREA (SQ. IN.) / 300	1380,000 SQ. IN. / 300 = 4600 SQ. IN.
AREA REQUIRED AT MIN. 3'-0" ABOVE CEILING	45'0" x 50'0" = 2250 SQ. IN.
AREA REQUIRED AT SOFFIT	2250 SQ. IN.
OWENS CORNING VENT SURE RIDGE VENT	155 LINEAR FEET @ 15" / FOOT = 2,325 SQ. IN.
TOTAL AREA PROVIDED @ MIN. 3'-0" ABOVE CLNG.	2325 SQ. IN. > 2250 SQ. IN.
TOTAL AREA PROVIDED AT SOFFIT:	200 L. FT. @ 11.25 SQ. IN. / L. FT. = 2,250 SQ. IN.
TOTAL AREA PROVIDED:	4575 SQ. IN. > 4500 SQ. IN.
ALL VENTS ARE OWENS CORNING: RIDGE VENT IS VENT SURE RIGID ROLL ROOF VENT IS VENTSURE HIGH PERFORMANCE SOFFIT VENT IS MODEL DWSJW26 OR DW21	

KEY PLAN

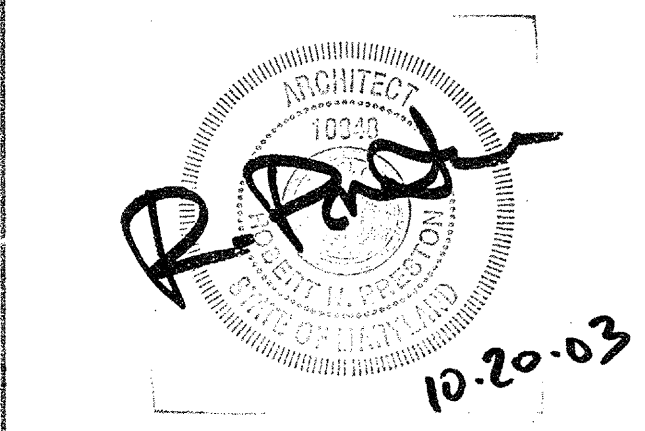




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CONSULTANT

SEAL



PROJECT  
ARCHSTONE  
KENTLANDS  
549 QUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

FOR

ARCHSTONE  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS  
RELEASED FOR CONSTRUCTION 07/18/03

DATE	DESCRIPTION
01/31/03 <td>JUN</td>	JUN
02/11/03 <td>JUN</td>	JUN
07/18/03 <td>JUN</td>	JUN

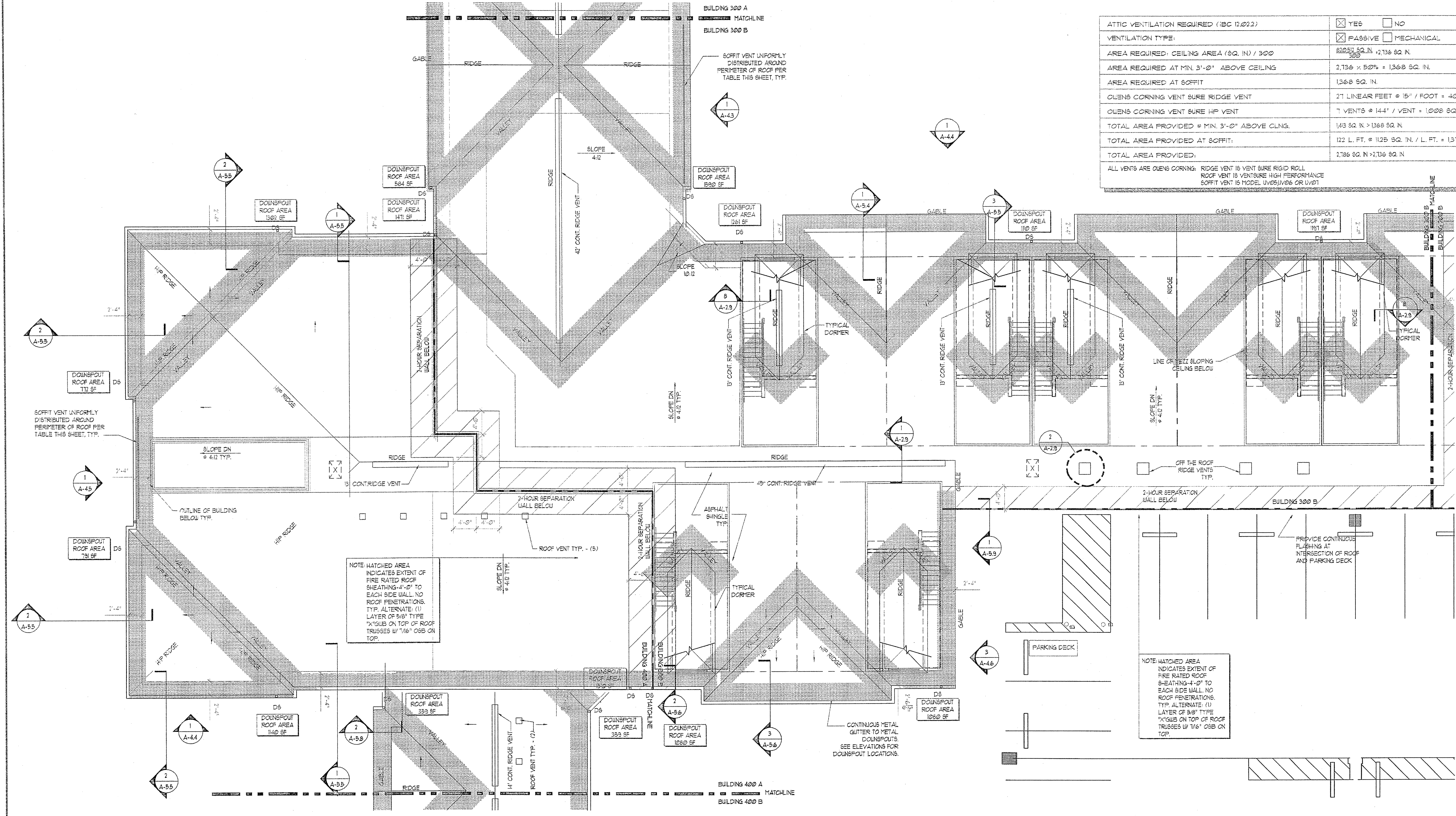
DATE: 01/31/03  
JOB NUMBER: 021103  
DRAWN BY: JUN  
CHECKED BY: JUN  
DRAWING TITLE: BUILDING 200B, 300B, & 400A ROOF PLAN  
DRAWING NUMBER: A-2.4  
COMMENTS:

ATTIC VENTILATION REQUIRED (IBC 12.02.2)	YES	NO
VENTILATION TYPE:	<input checked="" type="checkbox"/> PASSIVE	<input type="checkbox"/> MECHANICAL
AREA REQUIRED: CEILING AREA (SQ. IN) / 300	81281 SQ. IN. / 27136 SQ. IN.	
AREA REQUIRED AT MIN. 3'-0" ABOVE CEILING	2,736 x 50% = 1,368 SQ. IN.	
AREA REQUIRED AT SOFFIT	1,268 SQ. IN.	
OWENS CORNING VENT SURE RIDGE VENT	27 LINEAR FEET @ 15" / FOOT = 405 SQ. IN.	
OWENS CORNING VENT SURE HP VENT	7 VENTS @ 144" / VENT = 1,008 SQ. IN.	
TOTAL AREA PROVIDED @ MIN. 3'-0" ABOVE CLING.	143 SQ. IN. > 1,368 SQ. IN.	
TOTAL AREA PROVIDED AT SOFFIT:	122 L. FT. @ 1125 SQ. IN. / L. FT. = 1,375 SQ. IN.	
TOTAL AREA PROVIDED:	2,746 SQ. IN. > 2,736 SQ. IN.	

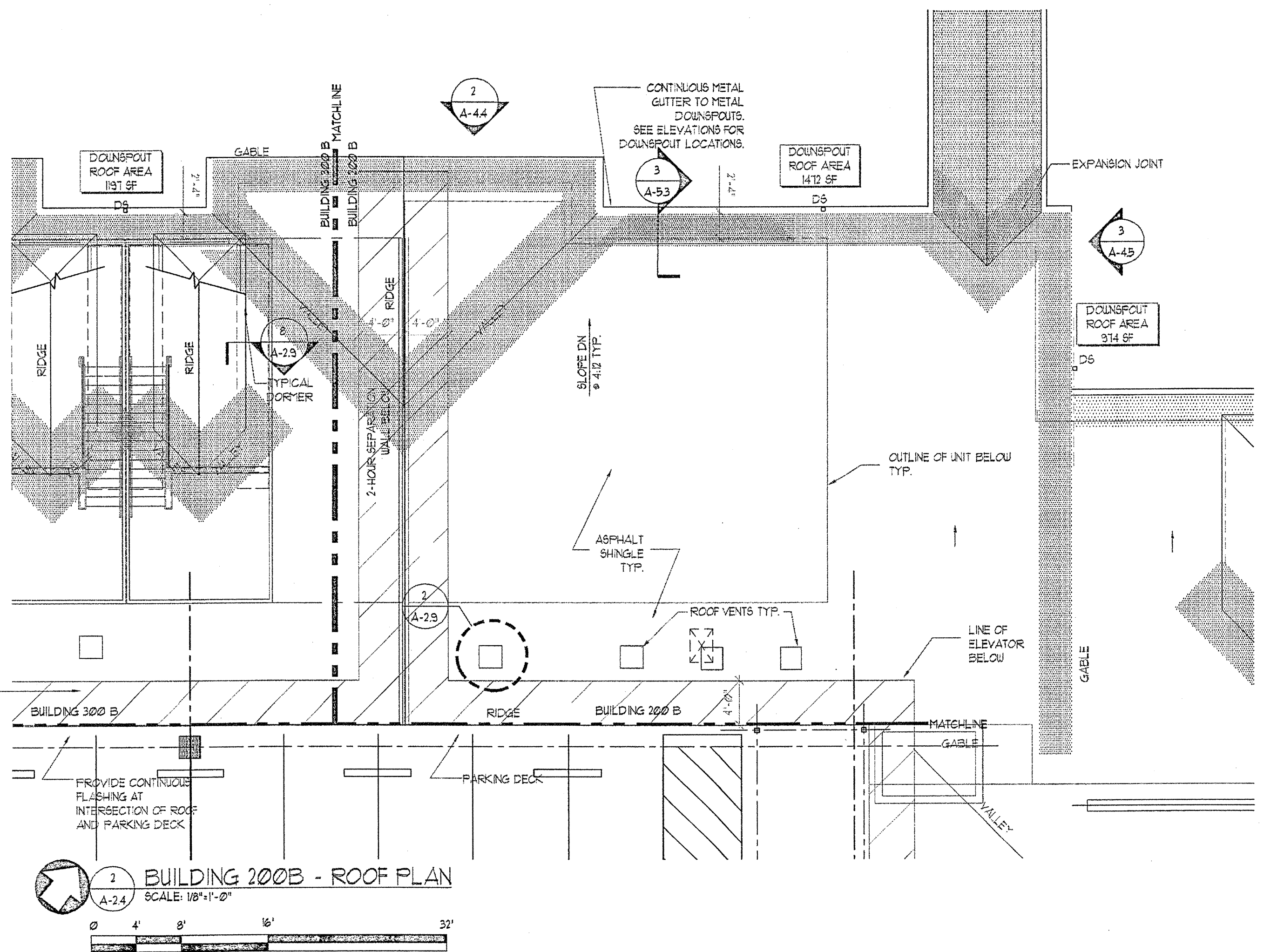
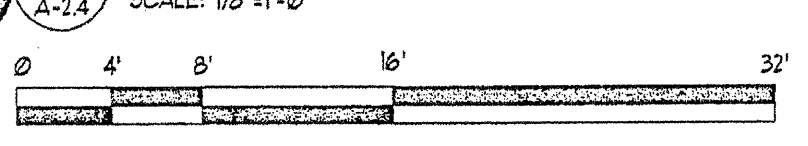
ALL VENTS ARE OWENS CORNING. RIDGE VENT IS VENT SURE RIGID ROLL ROOF VENT IS VENTURE HIGH PERFORMANCE SOFFIT VENT IS MODEL UV65J106 OR UV67

GENERAL ROOF NOTES

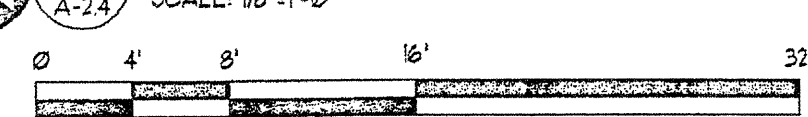
- ROOF PENETRATIONS TO OCCUR ON REAR OR NON STREET FRONT ELEVATION SIDE OF RITCHED ROOF. ALL PENETRATIONS TO BE PAINTED TO MATCH ROOF.
- VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH STRUCTURAL, MECHANICAL AND PLUMBING DRAWINGS PAINT TO MATCH ROOF.
- PROVIDE VALLEY FLASHING WHERE ROOF PITCHES CHANGE AND WHERE ROOF INTERSECTS VERTICAL SURFACES.
- MECHANICAL SUB-CONTRACTOR TO COORDINATE INSTALLATION AND ACCEPTANCE OF PREFABRICATED CURBS AND PENETRATIONS WITH ROOF MEMBRANE SUB-CONTRACTOR. G.C. TO PROVIDE ALL NECESSARY BLOCKING, NAILERS, ETC. AS NECESSARY FOR A WATER-TIGHT AND WATERPROOF ROOF.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY, COORDINATE AND/OR INSTALL ALL ADJACENT AND/OR RELATED FLASHINGS, BLOCKING, NAILERS, INSULATION STOPS AND CRICKETS NECESSARY FOR THE COMPLETE INSTALLATION OF THE ROOF MEMBRANE WHICH ARE REQUIRED FOR A COMPLETE, UNBARRIRED, WATER-TIGHT WATERPROOF INSTALLATION.
- ALL ROOF SLOPES ARE TO HAVE A MINIMUM 1/4" FALL WHERE CRICKET VALLEYS OCCUR. CRICKETS ARE TO BE PROVIDED WITH SUFFICIENT DEPTH AND SLOPE TO ACCOMMODATE A MINIMUM 1/4" PER FOOT FALL AT THE VALLEY.
- LOCATIONS OF ROOF ACCESSORIES AND MATERIAL ARE SCHEMATIC IN NATURE. EXACT LOCATIONS SHALL BE DETERMINED BY INFORMATION ELSEWHERE ON THE DRAWINGS.
- ROOF DECKING TO BE BONDED TO ROOF TRUSS WITH EXTERIOR GLUE.
- ROOFING CONTRACTOR TO PROVIDE ATTIC SPACE VENTILATION WITH RIDGE VENTS, OFF RIDGE VENTS, AND CONTINUOUS VENT IN SOFFIT IN ACCORDANCE WITH 2003 IBC.
- PROVIDE GABLE END TRUSSES AT ALL GABLE END CONDITIONS AND AT ALL VERTICAL DRAFTSTOP LOCATIONS PARALLEL TO PARTY WALLS.
- ALL CHIMNEYS SHALL HAVE FLASHING AND COUNTERFLASHING 6" MIN ABOVE SHEATHING. PROVIDE CRICKET AS SHOWN.
- FLASH ALL ROOF WALL INTERSECTIONS AND VALLEYS WITH FLASHING.
- ALL BLDGS SHALL HAVE GUTTERS AND DOWNSPOUTS REFER TO CIVIL DRAWINGS FOR DISCHARGE INTO STORY SEWER WITH PIPE UNDERGROUND.
- PROVIDE SCREENING AT ALL ROOF OPENINGS INTO THE ATTIC SPACE. OPENINGS IN SCREEN SHALL NOT EXCEED 1/4".
- DOWNSPOUTS ARE TO BE 4" ROUND, PAINTED TO MATCH ADJOINING MATERIAL, PIPE WITH BELL FITTINGS.
- SINGLES TO BE 25 YEAR DIMENSIONAL.
- OVERHANG AREAS TO BE DRAFTSTOPPED AT INTERVALS NOT EXCEEDING 2000 IBC.



BUILDING 300B & 400A - ROOF PLAN  
SCALE: 1/8"=1'-0"



BUILDING 200B - ROOF PLAN  
SCALE: 1/8"=1'-0"



ATTIC VENTILATION REQUIRED (IBC 12.02.2)	YES	NO
VENTILATION TYPE:	<input checked="" type="checkbox"/> PASSIVE	<input type="checkbox"/> MECHANICAL
AREA REQUIRED: CEILING AREA (SQ. IN) / 300	4,852 SQ. IN. / 1,617 SQ. IN.	
AREA REQUIRED AT MIN. 3'-0" ABOVE CEILING	1,617 x 50% = 808.5 SQ. IN.	
AREA REQUIRED AT SOFFIT	2,426 SQ. IN.	
OWENS CORNING VENT SURE RIDGE VENT	126 LINEAR FEET @ 15" / FOOT = 1,890 SQ. IN.	
OWENS CORNING VENT SURE HP VENT	4 VENTS @ 144" / VENT = 576 SQ. IN.	
TOTAL AREA PROVIDED @ MIN. 3'-0" ABOVE CLING.	2,498 SQ. IN. > 2,426 SQ. IN.	
TOTAL AREA PROVIDED AT SOFFIT:	216 L. FT. @ 1,125 SQ. IN. / L. FT. = 2,430 SQ. IN.	
TOTAL AREA PROVIDED:	4,928 SQ. IN. > 4,852 SQ. IN.	

ALL VENTS ARE OWENS CORNING. RIDGE VENT IS VENT SURE RIGID ROLL ROOF VENT IS VENTURE HIGH PERFORMANCE SOFFIT VENT IS MODEL UV65J106 OR UV67

HATCHED AREA INDICATES EXTENT OF FIRE RATED ROOF SHEATHING 4'-0" TO EACH SIDE WALL. NO ROOF PENETRATIONS. TYP. ALTERNATE: (1) LAYER OF 5/8" TYPE "X" GIBS ON TOP OF ROOF TRUSSES W/ 1/8" OSB ON TOP.

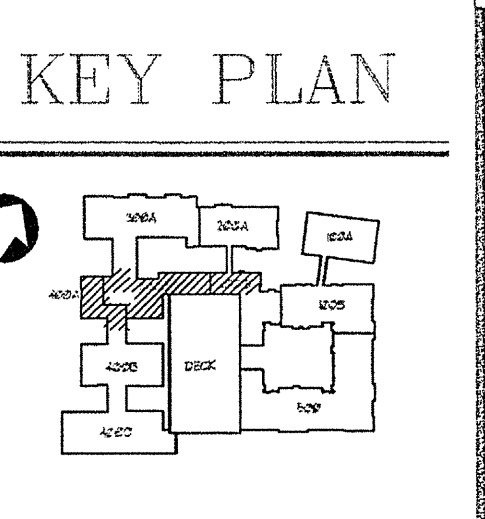
NOTE: FOR ATTIC VENTILATION TABLE OF BUILDING 200B, SEE DUG A18

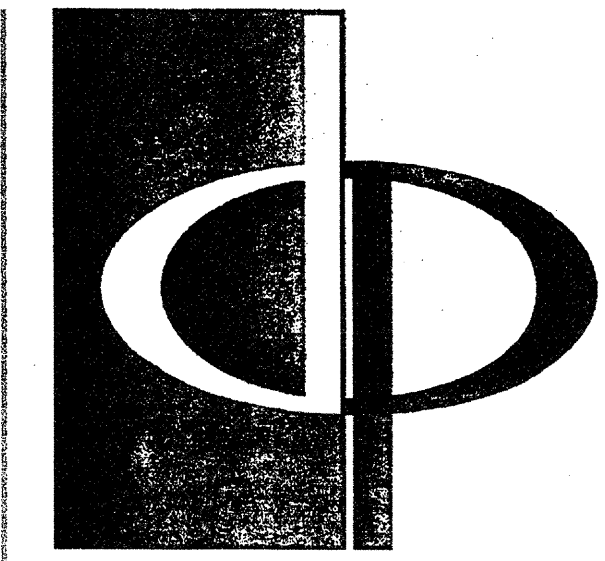
LEGEND

- ATTIC DRAFTSTOPPING
- RV RIDGE VENT
- DS GUTTER DOWNSPOUT
- CH OVERHANG
- C CENTERLINE
- GUTTER
- ROOF SLOPE
- /// INDICATES LOCATION OF FIRE RATED ROOF AREA
- /// INDICATES LOCATION OF ICE & WATER SHIELD - 36" MIN LAP EACH SIDE

DOWNSPOUT CALC'S

SLOPE FACTOR (6/12 ROOF) = 1.10  
DOWNSPOUT CAPACITY FACTOR (50 FT. ROOF SLOPE, N. DS) = 50 SF  
DOWNSPOUT SIZE (AREA/SQ. IN) 3/4" (7.2") = 12.56  
MAXIMUM ROOF AREA PER DOWNSPOUT: 120 x 1236 / 110 = 1,176 SF.D.S.





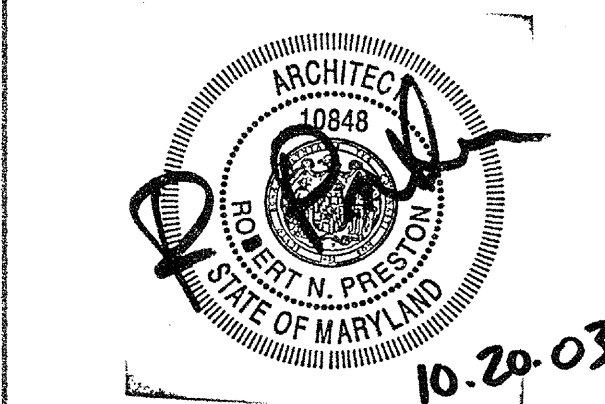
THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
FAX: 770 396 2945

WWW.THEPRESTONPARTNERSHIP.COM

CONSULTANT

SEAL



PROJECT

ARCHSTONE  
KENTLANDS  
948 QUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

FOR

**ARCHSTONE**  
COMMUNITIES  
6681 OLD DOMINION DRIVE,  
MCLEAN, VIRGINIA 22101  
703-883-3333

REVISIONS

RELEASED FOR CONSTRUCTION 07/18/03

DATE 01/31/03

JOB NUMBER 0211028

DRAWN BY JUM

CHECKED BY STM

DRAWING TITLE BUILDING 400B  
ROOF PLAN

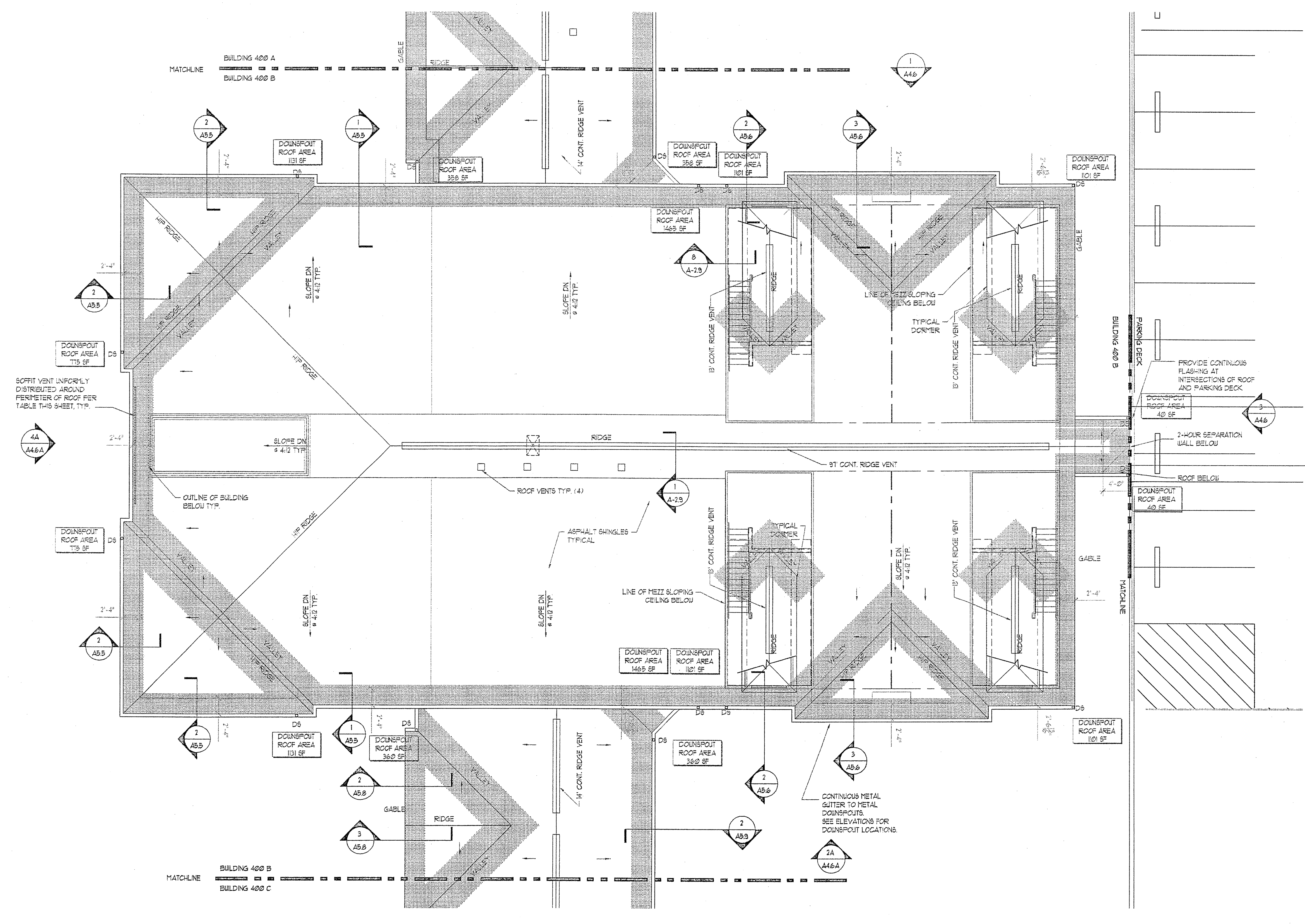
DRAWING NUMBER

A-2.5

COMMENTS

GENERAL ROOF NOTES

- A. ROOF PENETRATIONS TO OCCUR ON REAR OR NON STREET FRONT ELEVATION SIDE OF RICHED ROOF. ALL PENETRATIONS TO BE PAINTED TO MATCH ROOF.
- B. VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH STRUCTURAL, MECHANICAL, AND PLUMBING DRAWINGS. PAINT TO MATCH ROOF.
- C. PROVIDE VALLEY FLASHING WHERE ROOF PITCHES CHANGE AND WHERE ROOF INTERSECTS VERTICAL SURFACES.
- D. MECHANICAL SUB-CONTRACTOR TO COORDINATE INSTALLATION AND ACCEPTANCE OF PREFABRICATED CURBS AND PENETRATIONS WITH ROOF MEMBRANE SUB-CONTRACTOR. G.C. TO PROVIDE ALL NECESSARY BLOCKING NAILERS, ETC. AS NECESSARY FOR A WATERTIGHT AND WATERPROOF ROOF.
- E. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY, COORDINATE AND/OR INSTALL ALL ADJACENT AND/OR RELATED FLASHINGS, BLOCKING NAILERS, INSULATION STOPS AND CRICKETS NECESSARY FOR THE COMPLETE INSTALLATION OF THE ROOF MEMBRANE WHICH ARE REQUIRED FOR A COMPLETE, WATERTIGHT, WATERPROOF INSTALLATION.
- F. ALL ROOF SLOPES ARE TO HAVE A MINIMUM 1/4" FALL WHERE CRICKET VALLEYS OCCUR. CRICKETS ARE TO BE PROVIDED WITH SUFFICIENT DEPTH AND SLOPE TO ACCOMMODATE A MINIMUM 1/4" PER FOOT FALL AT THE VALLEY.
- G. LOCATIONS OF ROOF ACCESSORIES AND MATERIAL ARE SCHEMATIC IN NATURE. EXACT LOCATIONS SHALL BE DETERMINED BY INFORMATION ELSEWHERE ON THE DRAWINGS.
- H. ROOF DECKING TO BE BONDED TO ROOF TRUSS WITH EXTERIOR GLUE.
- I. ROOFING CONTRACTOR TO PROVIDE ATTIC SPACE VENTILATION WITH RIDGE VENTS, OFF RIDGE VENTS, AND CONTINUOUS VENT IN SOFFIT IN ACCORDANCE WITH 2000 IRC.
- J. PROVIDE GABLE END TRUSSES AT ALL GABLE END CONDITIONS AND AT ALL VERTICAL DRAFTSTOP LOCATIONS PARALLEL TO PARTY WALLS.
- K. ALL CHIMNEYS SHALL HAVE FLASHING AND COUNTERFLASHING 8" MIN. ABOVE SHEATHING. PROVIDE CRICKET AS SHOWN.
- L. FLASH ALL ROOF WALL INTERSECTIONS AND VALLEYS WITH FLASHING.
- M. ALL BLDGS. SHALL HAVE GUTTERS AND DOWNSPOUTS. REFER TO CIVIL DRAWINGS FOR DISCHARGE INTO STORM SEWER WITH PIPE UNDERGROUND.
- N. PROVIDE SCREENING AT ALL ROOF OPENINGS INTO THE ATTIC SPACE. OPENINGS IN SCREEN SHALL NOT EXCEED 1/4".
- O. DOWNSPOUTS ARE TO BE 4" ROUND, PAINTED TO MATCH ADJOINING MATERIAL, PIPE WITH BELL FITTINGS.
- P. SHINGLES TO BE 25 YEAR DIMENSIONAL.
- Q. OVERHANG AREAS TO BE DRAFTSTOPPED AT INTERVALS NOT EXCEEDING 2000 IRC.



NOTE: HATCHED AREA INDICATES EXTENT OF FIRE RATED ROOF SHEATHING 4'-0" TO EACH SIDE WALL. NO ROOF PENETRATIONS. TYPE ALTERNATE (1) LAYER OF 5/8" TYPE X/GUS ON TOP OF ROOF TRUSSES W/ 1/8" OSB ON TOP.

**LEGEND**

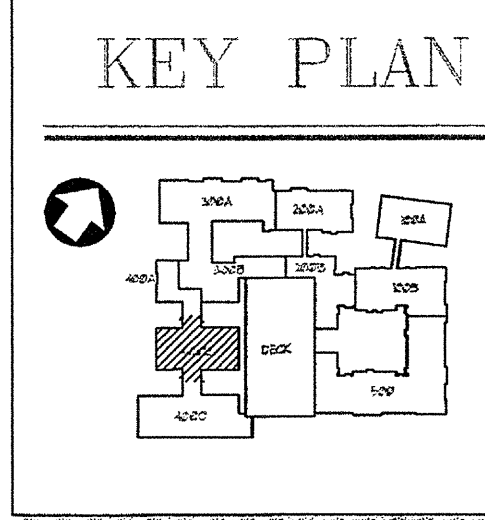
- ATTIC DRAFTSTOPPING
- R/V RIDGE VENT
- D/S GUTTER DOWNSPOUT
- O/H OVERHANG
- C/L CENTERLINE
- GUTTER
- ROOF SLOPE
- INDICATES LOCATION OF FIRE RATED ROOF PENETRATIONS
- INDICATES LOCATION OF ICE & WATER SHIELD - 36" MIN LAP EACH SIDE

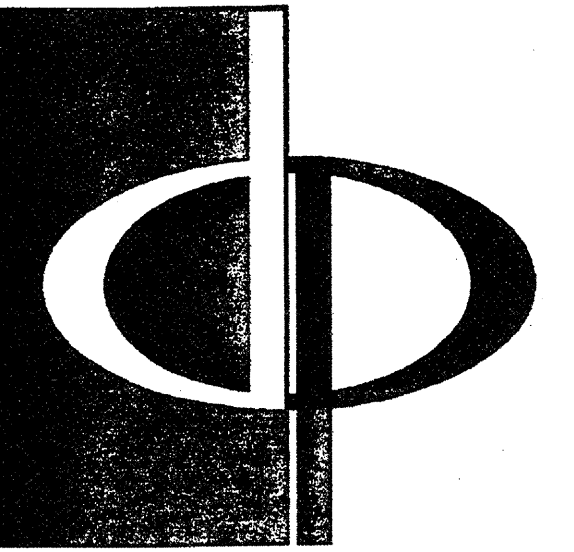
**DOWNSPOUT CALC'S**

SLOPE FACTOR (1/12 ROOF) = 1.50  
 DOWNSPOUT CAPACITY FACTOR (60 FT. ROOF/SQ. IN. D/S) = 80 SF  
 DOWNSPOUT SIZE (AREA/SQ. IN.) 3.14 \* (12")^2 = 12.56  
 MAXIMUM ROOF AREA PER DOWNSPOUT: 80 X 12.56 / 1.50 = 1172 SF/2.5"

1 BUILDING 400B - ROOF PLAN  
SCALE: 1/8"=1'-0"  
0 4' 8' 16' 32'

ATTIC VENTILATION REQUIRED (IBC 12.02.2)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
VENTILATION TYPE:	<input checked="" type="checkbox"/> PASSIVE <input type="checkbox"/> MECHANICAL
AREA REQUIRED: CEILING AREA (60 IN.) / 300	1231.60 SQ. IN. = 5528 SQ. IN.
AREA REQUIRED AT MIN. 3'-0" ABOVE CEILING	9,578 x 50% = 2,764 SQ. IN.
AREA REQUIRED AT SOFFIT	2,764 SQ. IN.
OWENS CORNING VENT SURE RIDGE VENT	149 LINEAR FEET @ 15' / FOOT = 2,235 SQ. IN.
OWENS CORNING VENT SURE HP VENT	4 VENTS @ 14" / VENT = 576 SQ. IN.
TOTAL AREA PROVIDED @ MIN. 3'-0" ABOVE CLNG.	1281 SQ. IN. = 2,764 SQ. IN.
TOTAL AREA PROVIDED AT SOFFIT:	246 L. FT. @ 11.25 SQ. IN. / L. FT. = 2,768 SQ. IN.
TOTAL AREA PROVIDED:	5579 SQ. IN. = 5528 SQ. IN.
ALL VENTS ARE OWENS CORNING: RIDGE VENT IS VENT SURE RIGID ROLL ROOF VENT IS VENT SURE HIGH PERFORMANCE SOFFIT VENT IS MODEL W289JW36 OR 50V1	





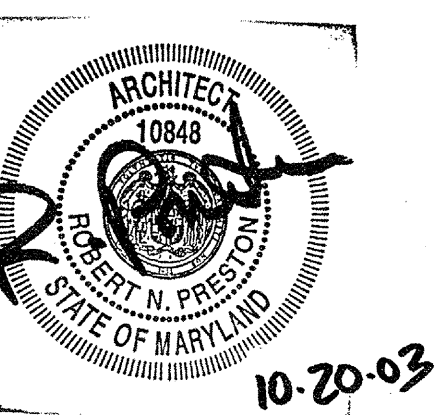
THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
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CONSULTANT

SEAL



PROJECT

ARCHSTONE  
KENTLANDS

549 QUINCE ORCHARD ROAD  
GAITHERSBURG, MARYLAND

FOR

ARCHSTONE  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS

RELEASED FOR CONSTRUCTION 01/18/03

DATE 01/31/03

JOB NUMBER 0211108

DRAWN BY JUN

CHECKED BY STM

DRAWING TITLE BUILDING 400C ROOF PLAN

DRAWING NUMBER A-2.6

COMMENTS

GENERAL ROOF NOTES

- A. ROOF PENETRATIONS TO OCCUR ON REAR OR NON STREET FRONT ELEVATION SIDE OF PITCHED ROOF. ALL PENETRATIONS TO BE PAINTED TO MATCH ROOF.
- B. VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH STRUCTURAL, MECHANICAL, AND PLUMBING DRAWINGS TO MATCH ROOF.
- C. PROVIDE VALLEY FLASHING WHERE ROOF PITCHES CHANGE AND WHERE ROOF INTERSECTS VERTICAL SURFACES.
- D. MECHANICAL SUB-CONTRACTOR TO COORDINATE INSTALLATION AND ACCEPTANCE OF PREFABRICATED CURBS AND PENETRATIONS WITH ROOF MEMBRANE SUB-CONTRACTOR. G.C. TO PROVIDE ALL NECESSARY BLOCKING, NAILERS, ETC. AS NECESSARY FOR A WATER-TIGHT AND WATERPROOF ROOF.
- E. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY, COORDINATE AND/OR INSTALL ALL ADJACENT AND/OR RELATED FLASHINGS, BLOCKINGS, NAILERS, INSULATION STOPS AND CRICKETS NECESSARY FOR THE COMPLETE INSTALLATION OF THE ROOF MEMBRANE WHICH ARE REQUIRED FOR A COMPLETE, WARRANTED, WATER-TIGHT, WATERPROOF INSTALLATION.
- F. ALL ROOF SLOPES ARE TO HAVE A MINIMUM 1/4" FALL WHERE CRICKET VALLEYS OCCUR. CRICKETS ARE TO BE PROVIDED WITH SUFFICIENT DEPTH AND SLOPE TO ACCOMMODATE A MINIMUM 1/4" PER FOOT FALL AT THE VALLEY.
- G. LOCATIONS OF ROOF ACCESSORIES AND MATERIAL ARE SCHEMATIC IN NATURE. EXACT LOCATIONS SHALL BE DETERMINED BY INFORMATION ELABORATED ON THE DRAWINGS.
- H. ROOF DECKING TO BE BONDED TO ROOF TRUSSES WITH EXTERIOR GLUE.
- I. ROOFING CONTRACTOR TO PROVIDE ATTIC SPACE VENTILATION WITH RIDGE VENTS, OFF RIDGE VENTS AND CONTINUOUS VENT IN SOFFIT IN ACCORDANCE WITH 2000 IBC.
- J. PROVIDE GABLE END TRUSSES AT ALL GABLE END CONDITIONS AND AT ALL VERTICAL DRAFTSTOP LOCATIONS PARALLEL TO PARTY WALLS.
- K. ALL CHIMNEYS SHALL HAVE FLASHING AND COUNTERFLASHING 8" MIN. ABOVE SHEATHING. PROVIDE CRICKET AS SHOWN.
- L. FLASH ALL ROOF/WALL INTERSECTIONS AND VALLEYS WITH FLASHING.
- M. ALL SIDING SHALL HAVE GUTTERS AND DOWNSPOUTS REFER TO CIVIL DRAWINGS FOR DISCHARGE INTO STORM SEWER WITH PIPE UNDERGROUND.
- N. PROVIDE SCREENING AT ALL ROOF OPENINGS INTO THE ATTIC SPACE. OPENINGS IN SCREEN SHALL NOT EXCEED 1/4".
- O. DOWNSPOUTS ARE TO BE 4" ROUND, PAINTED TO MATCH ADJOINING MATERIAL, PIPE WITH BELL FITTING.
- P. SHINGLES TO BE 25 YEAR DIMENSIONAL.
- Q. OVERHANG AREAS TO BE DRAFTSTOPPED AT INTERVALS NOT EXCEEDING 1000 IBC.

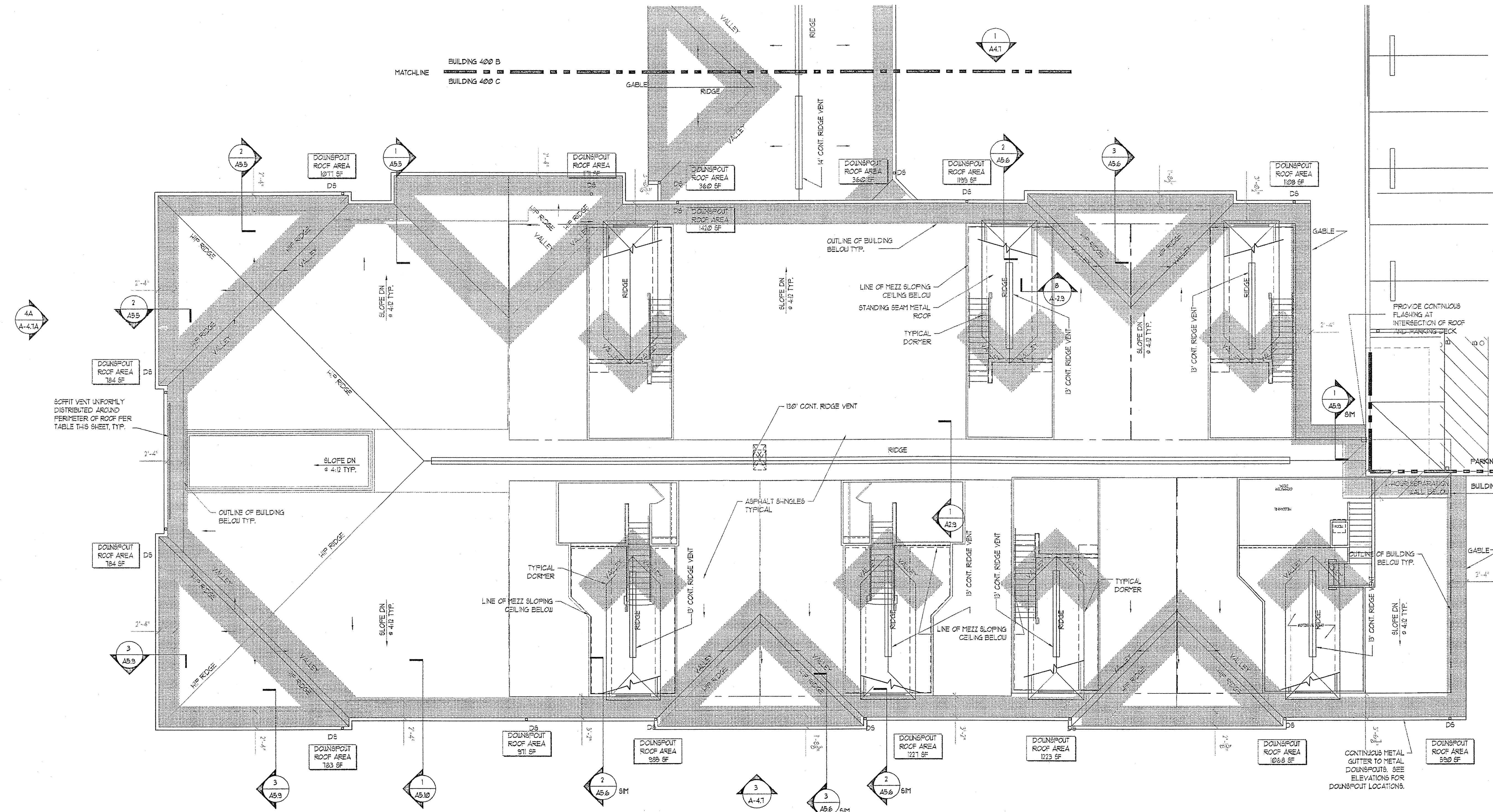
LEGEND

- ATTIC DRAFTSTOPPING
- RV RIDGE VENT
- DS GUTTER DOWNSPOUT
- OH OVERHANG
- CL CENTERLINE
- GUTTER
- ROOF SLOPE
- INDICATES LOCATION OF FIRE RATED FLYWOOD OVER FIRE SEPARATION WALL
- INDICATES LOCATION OF ICE & WATER SHIELD - 36" MIN. LAP EACH SIDE

DOWNSPOUT CALC'S

SLOPE FACTOR (6/12 ROOF) = 1.0  
DOWNSPOUT CAPACITY FACTOR (50 FT. ROOFED IN. DS) = 150 SF.  
DOWNSPOUT SIZE (AREA/SQ. IN.) 3/4" x 100" = 125  
HATCHED ROOF AREA PER DOWNSPOUT 150 X 125 = 18,750 SF

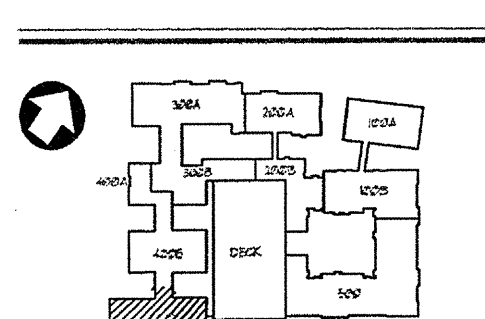
NOTE: HATCHED AREA INDICATES EXTENT OF FIRE RATED ROOF SHEATHING 4'-0" TO EACH SIDE WALL. NO ROOF PENETRATIONS. TYP. ALTERNATE: (1) LAYER OF 5/8" TYPE 'X' GUS. ON TOP OF ROOF TRUSSES W/ 1/4" OSB ON TOP.

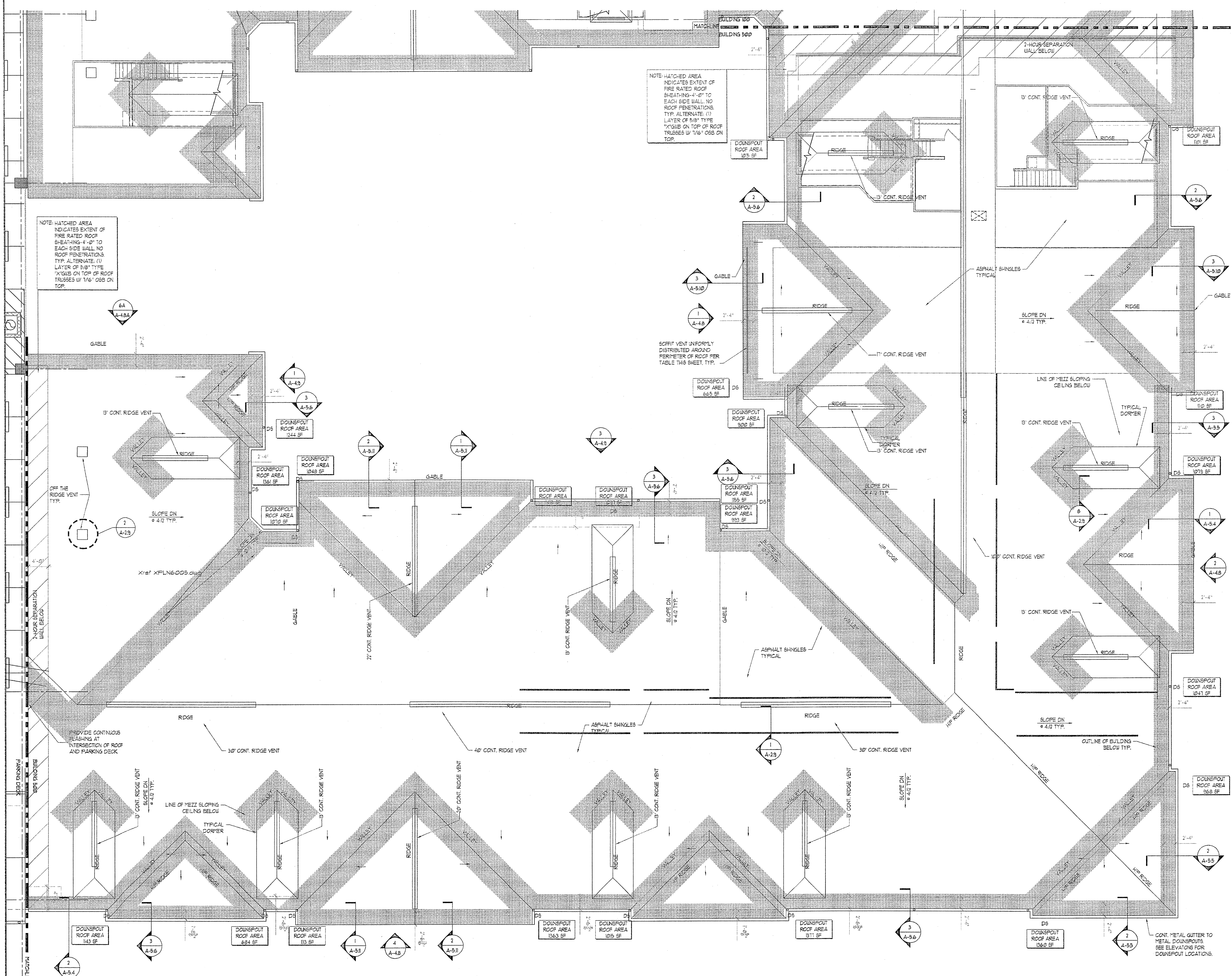


BUILDING 400C - ROOF PLAN  
SCALE: 1/8" = 1'-0"  
A-2.6

ATTIC VENTILATION REQUIRED (IBC 2.2.2.2)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
VENTILATION TYPE:	<input checked="" type="checkbox"/> PASSIVE <input type="checkbox"/> MECHANICAL
AREA REQUIRED, CEILING AREA (SQ. IN.) / 300	192,288 SQ. IN. + 6,642 SQ. IN.
AREA REQUIRED AT MIN. 3'-0" ABOVE CEILING	6,642 x 50% = 3,321 SQ. IN.
AREA REQUIRED AT SOFFIT	3,321 SQ. IN.
OWENS CORNING VENT SURE RIDGE VENT	222 LINEAR FEET @ 15" / FOOT = 3,330 SQ. IN.
OWENS CORNING VENT SURE HP VENT	N / A
TOTAL AREA PROVIDED @ MIN. 3'-0" ABOVE CLNG.	3330 SQ. IN. > 3321 SQ. IN.
TOTAL AREA PROVIDED AT SOFFIT.	296 L. FT. @ 1125 SQ. IN. / L. FT. = 3,330 SQ. IN.
TOTAL AREA PROVIDED:	6,660 SQ. IN. > 6,642 SQ. IN.
ALL VENTS ARE OWENS CORNING RIDGE VENT IS VENT SURE RIGID ROLL ROOF VENT IS VENTURE HIGH PERFORMANCE SOFFIT VENT IS MODEL UWS11256 OR J107	

KEY PLAN

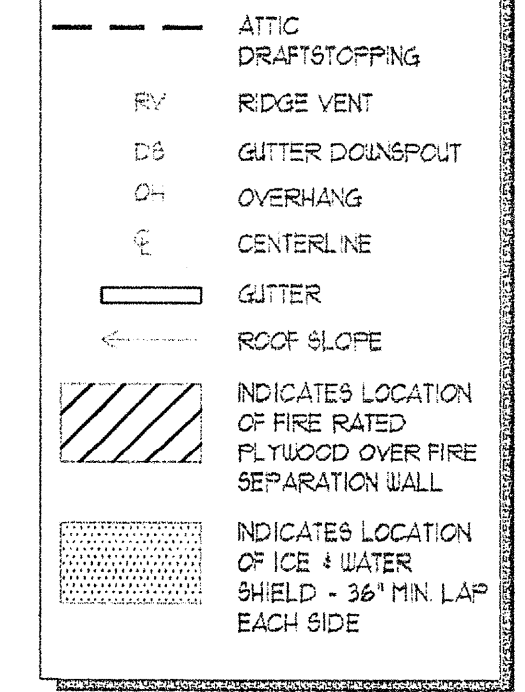




**GENERAL ROOF NOTES**

- A. ROOF PENETRATIONS TO OCCUR ON REAR OR NON STREET FRONT ELEVATION SIDE OF PITCHED ROOF. ALL PENETRATIONS TO BE PAINTED TO MATCH ROOF.
- B. VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH STRUCTURAL, MECHANICAL, AND PLUMBING DRAWINGS PAINT TO MATCH ROOF.
- C. PROVIDE VALLEY FLASHING WHERE ROOF PITCHES CHANGE AND WHERE ROOF INTERSECTS VERTICAL SURFACES.
- D. MECHANICAL SUB-CONTRACTOR TO COORDINATE INSTALLATION AND ACCEPTANCE OF PREFABRICATED CURBS AND PENETRATIONS WITH ROOF MEMBRANE SUB-CONTRACTOR. G.G. TO PROVIDE ALL NECESSARY BLOCKING, NAILERS, ETC. AS NECESSARY FOR A WATER-TIGHT AND WATERPROOF ROOF.
- E. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY COORDINATE AND/OR INSTALL ALL ADJACENT AND/OR RELATED FLASHINGS, BLOCKINGS, NAILERS, INSULATION STOPS AND CRICKETS NECESSARY FOR THE COMPLETE INSTALLATION OF THE ROOF MEMBRANE WHICH ARE REQUIRED FOR A COMPLETE, WARRANTED, WATER-TIGHT, WATERPROOF INSTALLATION.
- F. ALL ROOF SLOPES ARE TO HAVE A MINIMUM 1/4" FALL WHERE CRICKET VALLEYS OCCUR. CRICKETS ARE TO BE PROVIDED WITH SUFFICIENT DEPTH AND SLOPE TO ACCOMMODATE A MINIMUM 1/4" PER FOOT FALL AT THE VALLEY.
- G. LOCATIONS OF ROOF ACCESSORIES AND MATERIAL ARE SCHEMATIC IN NATURE. EXACT LOCATIONS SHALL BE DETERMINED BY INFORMATION ELSEWHERE ON THE DRAWINGS.
- H. ROOF DECKING TO BE BONDED TO ROOF TRUSS WITH EXTERIOR GLUE.
- I. ROOFING CONTRACTOR TO PROVIDE ATTIC SPACE VENTILATION WITH RIDGE VENTS, OFF RIDGE VENTS, AND CONTINUOUS VENT IN SOFFIT IN ACCORDANCE WITH 2009 IRC.
- J. PROVIDE GABLE END TRUSSES AT ALL GABLE END CONDITIONS AND AT ALL VERTICAL DRAFTSTOP LOCATIONS PARALLEL TO PARTY WALLS.
- K. ALL CHIMNEYS SHALL HAVE FLASHING AND COUNTERFLASHING 8" MIN ABOVE SHEATHING PROVIDE CRICKET AS SHOWN.
- L. FLASH ALL ROOF WALL INTERSECTIONS AND VALLEYS WITH FLASHING.
- M. ALL BLDGS. SHALL HAVE GUTTERS AND DOWNSPOUTS. REFER TO CIVIL DRAWINGS FOR DISCHARGE INTO STORM SEWER WITH FIVE UNDERGROUND.
- N. PROVIDE SCREENING AT ALL ROOF OPENINGS INTO THE ATTIC. SPACE OPENINGS IN SCREEN SHALL NOT EXCEED 1/4".
- O. DOWNSPOUTS ARE TO BE 4" ROUND, PAINTED TO MATCH ADJOINING MATERIAL, FIRE WITH BELL FITTINGS.
- P. SHINGLES TO BE 35 YEAR DIMENSIONAL.
- Q. OVERHANG AREAS TO BE DRAFTSTOPPED AT INTERVALS NOT EXCEEDING 3000 IBC.

**LEGEND**



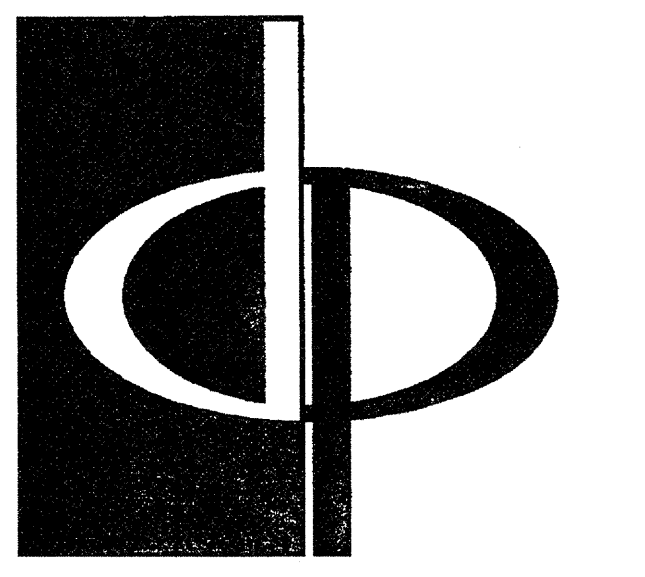
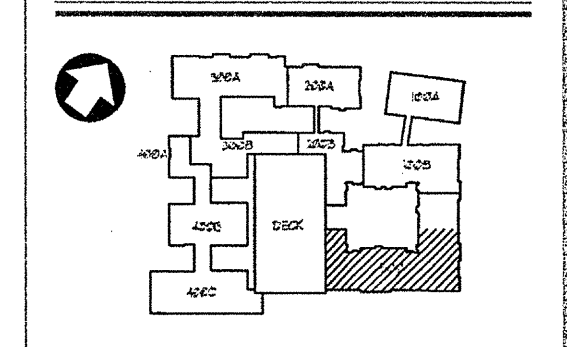
**DOWNSPOUT CALC'S**

SLOPE FACTOR (6/12 ROOF) = 1.0  
 DOWNSPOUT CAPACITY FACTOR (50 FT. ROOF SQ. IN. DS) = 150 SF.  
 DOWNSPOUT SIZE (AREA/50 IN.)  
 3/4" (127) = 0.36  
 MAXIMUM ROOF AREA PER DOWNSPOUT  
 150 X 0.36 / 1.0 = 54 SF (D.S.)

ATTIC VENTILATION REQUIRED (IBC 12.02.2)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
VENTILATION TYPE:	<input checked="" type="checkbox"/> PASSIVE <input type="checkbox"/> MECHANICAL
AREA REQUIRED: CEILING AREA (50 IN. / 300)	3,738.33 SQ. IN. (12,465 SQ. FT.)
AREA REQUIRED AT MIN 3'-0" ABOVE CEILING	12,465 x 50% = 6,233 SQ. IN.
AREA REQUIRED AT SOFFIT	6,233 SQ. IN.
OWENS CORNING VENT SURE RIDGE VENT	402 LINEAR FEET @ 15" / FOOT = 6,030 SQ. IN.
OWENS CORNING VENT SURE HP VENT	2 VENTS @ 144" / VENT = 288 SQ. IN.
TOTAL AREA PROVIDED @ MIN 3'-0" ABOVE CLING	6,338 SQ. IN. > 6,233 SQ. IN.
TOTAL AREA PROVIDED AT SOFFIT:	555 L. FT. @ 1123 SQ. IN. / L. FT. = 6,244 SQ. IN.
TOTAL AREA PROVIDED:	12,582 SQ. IN. > 12,465 SQ. IN.
ALL VENTS ARE OWENS CORNING. RIDGE VENT IS VENTURE RIGID ROLL. ROOF VENT IS VENTURE HIGH PERFORMANCE SOFFIT VENT IS MODEL 1409JWS6 OR L16T.	

**BUILDING 500 - ROOF PLAN**  
 SCALE: 1/8" = 1'-0"

**KEY PLAN**



**THE PRESTON PARTNERSHIP, LLC**  
 A MULTI-DISCIPLINARY DESIGN FIRM  
 1000 ABERNATHY ROAD NE, SUITE 600  
 ATLANTA, GEORGIA 30328  
 TELEPHONE: 770 396 7248  
 FAX: 770 396 2945  
 WWW.THEPRESTONPARTNERSHIP.COM

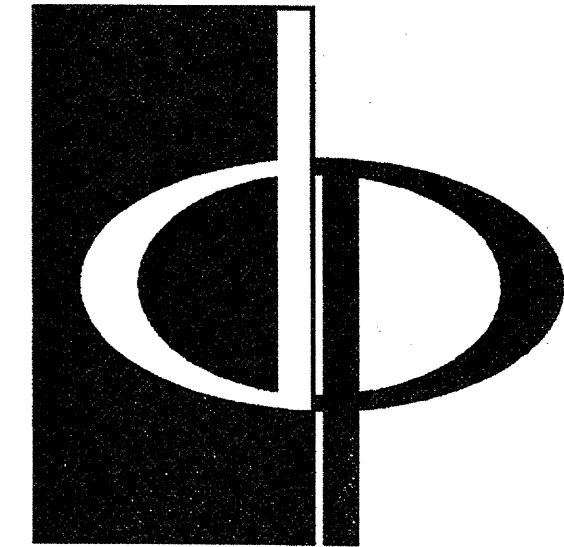


**PROJECT**  
 ARCHSTONE  
 KENTLANDS  
 545 GUNGE ORCHARD ROAD  
 GAITHERSBURG, MARYLAND

**FOR**  
 ARCHSTONE  
 COMMUNITIES  
 6631 OLD DOMINION DRIVE  
 MCLEAN, VIRGINIA 22101  
 703-583-3353

**REVISIONS**  
 RELEASED FOR CONSTRUCTION 01/18/03

**DATE** 01/31/03  
**JOB NUMBER** 0211108  
**DRAWN BY** JUM  
**CHECKED BY** JUM  
**DRAWING TITLE** BUILDING 500 ROOF PLAN  
**DRAWING NUMBER** A-2.7  
**COMMENTS**



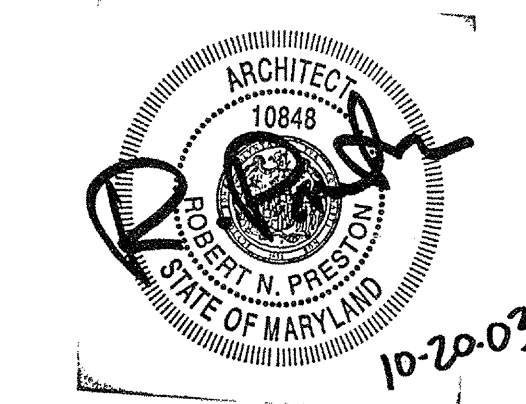
**THE PRESTON PARTNERSHIP, LLC**  
A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
FAX: 770 396 2945

WWW.THEPRESTONPARTNERSHIP.COM

CONSULTANT

SEAL



PROJECT  
**ARCHSTONE KENTLANDS**  
348 QUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

FOR

**ARCHSTONE COMMUNITIES**  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS

RELEASED FOR CONSTRUCTION 07/18/03

DATE 01/31/03

JOB NUMBER 0211108

DRAWN BY JUM

CHECKED BY SJM

DRAWING TITLE BUILDING 100B & 200B ROOF PLAN

DRAWING NUMBER A-2.8

COMMENTS

**GENERAL ROOF NOTES**

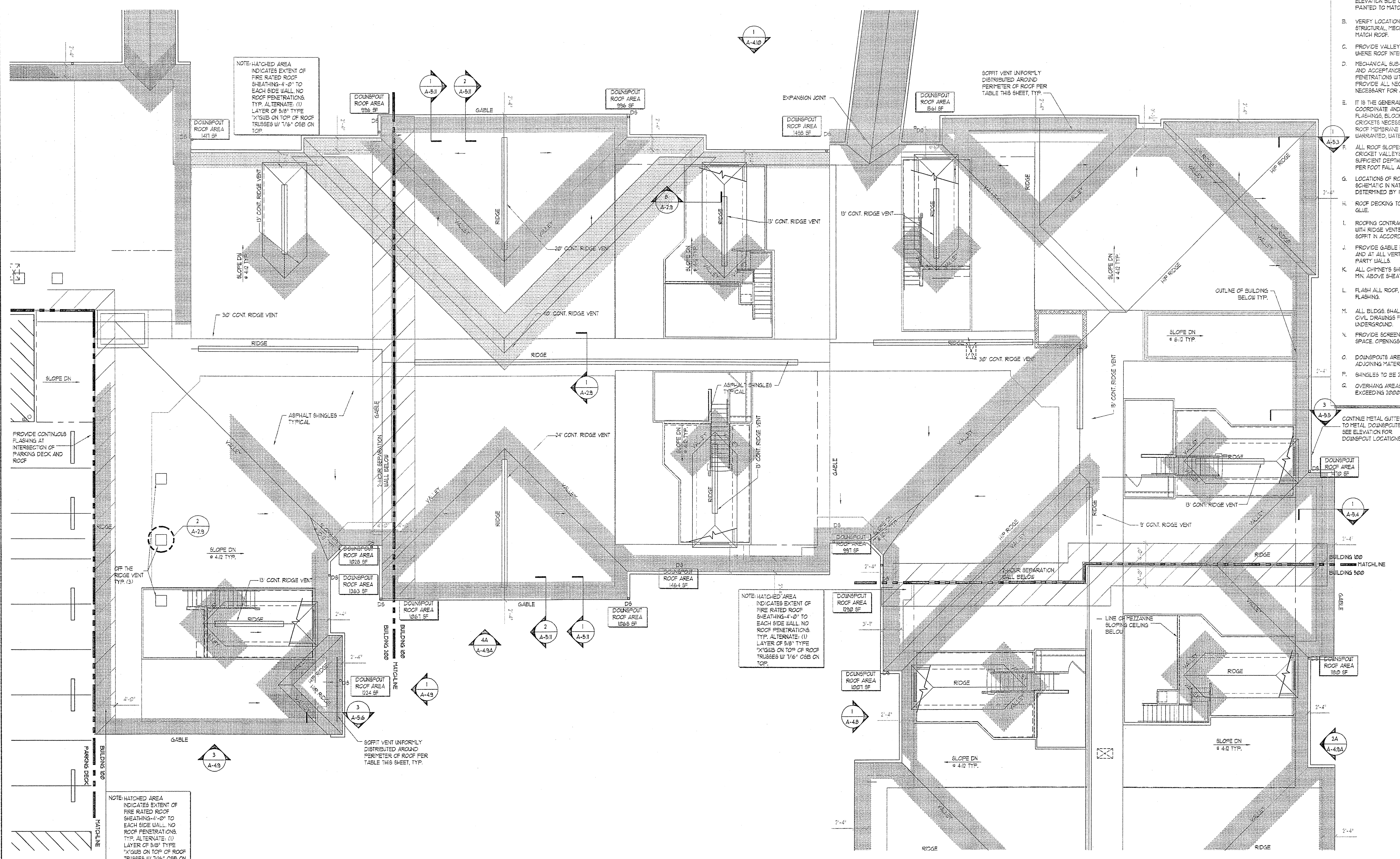
- A. ROOF PENETRATIONS TO OCCUR ON REAR OR NON STREET FRONT ELEVATION SIDE OF FINISHED ROOF. ALL PENETRATIONS TO BE PAINTED TO MATCH ROOF.
- B. VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH STRUCTURAL, MECHANICAL, AND PLUMBING DRAWINGS. PAINT TO MATCH ROOF.
- C. PROVIDE VALLEY FLASHING WHERE ROOF FITCHES CHANGE AND WHERE ROOF INTERSECTS VERTICAL SURFACES.
- D. MECHANICAL SUB-CONTRACTOR TO COORDINATE INSTALLATION AND ACCEPTANCE OF PREFABRICATED CURBS AND PENETRATIONS WITH ROOF MEMBRANE SUB-CONTRACTOR. G.C. TO PROVIDE ALL NECESSARY BLOCKING, NAILERS, ETC. AS NECESSARY FOR A WATER-TIGHT AND WATER-PROOF ROOF.
- E. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY, COORDINATE AND/OR INSTALL ALL ADJACENT AND/OR RELATED FLASHINGS, BLOCKING, NAILERS, INSULATION, STOPS AND CRICKETS NECESSARY FOR THE COMPLETE INSTALLATION OF THE ROOF MEMBRANE WHICH ARE REQUIRED FOR A COMPLETE, GUARANTEED WATER-TIGHT WATER-PROOF INSTALLATION.
- F. ALL ROOF SLOPES ARE TO HAVE A MINIMUM 1/4" FALL WHERE CRICKET VALLEYS OCCUR. CRICKETS ARE TO BE PROVIDED WITH SUFFICIENT DEPTH AND SLOPE TO ACCOMMODATE A MINIMUM 1/4" PER FOOT FALL AT THE VALLEY.
- G. LOCATIONS OF ROOF ACCESSORIES AND MATERIAL ARE SCHEMATIC IN NATURE. EXACT LOCATIONS SHALL BE DETERMINED BY INFORMATION ELSEWHERE ON THE DRAWINGS.
- H. ROOF DECKING TO BE BONDED TO ROOF TRUSS WITH EXTERIOR GLUE.
- I. ROOFING CONTRACTOR TO PROVIDE ATTIC SPACE VENTILATION WITH RIDGE VENTS, OFF RIDGE VENTS, AND CONTINUOUS VENT IN SOFFIT IN ACCORDANCE WITH 2000 IBC.
- J. PROVIDE GABLE END TRUSSES AT ALL GABLE END CONDITIONS AND AT ALL VERTICAL DRAFTSTOP LOCATIONS PARALLEL TO PLUMB WALLS.
- K. ALL CHIMNEYS SHALL HAVE FLASHING AND COUNTERFLASHING 3" MIN. ABOVE SHEATHING. PROVIDE CRICKET AS SHOWN.
- L. FLASH ALL ROOF, WALL INTERSECTIONS AND VALLEYS WITH FLASHING.
- M. ALL BLDGS. SHALL HAVE GUTTERS AND DOWNSPOUTS REFER TO CIVIL DRAWINGS FOR DISCHARGE INTO STORY BEYOND WITH PIPE UNDERGROUND.
- N. PROVIDE SCREENING AT ALL ROOF OPENINGS INTO THE ATTIC SPACE. OPENINGS IN SCREEN SHALL NOT EXCEED 1/4".
- O. DOWNSPOUTS ARE TO BE 4" ROUND, PAINTED TO MATCH ADJOINING MATERIAL. PIPE WITH BELL FITTINGS.
- P. SHINGLES TO BE 25 YEAR DIMENSIONAL.
- Q. OVERHANG AREAS TO BE DRAFTSTOPPED AT INTERVALS NOT EXCEEDING 2000 IBC.

**LEGEND**

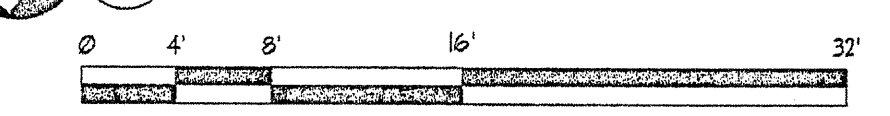
- ATTIC DRAFTSTOPPING
- RV RIDGE VENT
- DS GUTTER DOWNSPOUT
- OH OVERHANG
- CL CENTERLINE
- GUTTER
- ROOF SLOPE
- INDICATES LOCATION OF FIRE RATED FLYWOOD OVER FIRE SEPARATION WALL
- INDICATES LOCATION OF ICE & WATER SHIELD - 36" MIN. LAP EACH SIDE

**DOWNSPOUT CALC'S**

SLOPE FACTOR (6/12 ROOF) = 1.0  
DOWNSPOUT CAPACITY FACTOR (60 FT. ROOF/60 IN. DS) = 150 SF  
DOWNSPOUT SIZE (AREA/62 IN.)  
3/4" x 1/2" = 1.256  
MAXIMUM ROOF AREA PER DOWNSPOUT:  
90 x 1136 / 150 = 678 SF/DS



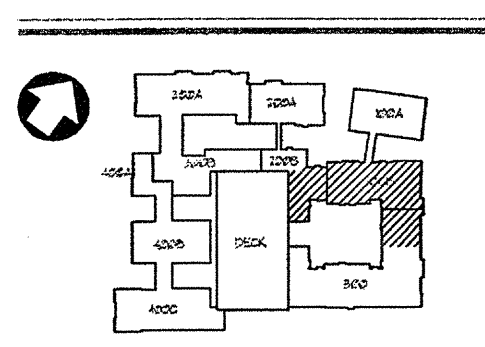
**BUILDING 100B & 200B - ROOF PLAN**  
SCALE: 1/8" = 1'-0"

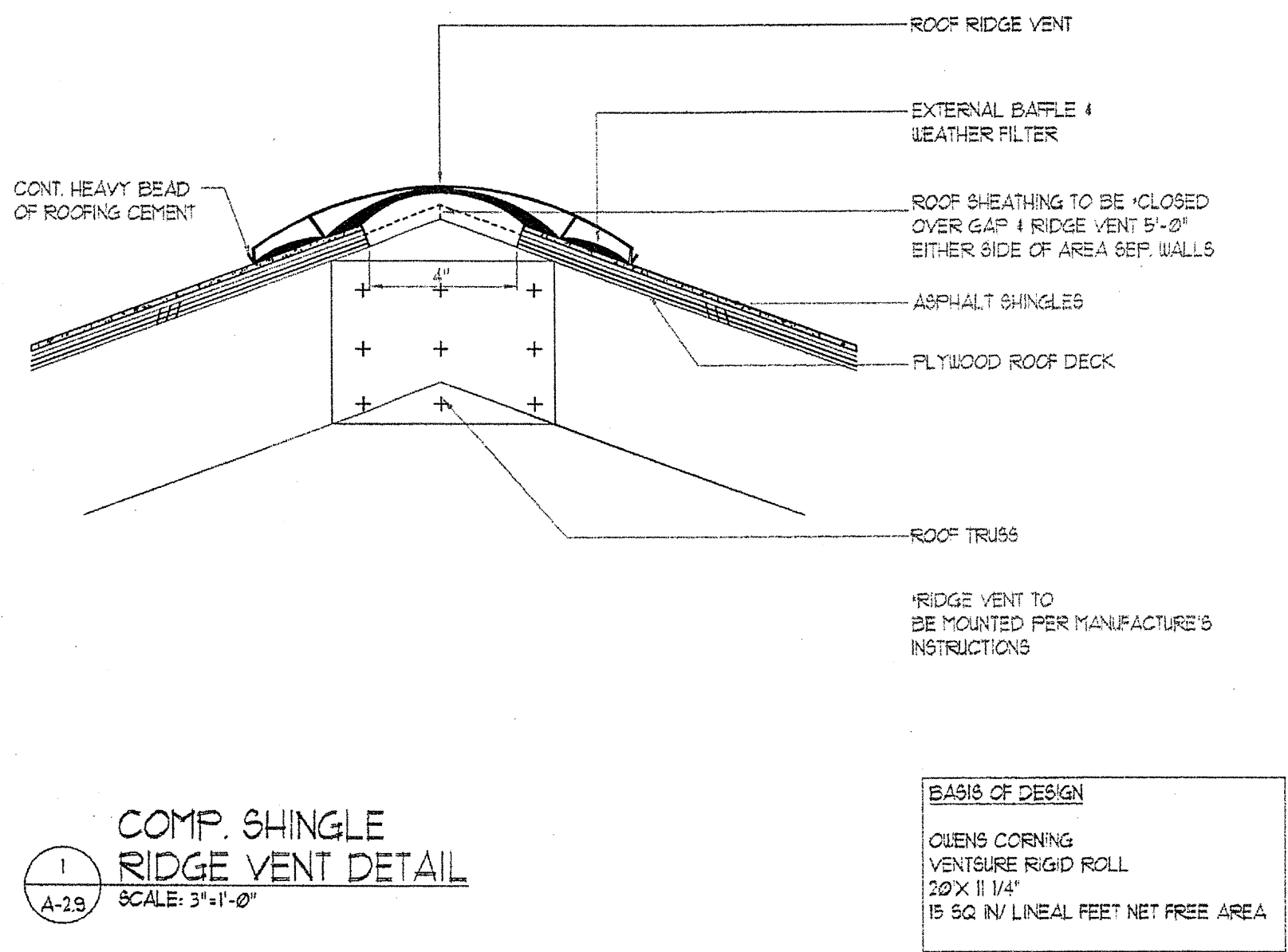


ATTIC VENTILATION REQUIRED (IBC 12.02.2)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
VENTILATION TYPE:	<input checked="" type="checkbox"/> PASSIVE <input type="checkbox"/> MECHANICAL
AREA REQUIRED: CEILING AREA (SQ. IN.) / 300	123750 SQ. IN. / 300 = 41250 SQ. IN.
AREA REQUIRED AT MIN. 3'-0" ABOVE CEILING	3,460 x 5.0% = 1730 SQ. IN.
AREA REQUIRED AT SOFFIT	1730 SQ. IN.
OWENS CORNING VENT SURE RIDGE VENT	56 LINEAR FEET @ 15" / FOOT = 840 SQ. IN.
OWENS CORNING VENT SURE HP VENT	7 VENTS @ 144" / VENT = 1008 SQ. IN.
TOTAL AREA PROVIDED @ MIN. 3'-0" ABOVE CLNG.	1848 SQ. IN. > 1730 SQ. IN.
TOTAL AREA PROVIDED AT SOFFIT:	155 L. FT. @ 1125 SQ. IN. / L. FT. = 1744 SQ. IN.
TOTAL AREA PROVIDED:	3592 SQ. IN. > 3460 SQ. IN.
ALL VENTS ARE OWENS CORNING: RIDGE VENT IS VENT SURE RIGID ROLL ROOF VENT IS VENT SURE HIGH PERFORMANCE SOFFIT VENT IS MODEL UV25UV26 OR UV27	

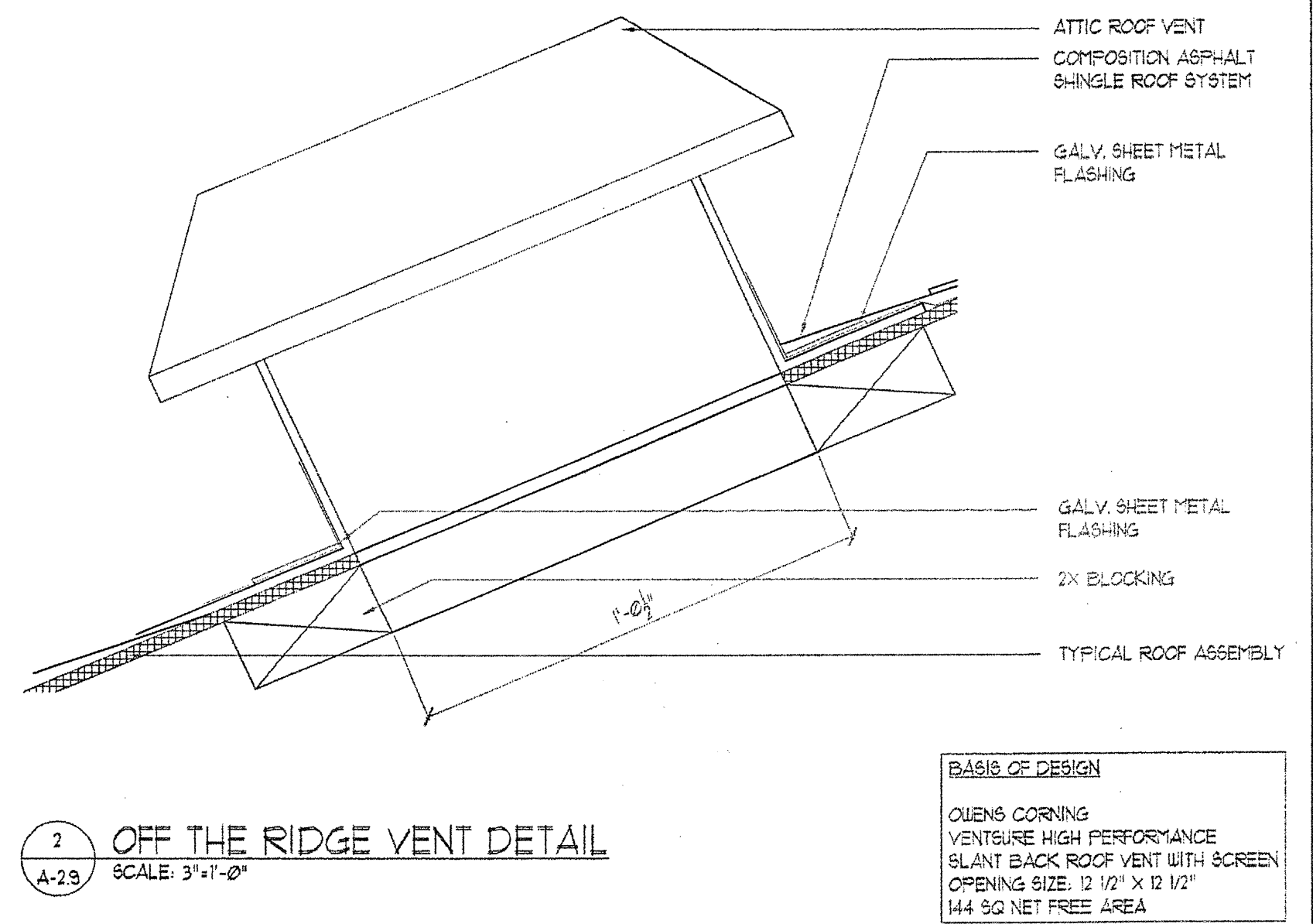
ATTIC VENTILATION REQUIRED (IBC 12.02.2)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
VENTILATION TYPE:	<input checked="" type="checkbox"/> PASSIVE <input type="checkbox"/> MECHANICAL
AREA REQUIRED: CEILING AREA (SQ. IN.) / 300	123615 SQ. IN. / 300 = 41205 SQ. IN.
AREA REQUIRED AT MIN. 3'-0" ABOVE CEILING	6,488 x 5.0% = 3244 SQ. IN.
AREA REQUIRED AT SOFFIT	3,244 SQ. IN.
OWENS CORNING VENT SURE RIDGE VENT	222 LINEAR FEET @ 15" / FOOT = 3,330 SQ. IN.
OWENS CORNING VENT SURE HP VENT	N / A
TOTAL AREA PROVIDED @ MIN. 3'-0" ABOVE CLNG.	3,330 SQ. IN. > 3244 SQ. IN.
TOTAL AREA PROVIDED AT SOFFIT:	780 L. FT. @ 1125 SQ. IN. / L. FT. = 3,263 SQ. IN.
TOTAL AREA PROVIDED:	6,593 SQ. IN. > 6,488 SQ. IN.
ALL VENTS ARE OWENS CORNING: RIDGE VENT IS VENT SURE RIGID ROLL ROOF VENT IS VENT SURE HIGH PERFORMANCE SOFFIT VENT IS MODEL UV25UV26 OR UV27	

**KEY PLAN**

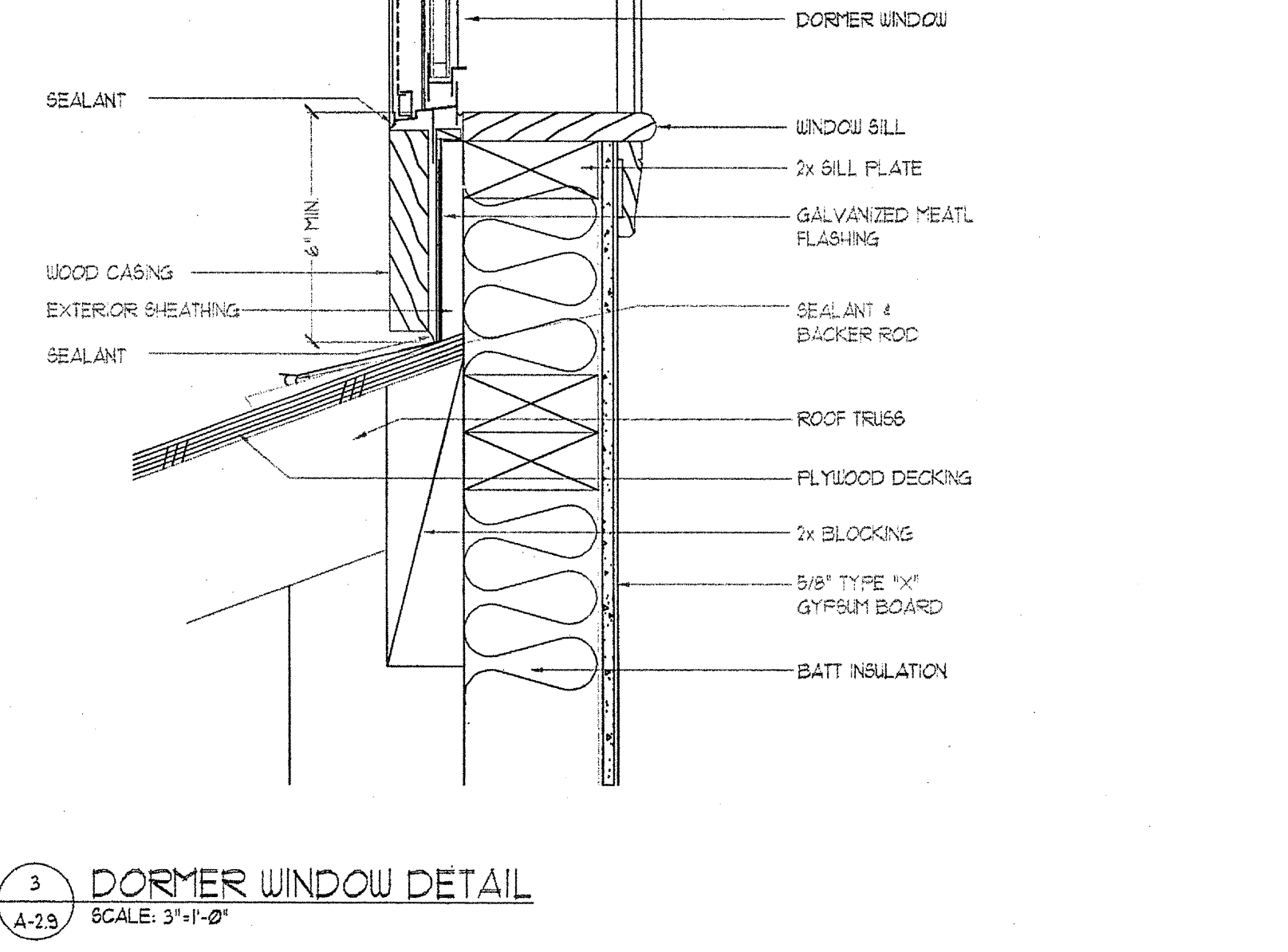




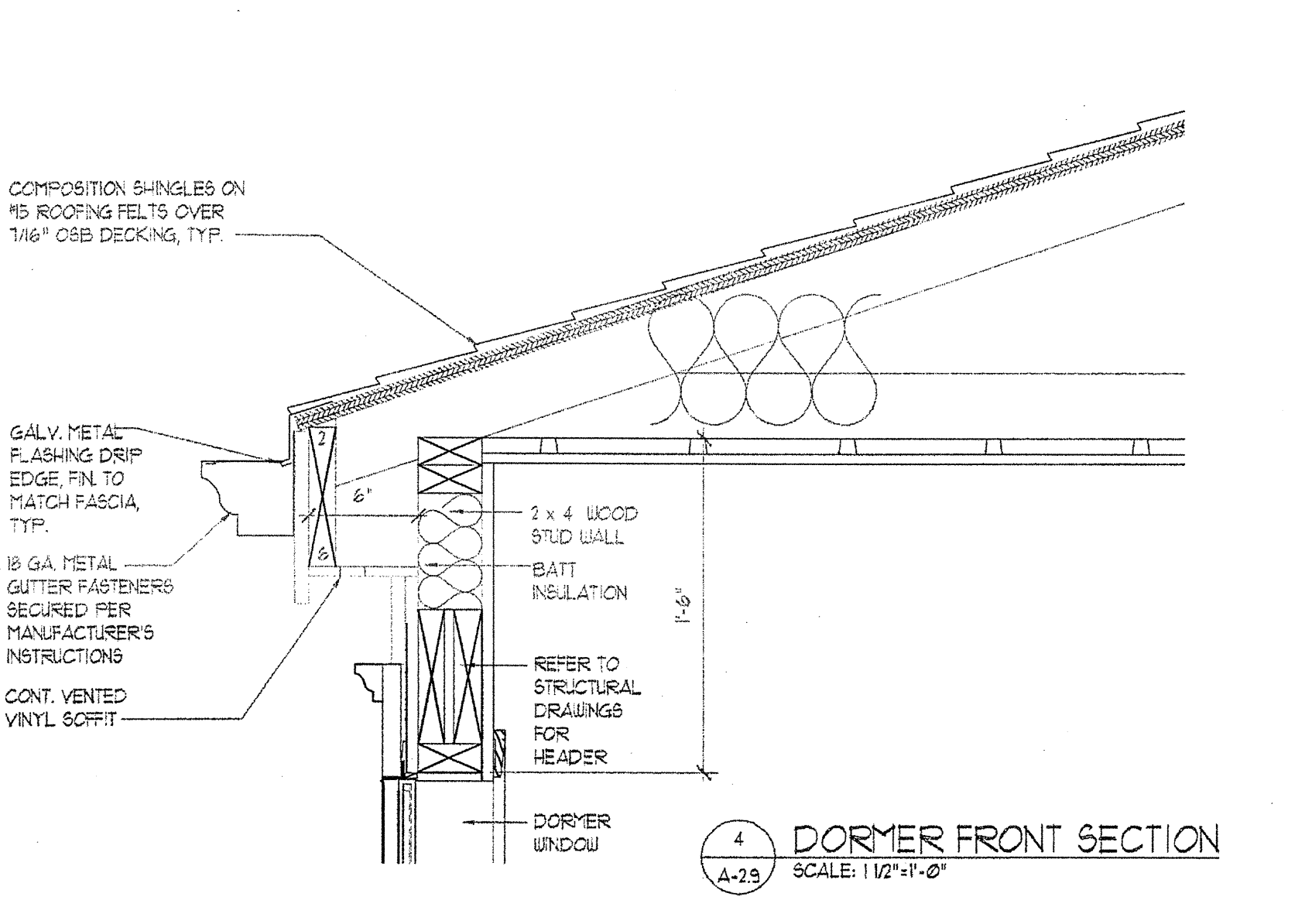
**BASIS OF DESIGN**  
 CHENS CORNING  
 VENTURE RIGID ROLL  
 20" X 11 1/4"  
 15 SQ IN LINEAL FEET NET FREE AREA



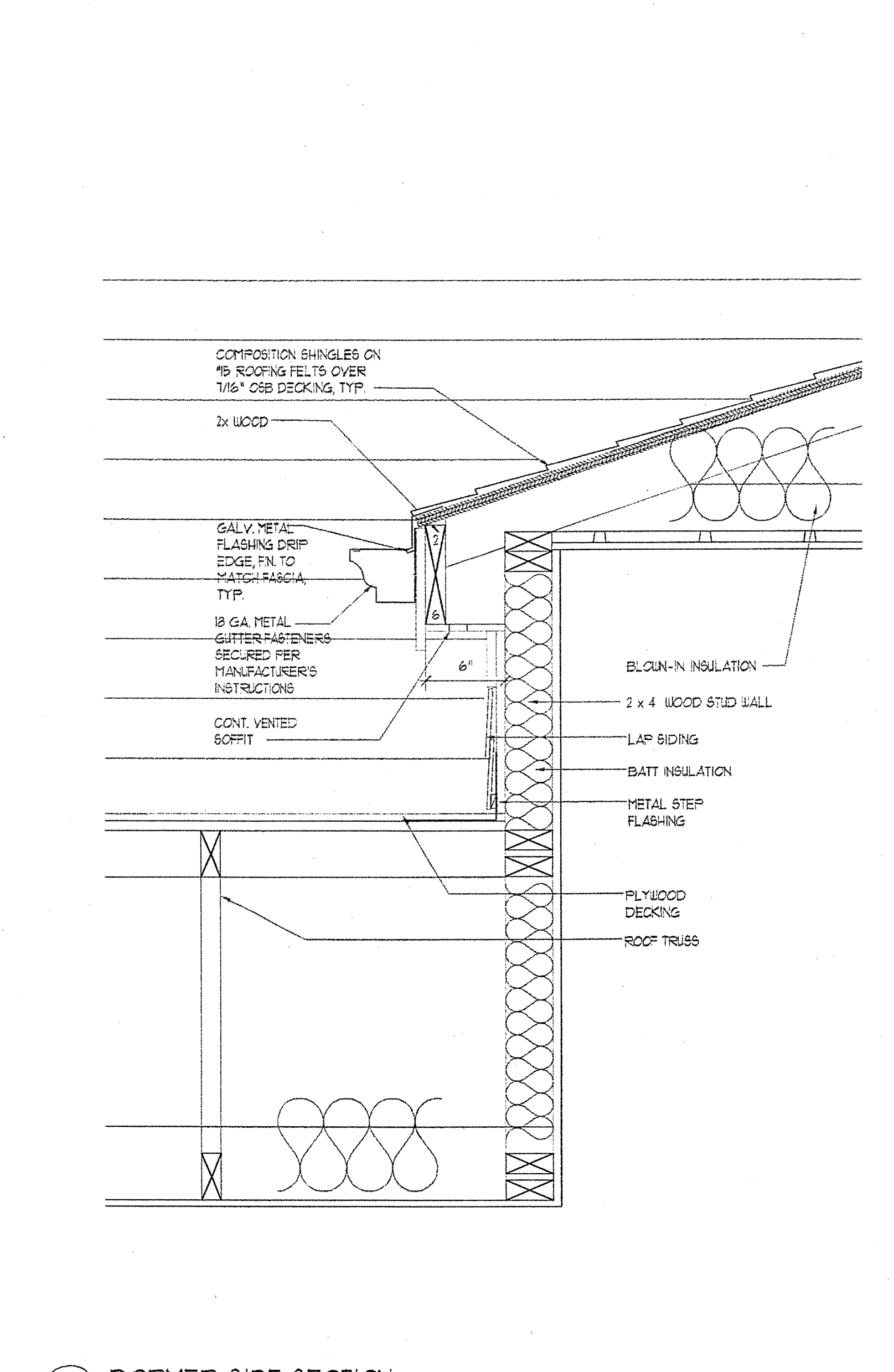
**BASIS OF DESIGN**  
 CHENS CORNING  
 VENTURE HIGH PERFORMANCE  
 SLANT BACK ROOF VENT WITH SCREEN  
 OPENING SIZE: 12 1/2" X 12 1/2"  
 144 SQ IN NET FREE AREA



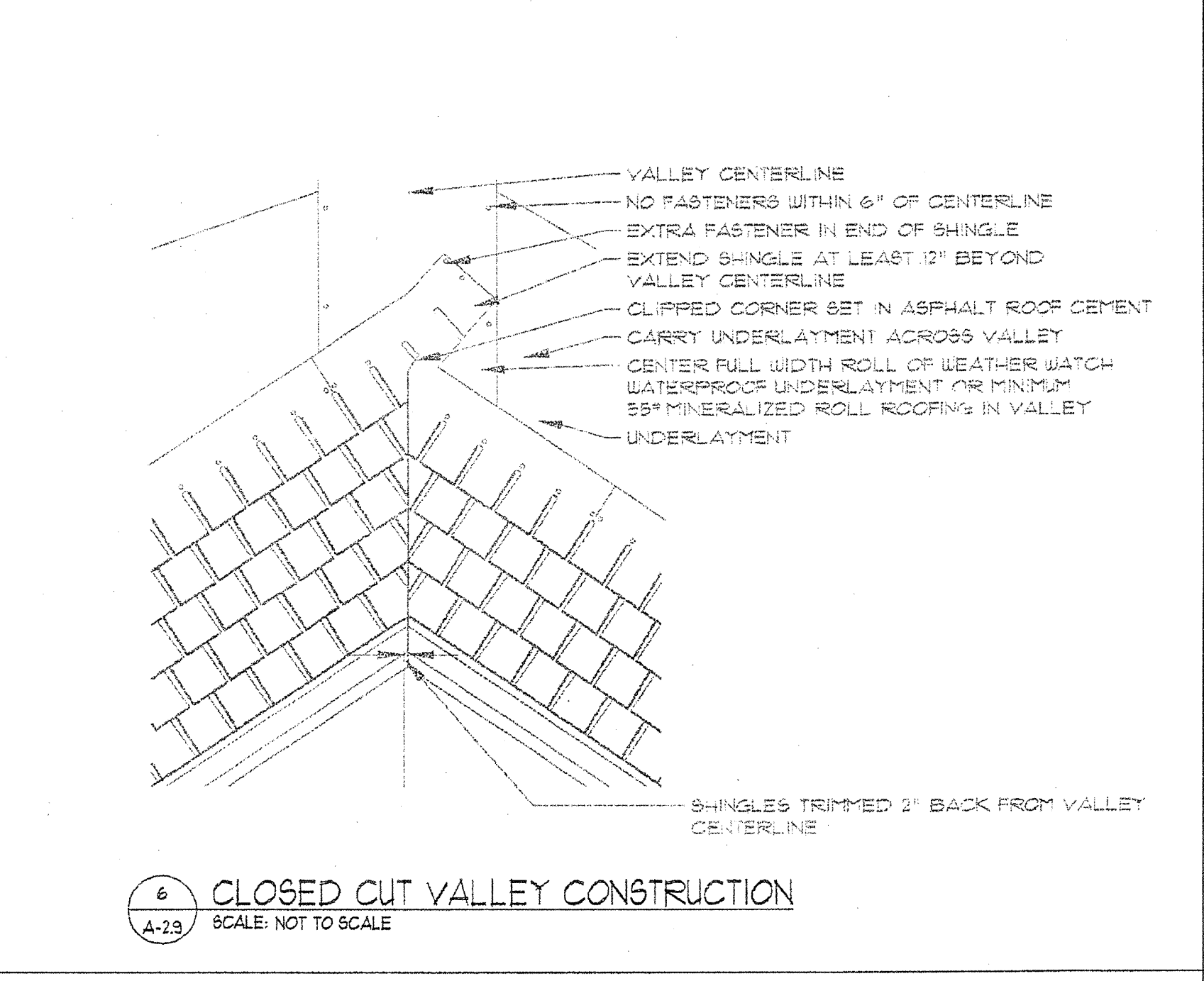
**3 DORMER WINDOW DETAIL**  
 SCALE: 3/4"=1'-0"



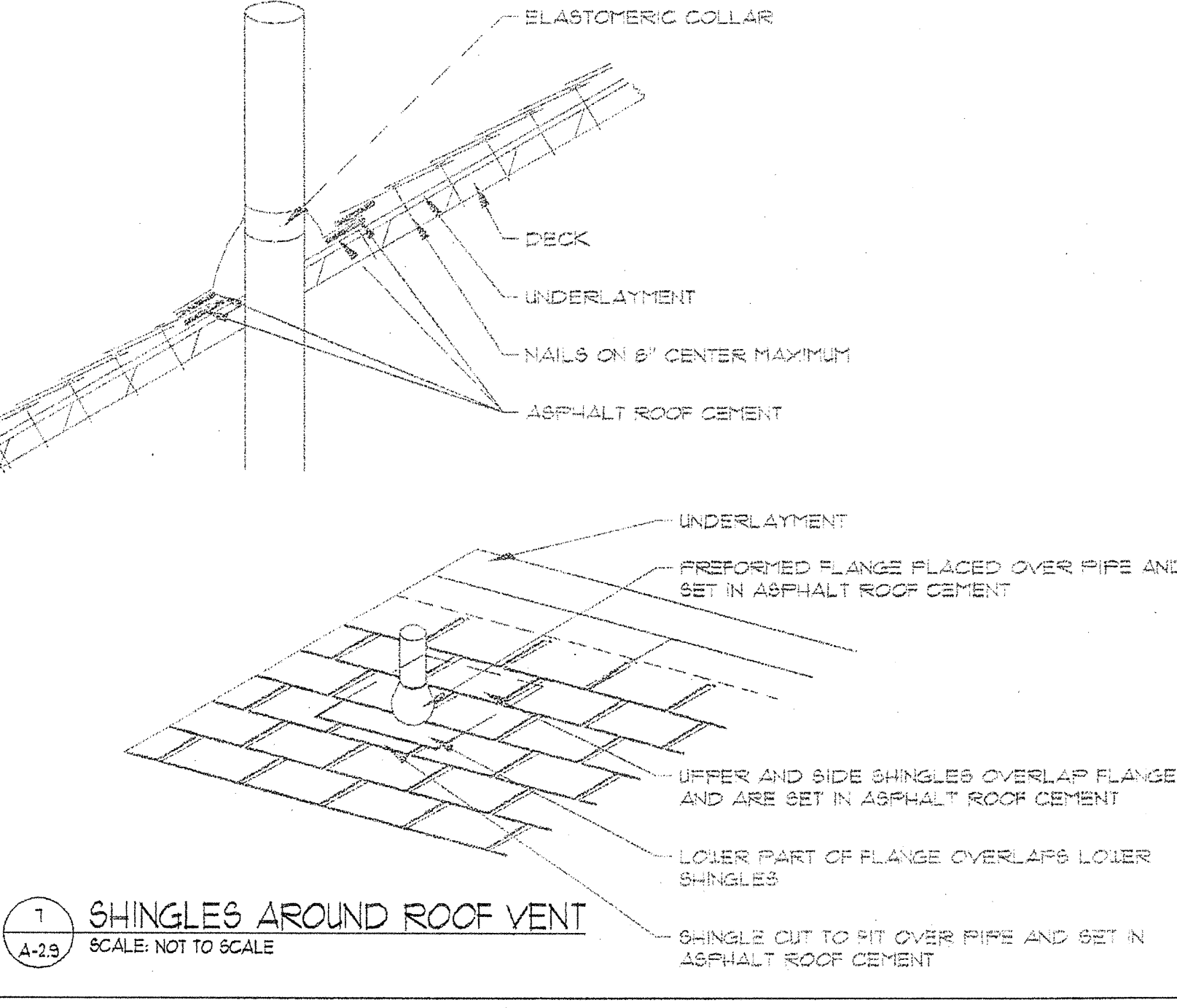
**4 DORMER FRONT SECTION**  
 SCALE: 1 1/2"=1'-0"



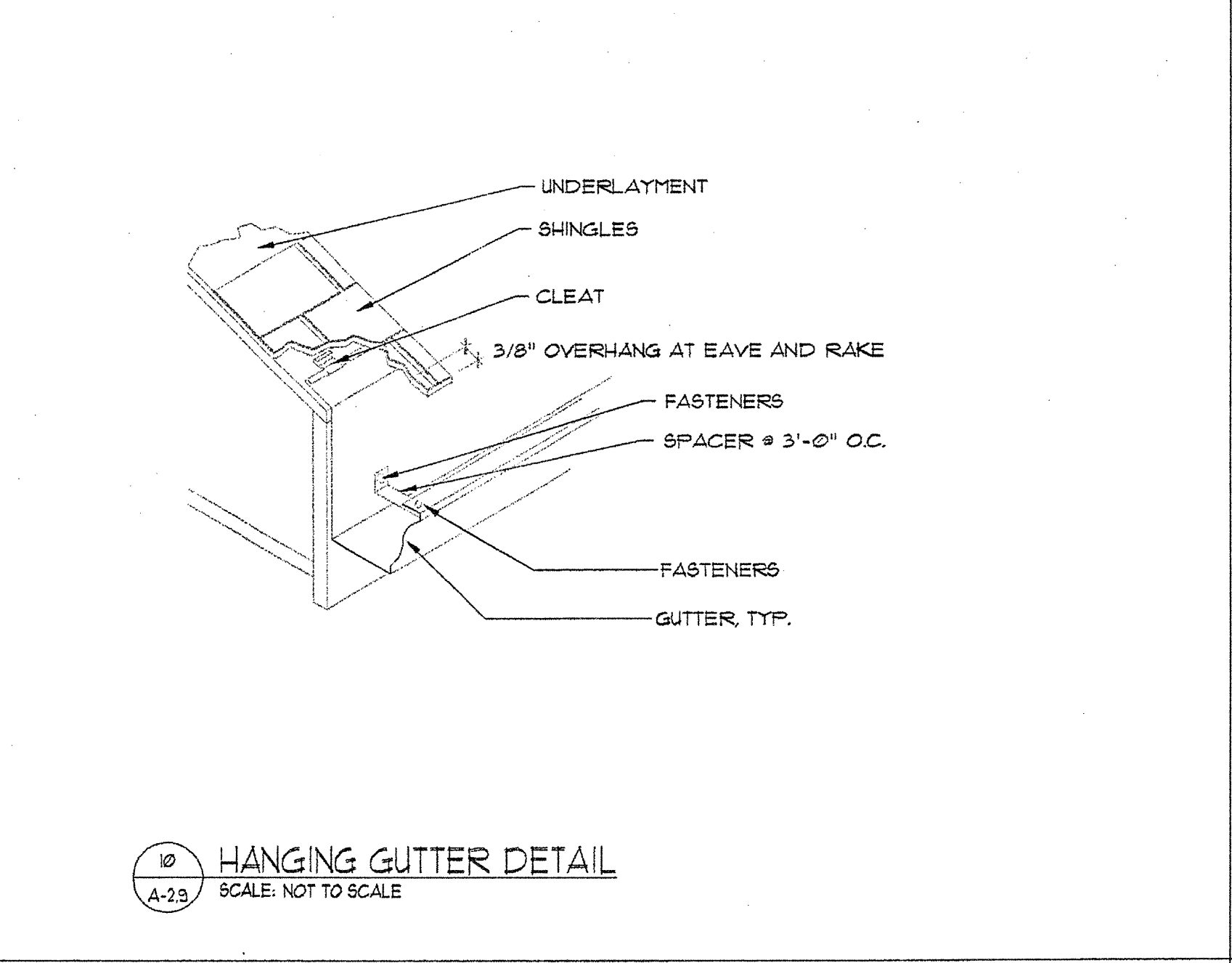
**5 DORMER SIDE SECTION**  
 SCALE: 1 1/2"=1'-0"



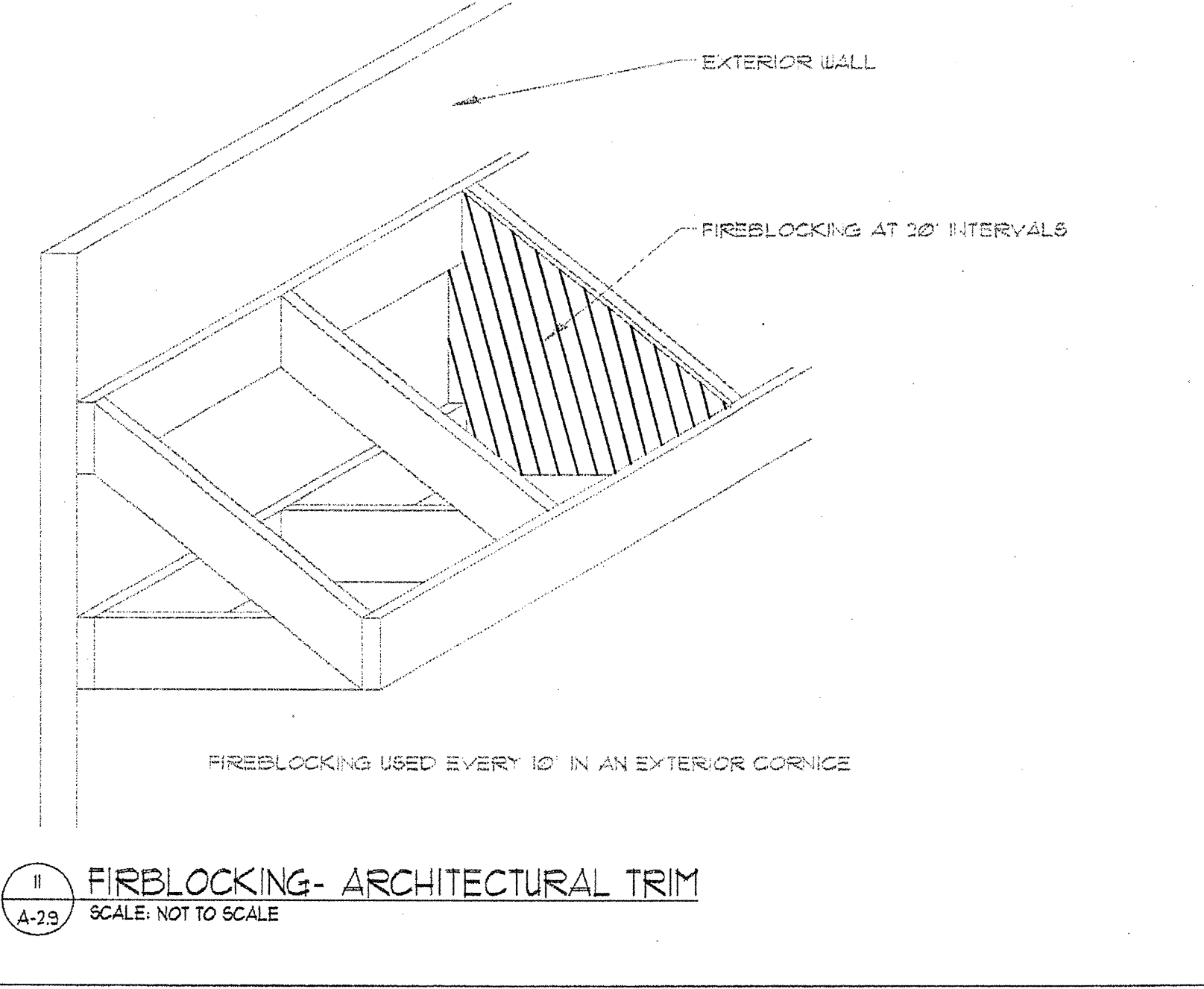
**6 CLOSED CUT VALLEY CONSTRUCTION**  
 SCALE: NOT TO SCALE



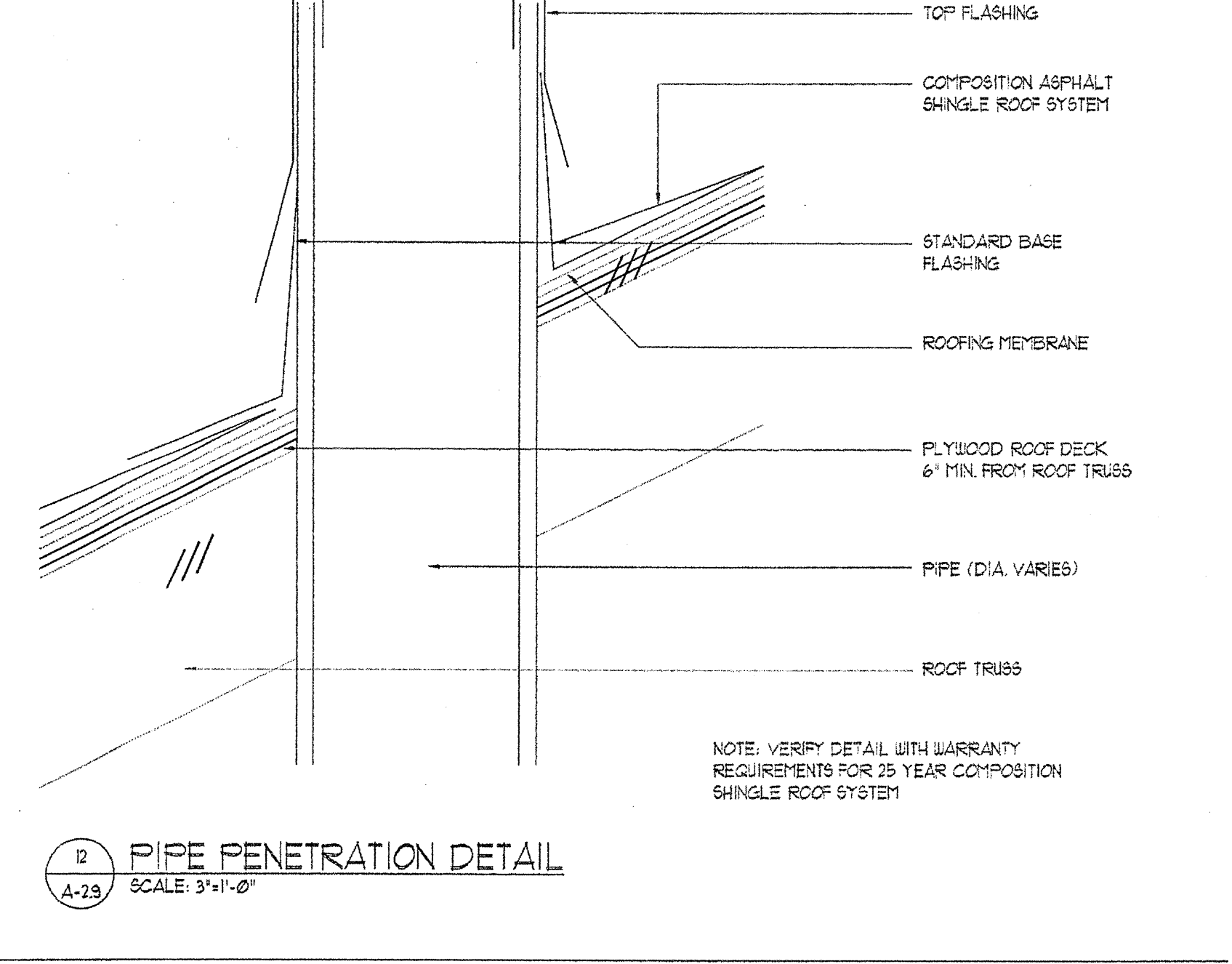
**7 SHINGLES AROUND ROOF VENT**  
 SCALE: NOT TO SCALE



**8 HANGING GUTTER DETAIL**  
 SCALE: NOT TO SCALE



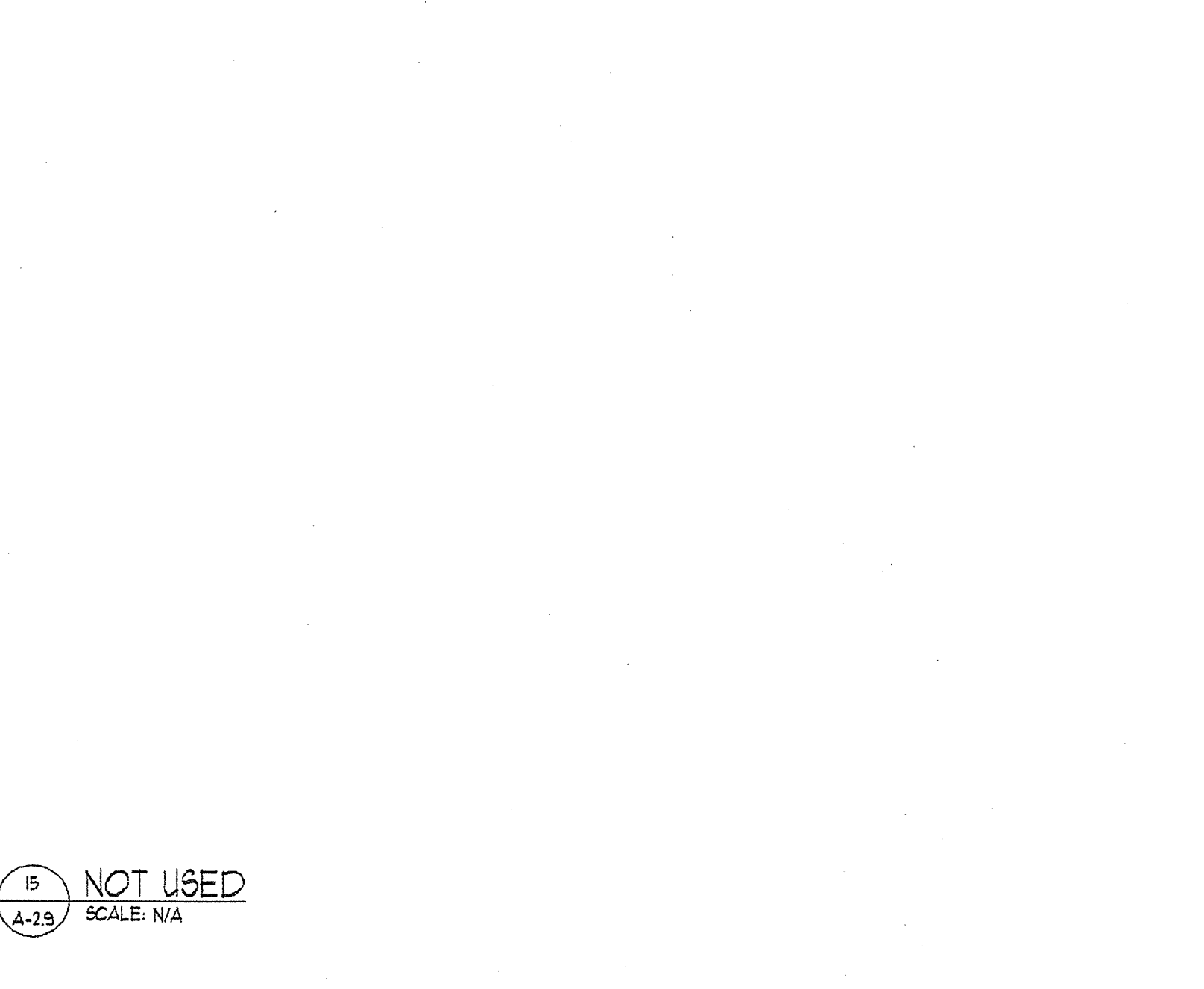
**9 FIREBLOCKING- ARCHITECTURAL TRIM**  
 SCALE: NOT TO SCALE



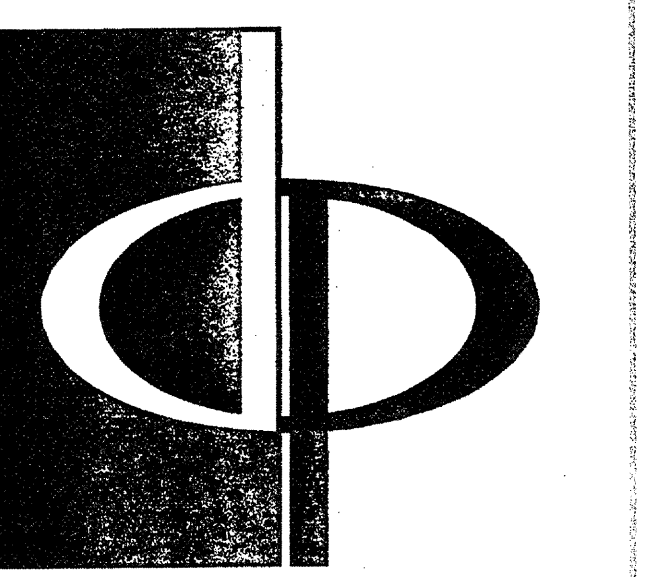
**10 PIPE PENETRATION DETAIL**  
 SCALE: 3/4"=1'-0"



**11 TYP. CRICKET DETAIL**  
 SCALE: 1/2"=1'-0"

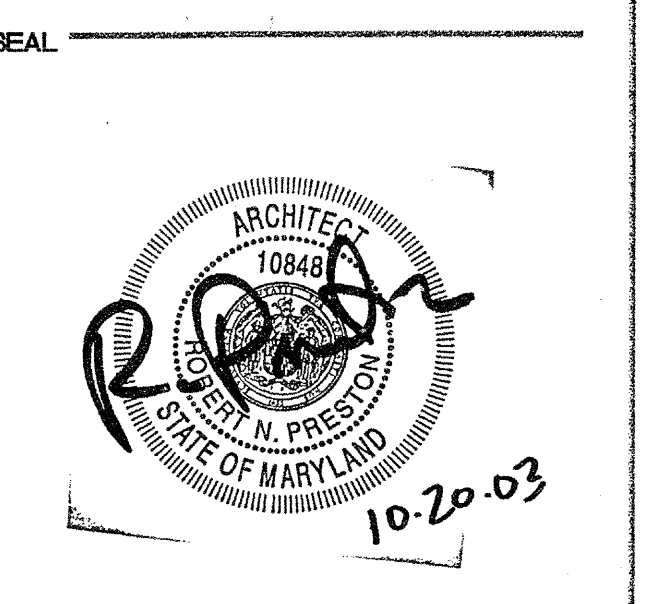


**12 SECTION DETAIL**  
 SCALE: 3/4"=1'-0"



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CONSULTANT



PROJECT  
**ARCHSTONE KENTLANDS**  
 948 QUINCE ORCHARD ROAD  
 GAITHERSBURG, MARYLAND

FOR  
**ARCHSTONE COMMUNITIES**  
 6631 OLD DOMINION DRIVE  
 MCLEAN, VIRGINIA 22101  
 703-853-3353

REVISIONS  
 RELEASED FOR CONSTRUCTION 07/18/03

DATE: \_\_\_\_\_  
 JOB NUMBER: 02/11/03  
 DRAWN BY: JRS  
 CHECKED BY: STM  
 DRAWING TITLE: ROOF DETAILS

DRAWING NUMBER: **A-2.9**  
 COMMENTS: \_\_\_\_\_



**UNIT ELEVATION NOTES:**

1. INTERIOR ELEVATIONS ARE DRAIN TO FACE OF INTERIOR FINISH, UNLESS NOTED OTHERWISE.
2. BATHROOM ACCESSORIES ARE TO BE MOUNTED AT THE FOLLOWING HEIGHTS:
  - A. PROVIDE TOILET PAPER HOLDER ON WALL ADJACENT TO WATER CLOSET, TYPICAL (24" AFF TO CENTER).
  - B. PROVIDE 18" TOWEL BAR, TYPICAL (4'-2" AFF TO CENTER).
  - C. PROVIDE CERAMIC TOWEL BAR OPPOSITE WET WALL AT BATHTUB, IN 6" TILE SURROUND LOCATE TOWEL BAR AT TOP OF 8TH TILE-BOTTOM OF THE 9TH TILE FROM BOTTOM.
  - D. PROVIDE CERAMIC SOAP DISH, CENTERED ON BATHTUB SIDEWALL, TYPICAL (7'-2" AFF. 4'-1").
  - E. SHOWER HEAD SHALL BE MOUNTED AT 6'-6" AFF.
  - F. SHOWER CURTAIN ROD TO BE AT 6'-8" AFF. TO CENTER.
  - G. WALL MOUNTED LIGHT FIXTURES TO BE AT T4" AFF. TO CENTER, UNLESS OTHERWISE NOTED.
  - H. TILE TUB SURROUND SHALL EXTEND 3'-0" ABOVE RIM OF BATHTUB (6'-4" AFF).
3. WALL MOUNTED LIGHT FIXTURES SHALL BE LOCATED AT 6'-10" 1/2" AFF.

**NOTE**

1. DRYER VENTS HAVE IN-LINE BOOSTER FANS. SEE MECH DWGS.

**UNIT CABINET NOTES:**

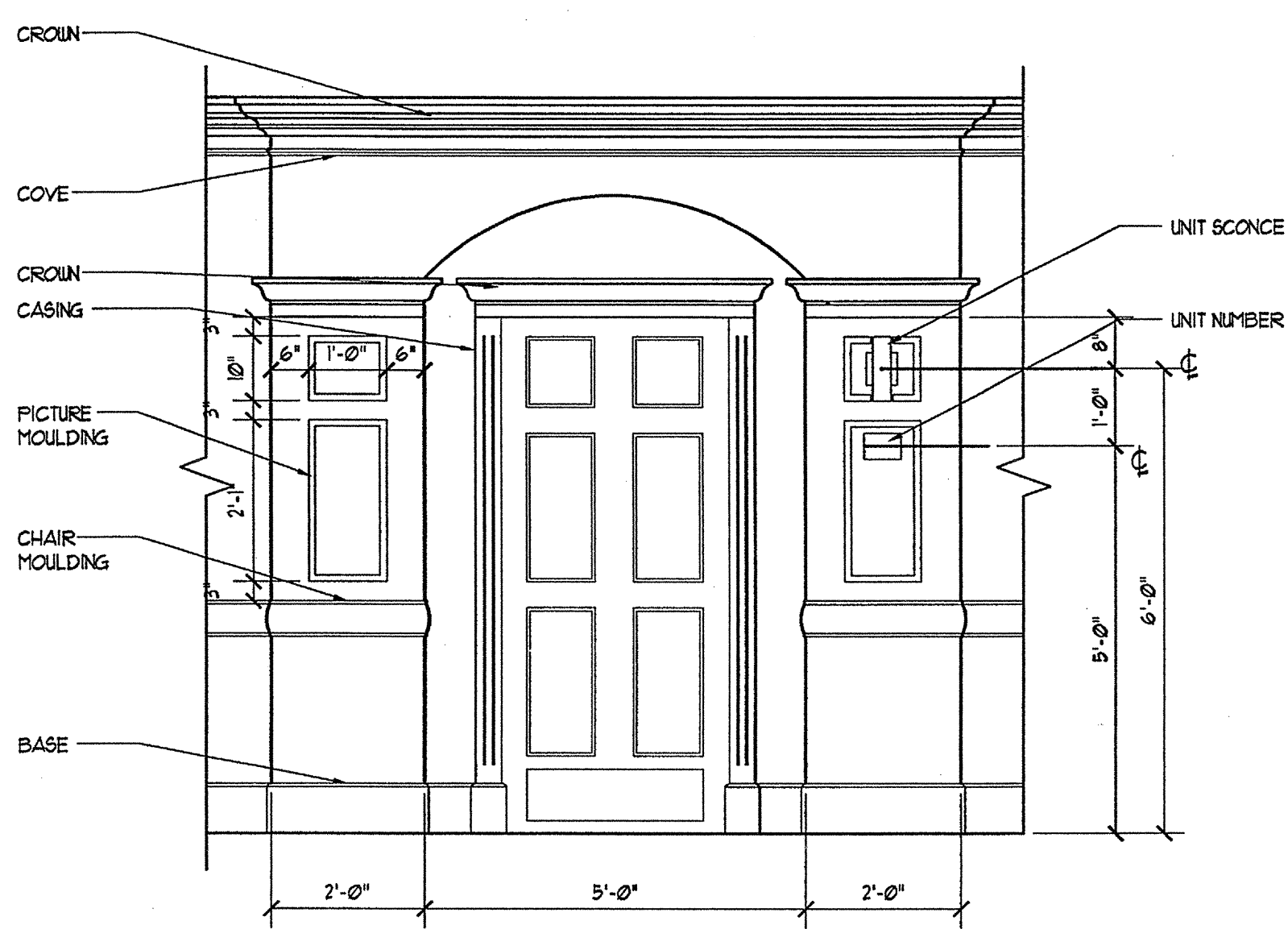
1. ALL CABINETS ARE ON 3" MODULE AND BASED ON DLX SUMMIT HILL FULL OVERLAY.
2. MAXIMUM WIDTH OF CABINET DOORS NOT TO EXCEED 21". DOOR SWINGS AS INDICATED ON INTERIOR ELEVATIONS.
3. ALL SHELVES TO HAVE HARD SURFACE EDGES.
4. FIELD VERIFY FIELD DIMENSIONS.
5. DUR - DRAWERS  
H - HANGER  
MC - MEDICINE CABINET  
PIL - BLANK PANEL
6. PROVIDE BLIND CABINET IN CORNERS OF ALL WALL AND BASE CABINETS.
7. ALL INTERIOR ELEVATION DIMENSIONS ARE TAKEN FROM FACE OF GYP. BD. VERIFY THICKNESS OF GYP. BD. PER BUILDING CONSTRUCTION TYPE. INTERIOR ELEVATIONS SHOWN USING 5/8" GYP. BD.
8. KITCHEN BASE CABINETS SHALL BE 24" DEEP AND WALL CABINETS SHALL BE 12" DEEP, UNLESS OTHERWISE NOTED.
9. BATHROOM VANITIES SHALL BE 21" DEEP, UNLESS OTHERWISE NOTED.
10. REFER TO ENLARGED UNIT PLANS FOR MILLWORK ELEVATIONS.
11. REFER TO FINISH PACKAGES FOR CABINET, HARDWARE, COUNTERTOP FINISHES, AND APPLIANCES.
12. PROVIDE SCRIBE MOLDING AND/OR FINISHED ENDS AS REQUIRED.
13. SUPPLIER TO FIELD VERIFY AREA OF WORK AFTER ROUGH FRAMING TO ASSURE FIT. THE CABINETS SHALL MATCH PLANS (NOTIFY ARCHITECT OF ANY DISCREPANCIES).
14. SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION.

**UNIT PLAN NOTES:**

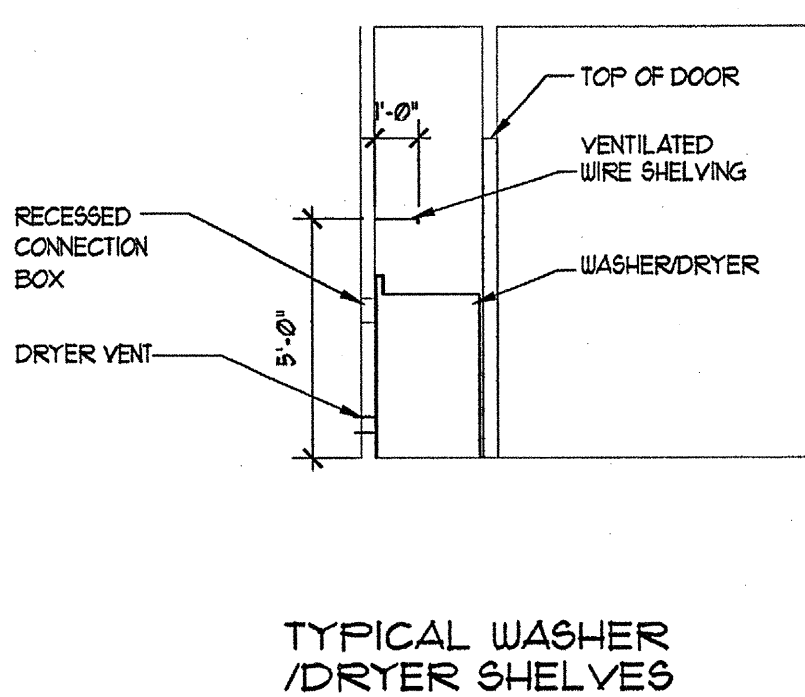
1. ALL FLOOR PLAN DIMENSIONS ARE TO FACE OF STUD FRAMING OR METAL STUD FRAMING UNLESS NOTED OTHERWISE.
2. ALL ANGLED WALLS ARE 45°, UNLESS NOTED OTHERWISE.
3. DOOR LOCATIONS NOT DIMENSIONED SHALL BE LOCATED AT MIDPOINT OF WALL OR 4" CLEAR OF ROOM FROM ADJACENT WALL CORNER, TYPICAL.
4. ALL PLUMBING WALLS SHALL BE FRAMED WITH 2x6 STUDS, REFER TO PLANS FOR LOCATIONS.
5. ALL SHELVING IN CLOSETS, IN COAT CLOSETS, LAUNDRY ROOMS AND LINEN CLOSETS TO BE VENTILATED WIRE SHELVING PROVIDED AND MOUNTED IN ACCORDANCE WITH THE FOLLOWING:
  - A. R4S: PROVIDE SINGLE ROD & SHELF (2" DEEP) AT COAT CLOSETS
  - B. DBL R4S: DOUBLE ROD & SHELF
  - C. B" WIDE LAUNDRY SHELF LOCATED OVER THE WASHER AND DRYER
  - D. LINEN CLOSETS TO HAVE 5 SHELVES
  - E. PROVIDE SHELF SUPPORTS @ 40" MAX. SPACING
  - F. ALL SHELVING IN PANTRY CLOSETS TO BE 3" WIDE "CLOSE MESH" VENTILATED WIRE SHELVING SYSTEM.
6. PROVIDE 1" ALUMINUM MINI BLINDS AT ALL APARTMENT FRENCH DOORS AND WINDOWS.
7. CONTRACTOR TO VERIFY AND COORDINATE PLUMBING ROUGH-IN DIMENSIONS WITH PLUMBER.
8. SEE FINISH SCHEDULES FOR ACTUAL FLOOR FINISH MATERIALS. FLOOR DEMARCATION LINES ON PLANS ARE FOR REFERENCE WHEN MATERIAL ARE TO DIFFER.
9. VERIFY FRAMING OPENING DIMENSIONS SHOWN FOR TUBS AND SHOWERS WITH ACTUAL UNIT SUPPLIED. ADJUST AS REQUIRED.
10. FRAMING CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL CABINETS, CEILING FANS, AND BATH ACCESSORIES. INCLUDE BLOCKING FOR GRAB BARS AT ALL LOCATIONS.
11. SHADED AREAS INDICATE RIR DOWN BELOW THE 1 HR. RATED FLOOR/CEILING ASSEMBLY FOR MECHANICAL EQUIPMENT. OTHER RIR DOWN AREAS ARE INDICATED.
12. VENT DRYERS TO OUTSIDE. SEE PLAN.
13. ALL OUTLETS @ KITCHEN SINK & BATH LAVATORY COUNTER TO BE G.F.C.I.
14. PROVIDE (1) 5LB. ABC FIRE EXTINGUISHER @ KITCHEN CABINET RANGE, TYP.
15. MECHANICAL DUCTWORK TO BE SEPARATED FROM ELECTRICAL PANELS.
16. SMOKE DETECTORS SHALL NOT BE PLACED IN FRONT OF EXHAUST GRILLS.
17. CONTRACTOR TO COORDINATE RECESSED LIGHTING LOCATIONS WITH MECHANICAL DUCT LOCATIONS.
18. INSPECT, REPAIR, AND PREPARE FLOORS AS REQUIRED TO PROVIDE A SATISFACTORY SUBFLOOR FOR FLOOR FINISH MATERIALS. SATISFACTORY SUBFLOOR IS DEFINED AS A SURFACE THAT IS FREE FROM CRACKS, HOLES, RIDGES, COATINGS, OR DEFECTS THAT WOULD PREVENT ADHESIVE BOND OR IMPAIR REPAIR PERFORMANCE OR APPEARANCE OF FINISHED MATERIALS.
19. SMOKE DETECTORS SHALL BE CONTINUOUSLY POWERED BY BUILDING ELECTRICAL SYSTEM AND INSTALLED IN ACCORDANCE WITH NFPA 72, 1-6.2.5 AND NFPA 74 BATTERY BACK UP.
20. QUICK RESPONSE SPRINKLER SYSTEM TO BE PROVIDED THROUGHOUT. EXACT DESIGN AND SPECIFICATIONS TO BE PER NFPA SUBMITTED BY CONTRACTOR TO ARCH. FOR SHOP DRAWING APPROVAL.
21. REFERENCE BUILDING PLAN WITH ELEVATIONS TO COORDINATE WINDOW LOCATION. PARTICULAR CONDITIONS MAY EXIST. NOTIFY ARCHITECT WITH QUESTIONS PRIOR TO CONSTRUCTION. REFER TO STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS.
22. CONTRACTOR TO COORDINATE WITH CABINET MANUFACTURER FOR EXACT LOCATIONS OF KITCHEN EQUIPMENT AND FIXTURES. CONTRACTOR TO REVIEW PLUMBING, ELECTRICAL, AND FINISH LOCATIONS WITH CABINET DESIGN.
23. CONTRACTOR TO PROVIDE STENCIL LABELING ON ALL FIRE RATED WALLS (TYP. ALL WALLS)
24. MOISTURE RESISTANT GYP. BD. TO BE USED AT ALL TUB AND SHOWER AREAS. EXTEND TYPE "X" GYP. BD. TO FLOOR LEVEL, BEHIND TUBS AT ALL FIRE RATED WALLS AND EXTERIOR WALLS, TYP.
25. ALL EXTERIOR DOORS TO BE SOLID WOOD OR INSULATED FOAM CORE.
26. ALL APARTMENT WINDOWS TO BE DOUBLE GLAZED. THERMAL BREAKS ARE REQUIRED.
27. CALK AND WEATHER STRIP ALL EXTERIOR DOORS & WINDOWS.
28. SEAL AROUND WINDOW & DOOR JAMB/SILLS WITH AIR IMPERMEABLE SEALANT.
29. WEATHER STRIP ALL ATTIC ACCESSORIES IN CONDITIONED AREAS.
30. CALK PLUMBING & WIRING PENETRATIONS IN ENVELOPE.
31. CALK SOLE PLATES.
32. WEATHER STRIP INTERIOR DOOR OPENINGS INTO UNTREATED SPACE.
33. CALK ALL OTHER OPENINGS IN BUILDING ENVELOPE.
34. INSULATION
  - R-30 PLAT CEILINGS
  - R-19 ROOF/CEILING COMBINATION
  - R-13 WALLS
  - R-1/2 FLOORS OVER CRAWL SPACE, GARAGE, OR OPEN AREAS
  - R-5 STRUCTURAL MASONRY FLOORS OVER OPEN AREAS (HIGH-RISE CONSTRUCTION)
35. HVAC
  - ELECTRIC HEAT PUMP
  - 100 SEER MINIMUM (6.8 SEER)
  - ARI RATING DETERMINS SEER
  - WHERE ACCESSIBLE, SEAL ALL JOINTS AT AIR HANDLER AND FLEX COLLAR WITH MASTIC STRAP INNER LINER AND TAPE OR MASTIC STRAP OUTER LINER
  - TAPE ALL REMOVEABLE PARTS ON OR AROUND AIR HANDLER WITH UL 181 TAPE
36. 2 PIECE CROWN MOLDING TO OCCUR IN ALL BEDROOMS, BATHROOMS, CORRIDORS, KITCHENS, LIVING AND DINING ROOMS, NOT IN CLOSETS OR LAUNDRY ROOM.

**UNIT PLAN NOTES:**

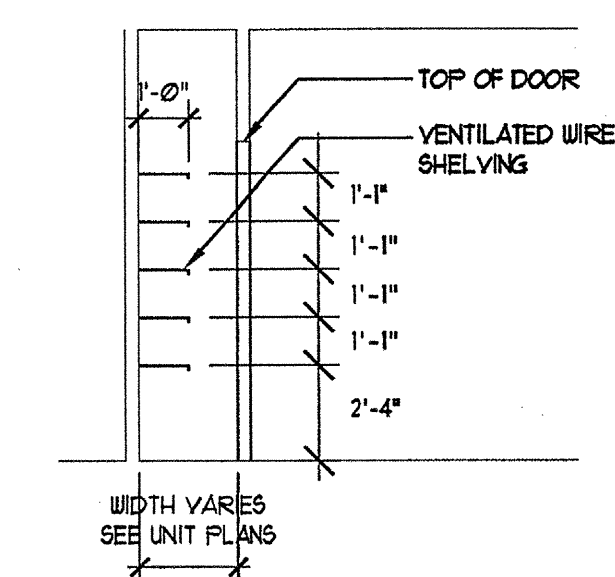
1. ALL DIMENSIONS ARE FROM CENTER LINE OF UNIT PARTITION OR FACE OF STUD. UNLESS NOTED OTHERWISE.
2. SEE DOOR & WINDOW SCHEDULE ON SHEETS A801
3. TYPICAL FINISH FLOOR ELEVATIONS ARE SHOWN ON BUILDING SECTIONS. WHICH REFER TO:
  - TOP OF CONCRETE SLAB AT BASEMENT & FIRST FLOOR
  - TOP OF GYPSUM CRETE AT OTHER LEVELS
4. SEE A801 FOR PARTITION SCHEDULE
5. WHERE WINDOWS HAVE TWO OR MORE INDICATIONS, REFER TO ELEVATIONS FOR MORE INFORMATION
6. TOP OF ARCH OPENING @ 8'-4". SPRINGLINE @ T-8" AFF
7. TOP OF ARCH OPENING IN BATHROOMS @ 8'-0". SPRINGLINE @ T-4" AFF
8. HEADER OPENING @ T-8" AFF



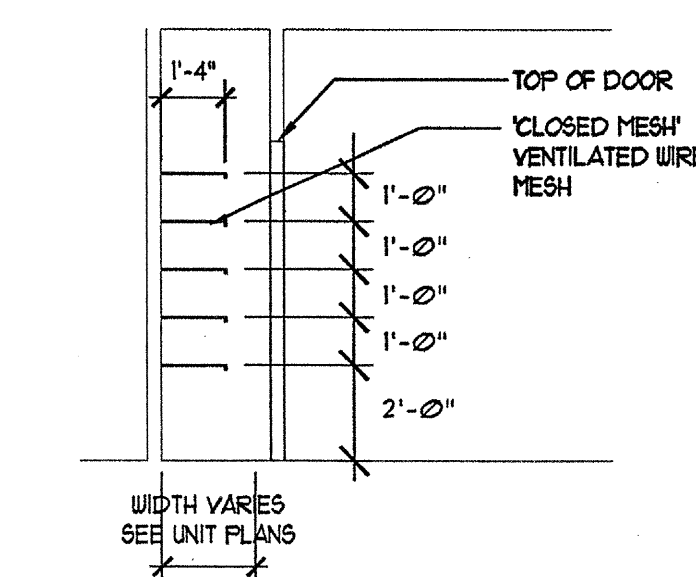
NOTE: DEPTH OF ENCLOSURE TO BE 8"  
**3 TYPICAL UNIT ENTRY**  
 A-30 SCALE: 1/4"=1'-0"



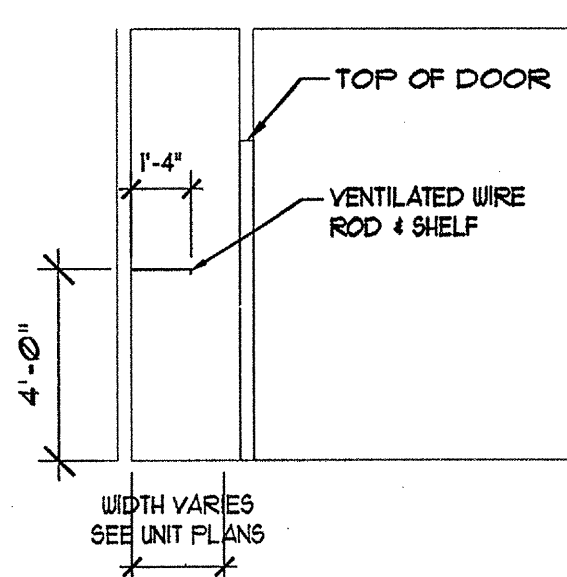
**TYPICAL WASHER/DRYER SHELVES**



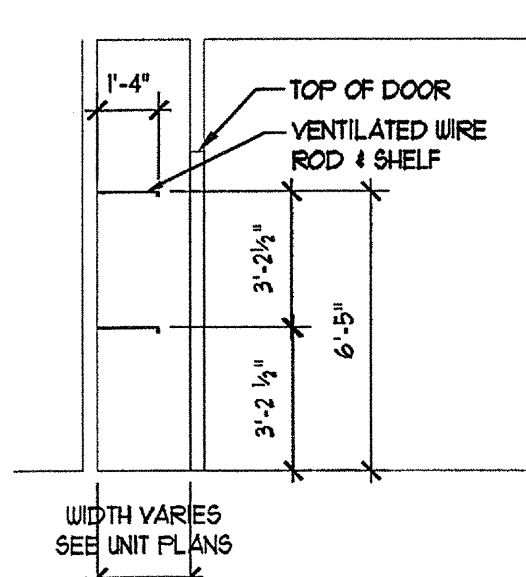
**LINEN TYPICAL ALL UNITS**



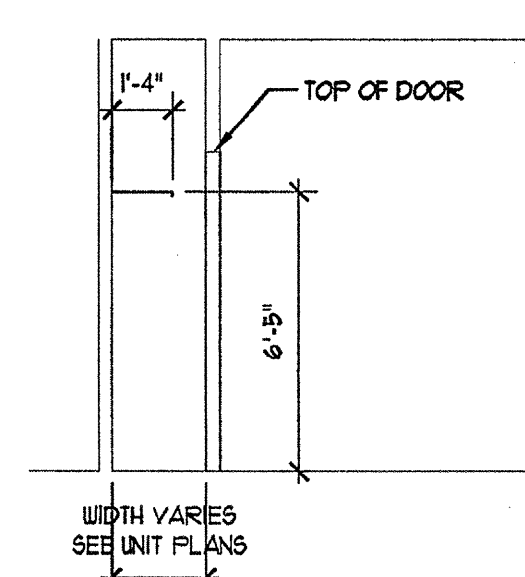
**PANTRY TYPICAL ALL UNITS**



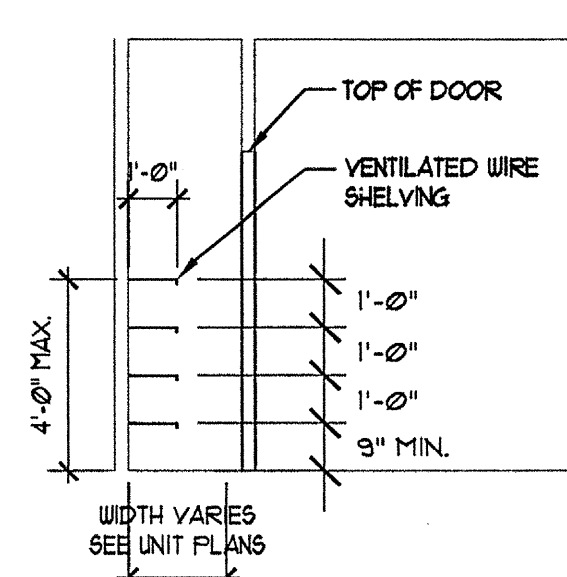
**TYPICAL HC R4S CLOSET**



**TYPICAL 2R+S**

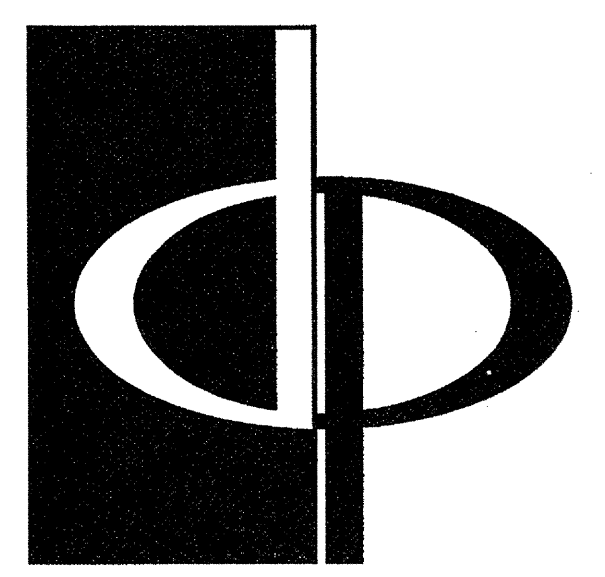


**TYPICAL R+S**



**TYPICAL HC SHELVES**

**SHELVING CONFIGURATION**  
 A-30 SCALE: 1/4"=1'-0"



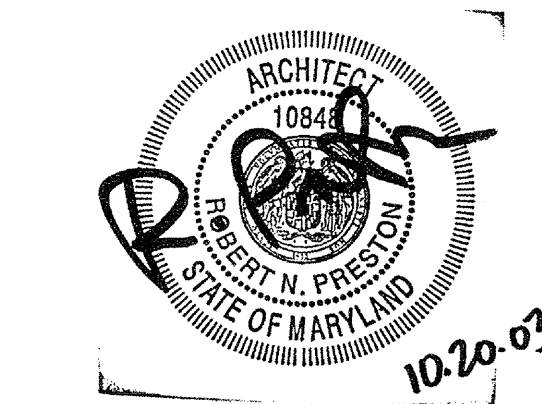
**THE PRESTON PARTNERSHIP, LLC**  
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CONSULTANT

SEAL



PROJECT

**ARCHSTONE**  
**KENTLANDS**  
 949 QUINCE ORCHARD ROAD  
 GAITHERSBURG, MARYLAND

FOR

**ARCHSTONE**  
 COMMUNITIES  
 6631 OLD DOMINION DRIVE  
 MCLEAN, VIRGINIA 22101  
 703-883-3353

REVISIONS

RELEASED FOR CONSTRUCTION 01/31/03

DATE 01/31/03

JOB NUMBER 02111028

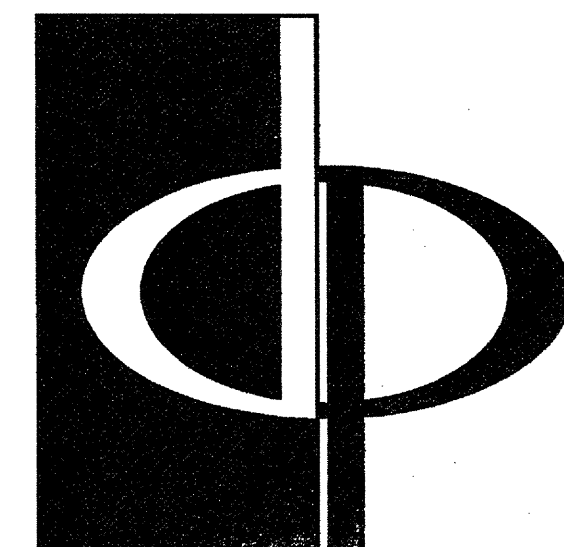
DRAWN BY STM

CHECKED BY STM

DRAWING TITLE UNIT NOTES

DRAWING NUMBER A-3.0

COMMENTS

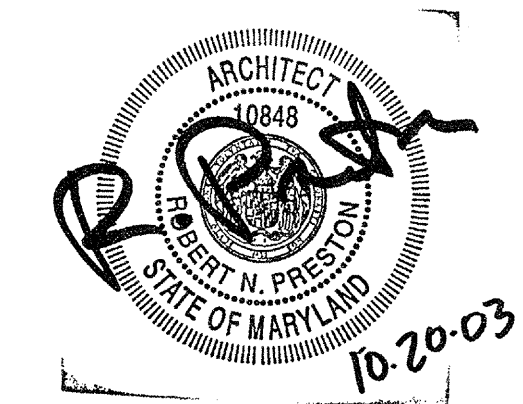


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CONSULTANT



PROJECT  
**ARCHSTONE  
KENTLANDS**  
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GATHERSBURG, MARYLAND

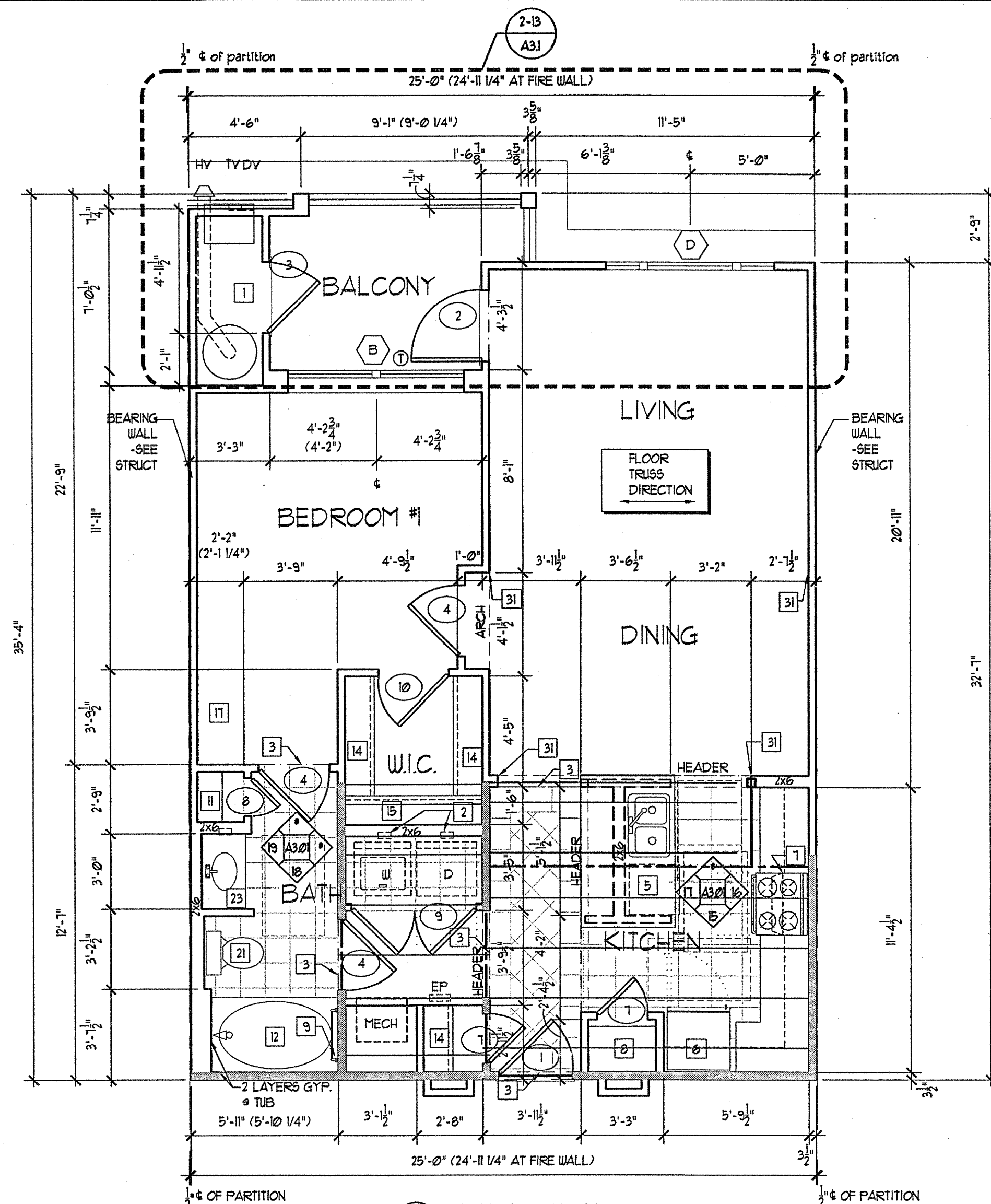
FOR  
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MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS  
RELEASED FOR CONSTRUCTION 07/18/03

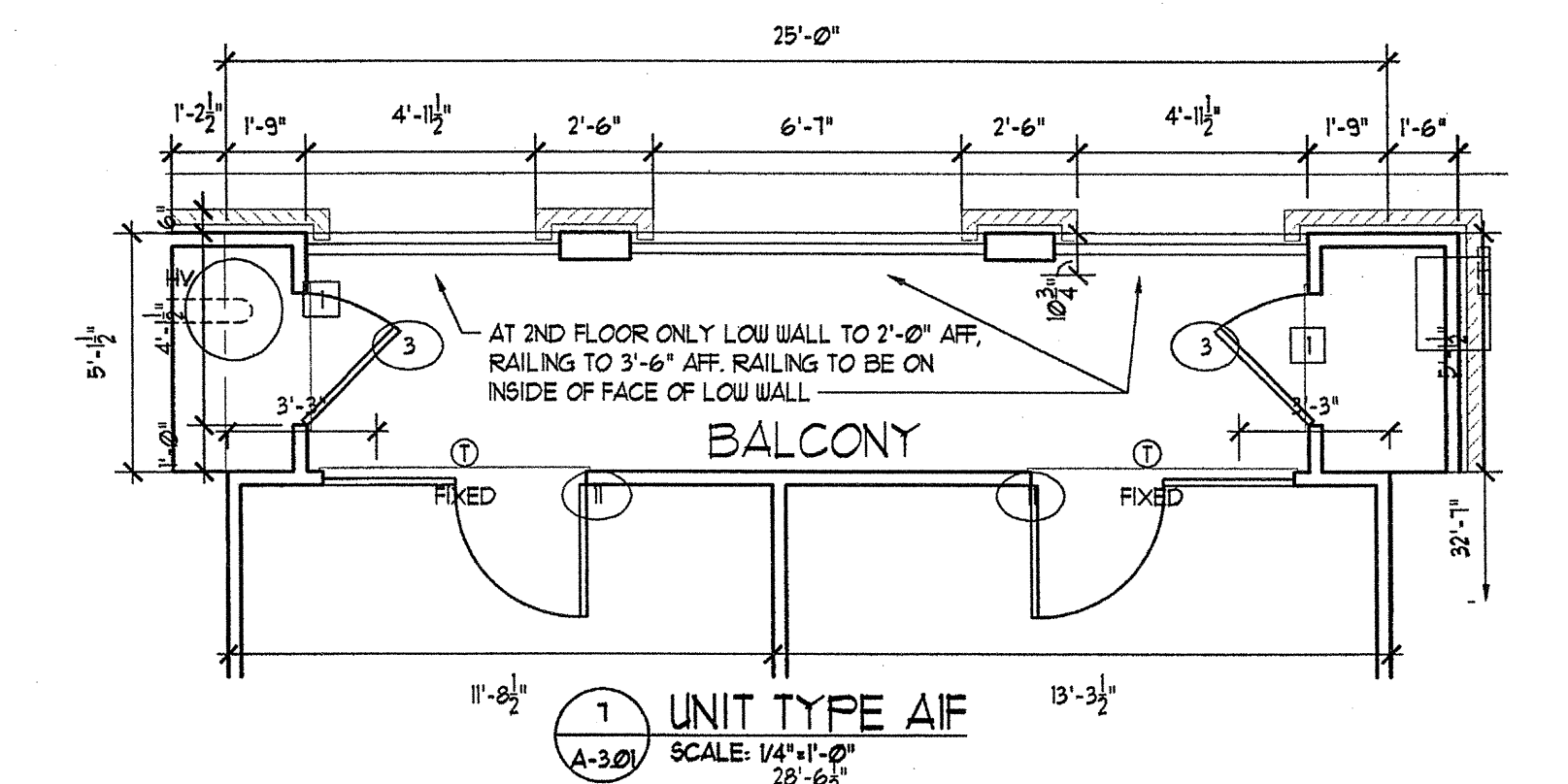
DATE	01/31/03
JOB NUMBER	02111028
DRAWN BY	DA
CHECKED BY	STH
DRAWING TITLE	UNIT A1 FLOOR PLANS & INTER. ELEV.
DRAWING NUMBER	A-3.01
COMMENTS	

**UNIT KEYNOTES**

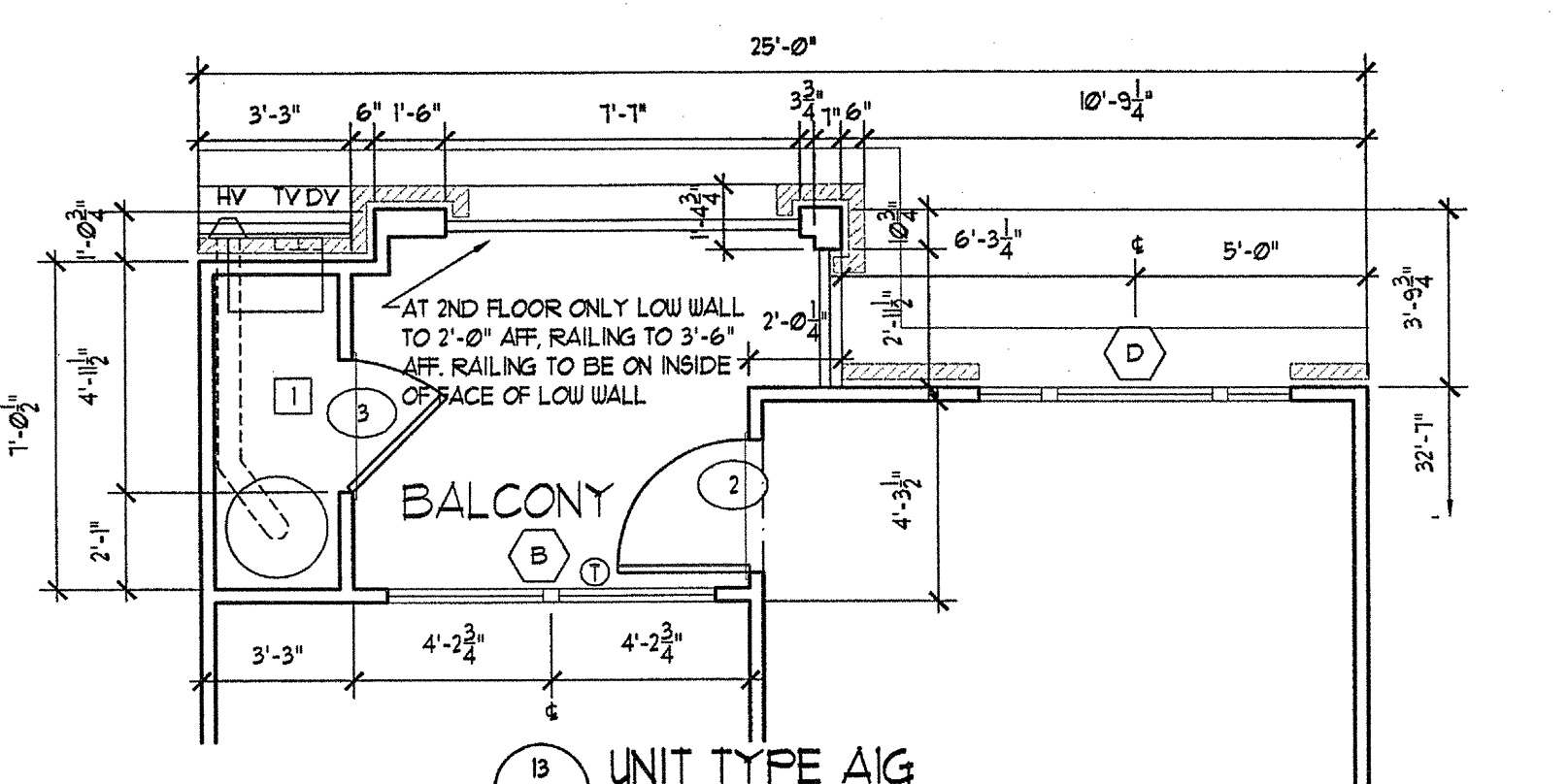
- 1 HVAC UNIT/WATER HEATER, SEE MECHANICAL DWGS.
- 2 WASHER CONNECTION/ DRYER VENT
- 3 FLOORING CHANGE
- 4 AIR CONDITIONER
- 5 DISHWASHER
- 6 REFRIGERATOR
- 7 RANGE W/ MICROVAPE ABOVE 4 VENTLESS HOOD
- 8 PANTRY
- 9 TOWEL BAR
- 10 TOILET PAPER HOLDER
- 11 LINEN CLOSET
- 12 36"x60" 1 PIECE, FIBERGLASS GARDEN TUB 4 SKIRT
- 13 ELECTRIC PANEL
- 14 ROD 4 SHELF
- 15 DOUBLE ROD 4 SHELF
- 16 SHELVES
- 17 COMPUTER DESK LOCATION (NIC)
- 18 CROWN MOULDING
- 19 ARCHED CASED OPENING
- 20 CHAIR RAIL WITH PICTURE FRAME
- 21 ELONGATED TOILET
- 22 DBL. STAINLESS STEEL KIT. SINK W/ DISPENSOR
- 23 SGL. INTEGRATED BOUL. CULT. MARBLE VANITY TOP
- 24 DBL. INTEGRATED BOUL. CULT. MARBLE VANITY TOP
- 25 FLAT CASED OPENING
- 26 GAS FIREPLACE 4 VENTHOOD - "MAJESTIC" LIVERSIDE W/ MAJIC 18" 02006/FF18
- 27 36" SQUARE FIBERGLASS SHOWER PAN
- 28 TILE SURROUND 4 KITCHEN
- 29 40" NEO FIBERGLASS SHOWER PAN
- 30 DROP SOFFIT
- 31 CHAIR RAIL W/ PICTURE HOLDING BELOW
- NOTE: ARROWS INDICATE LOCATION, START AND STOP POINTS



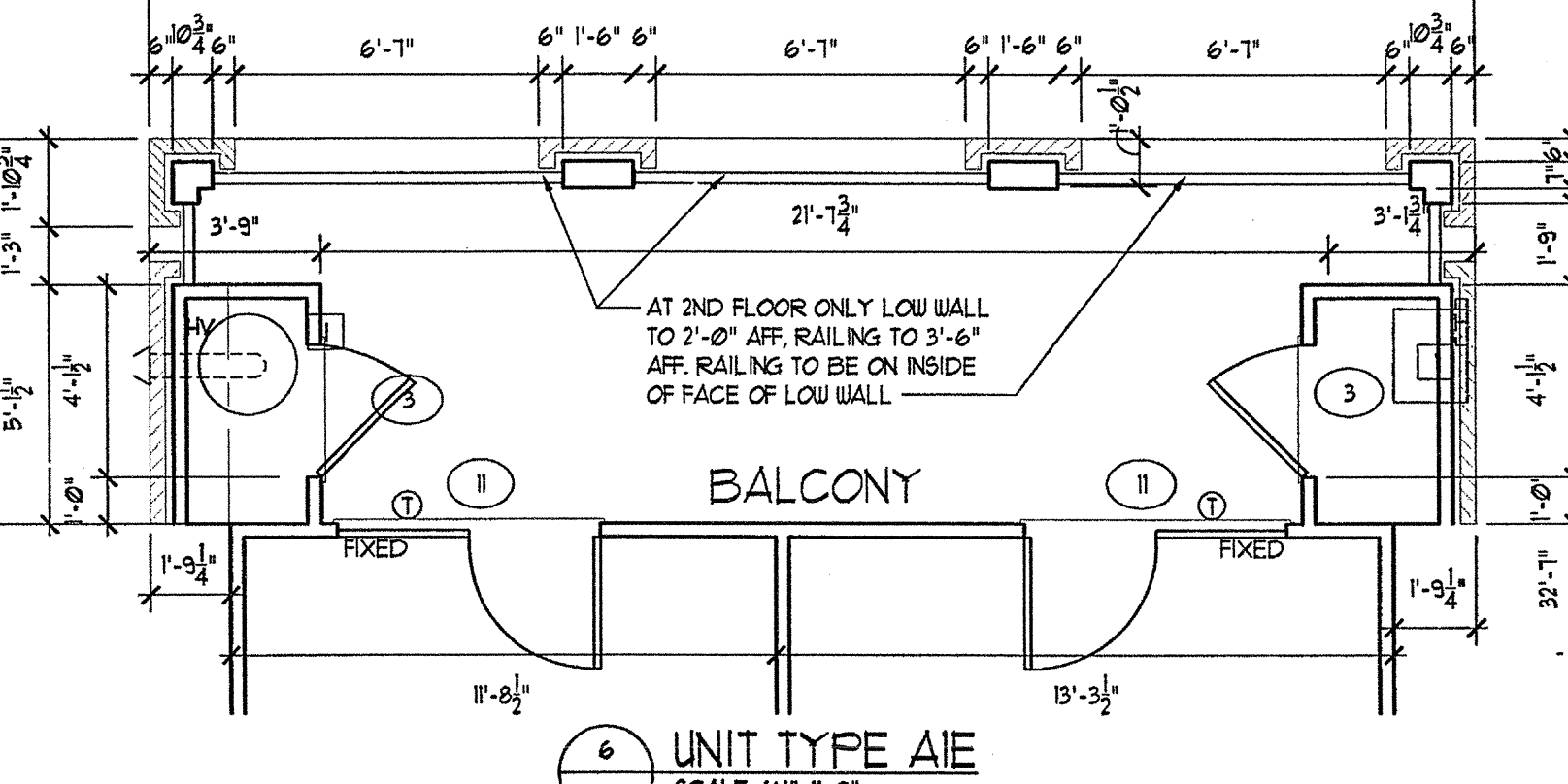
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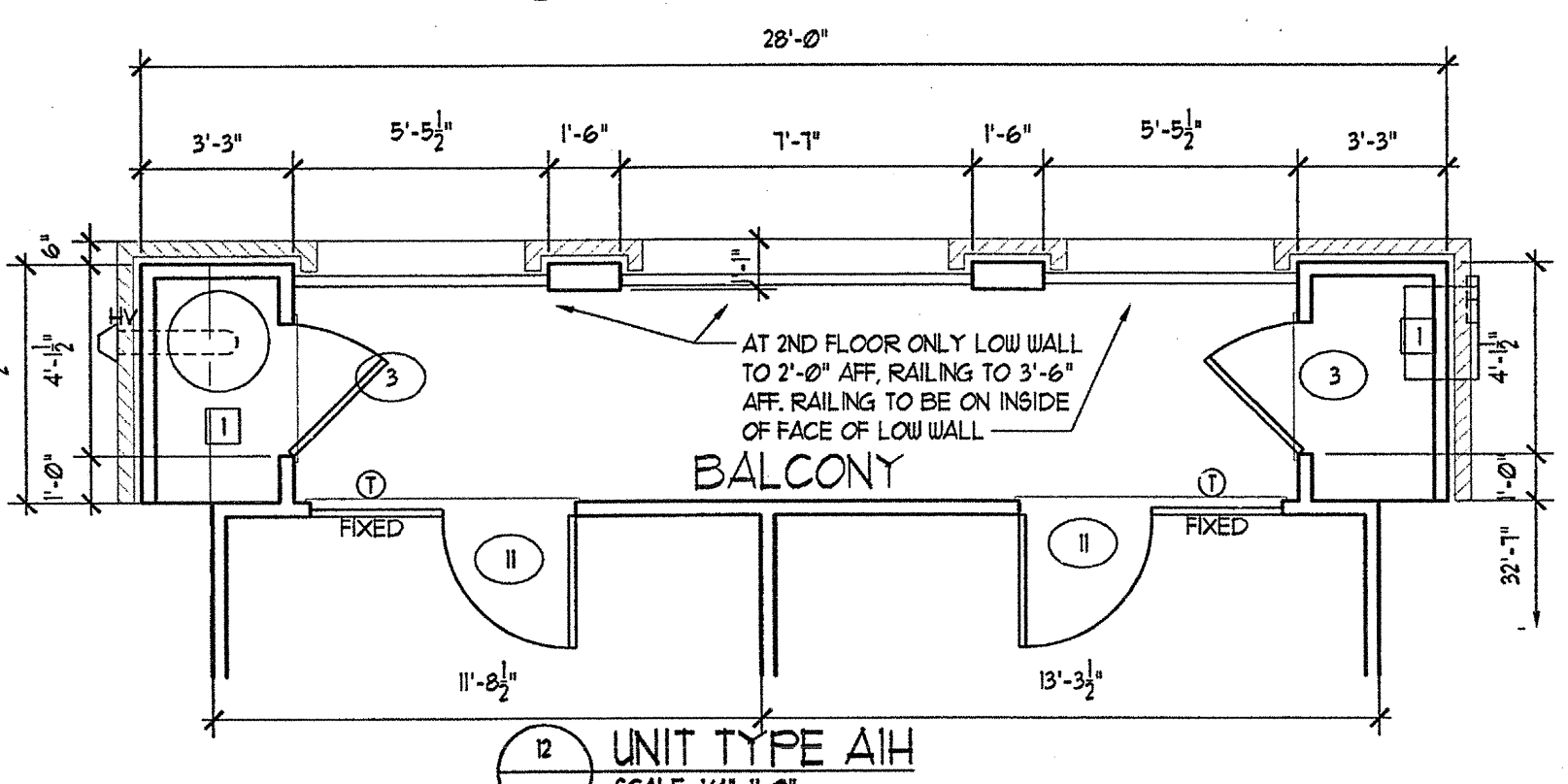
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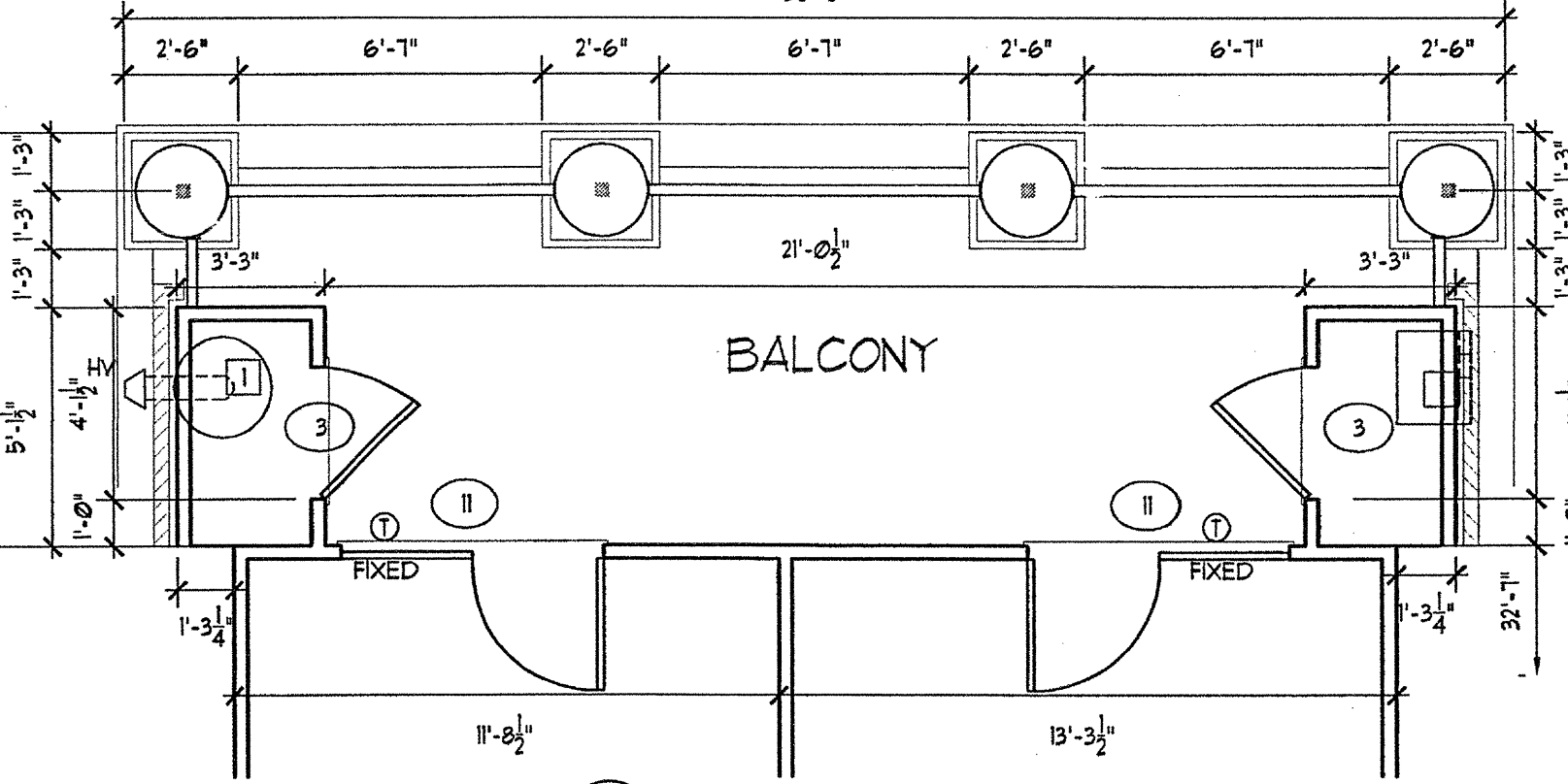
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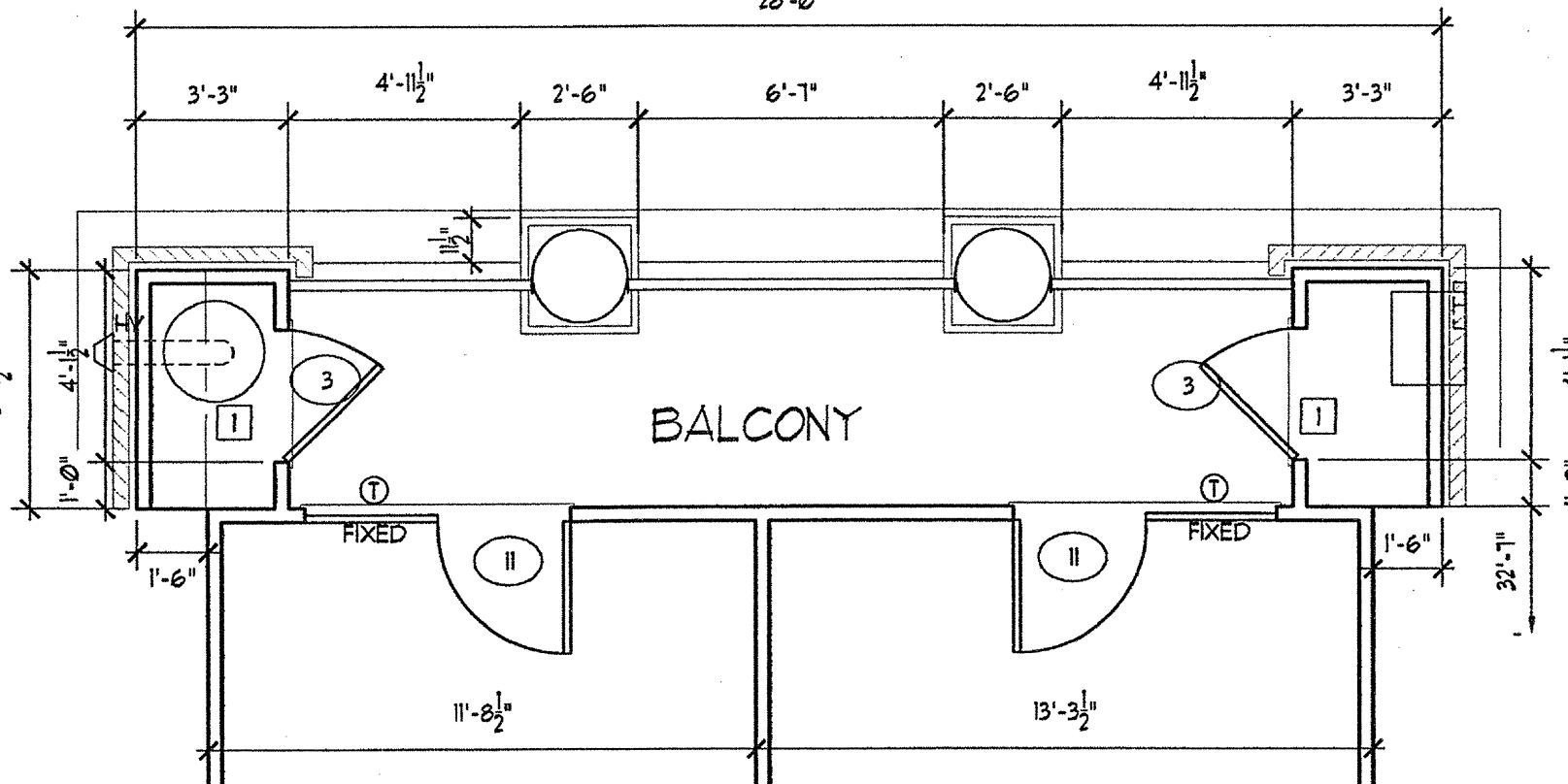
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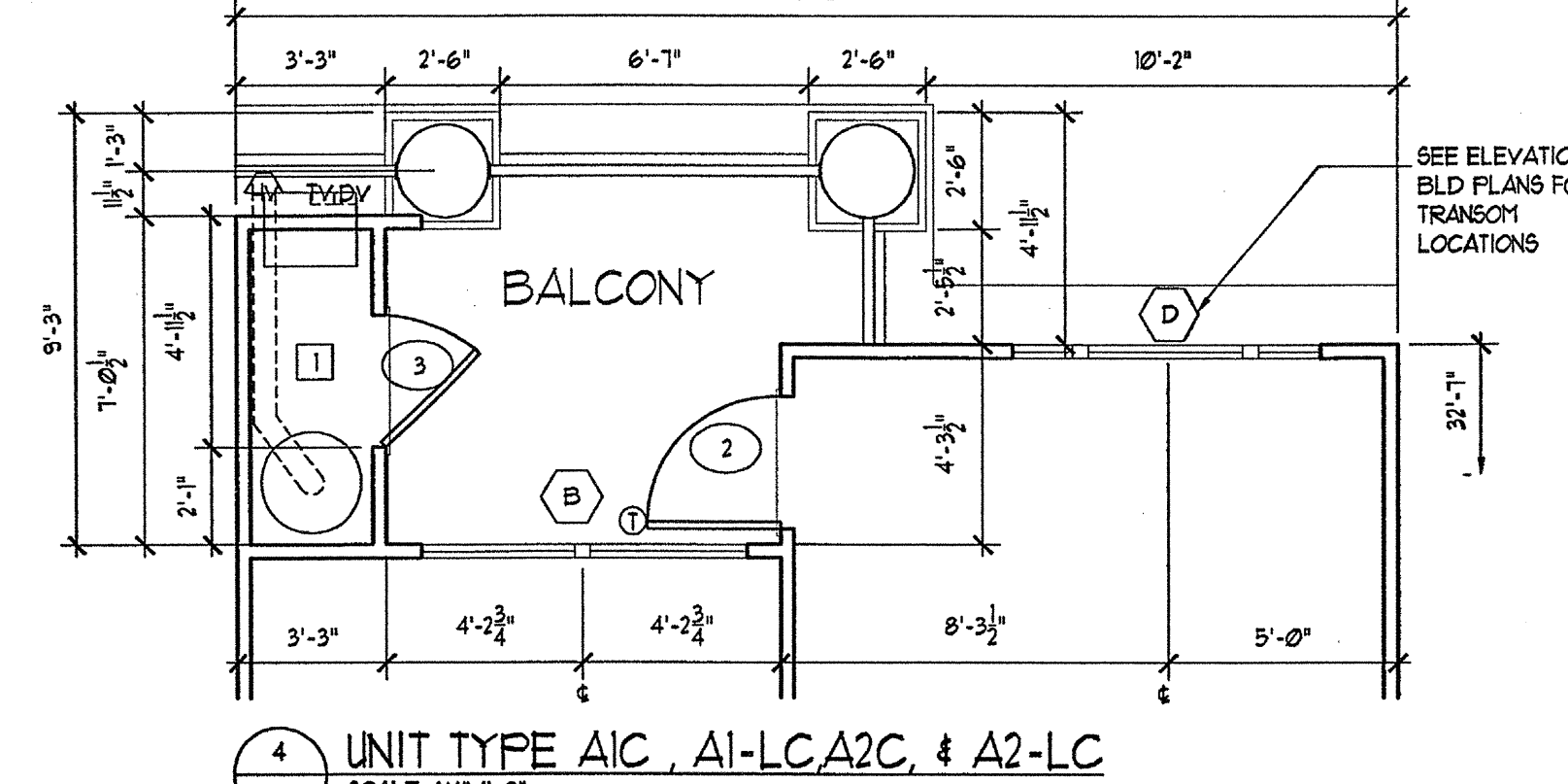
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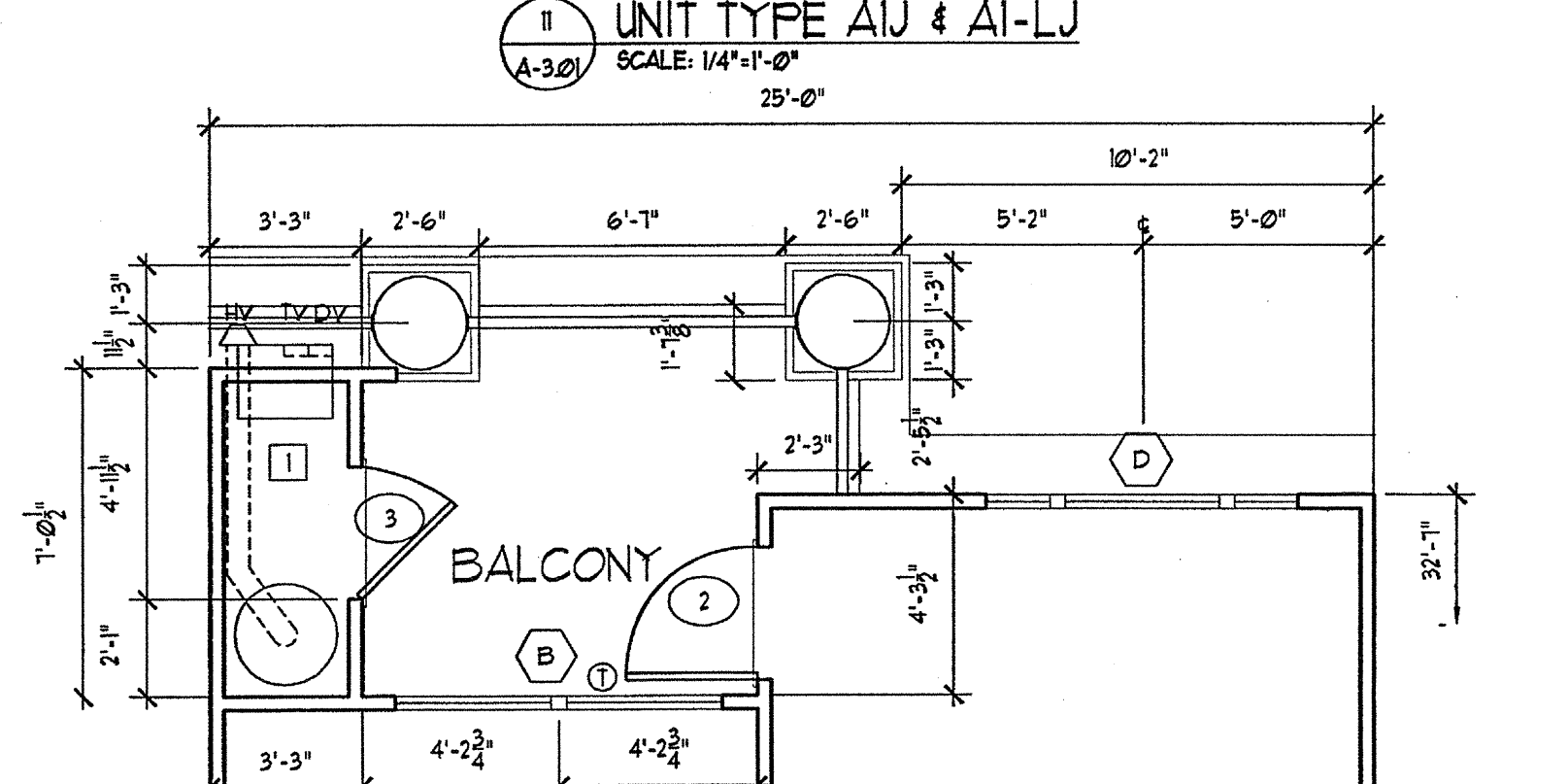
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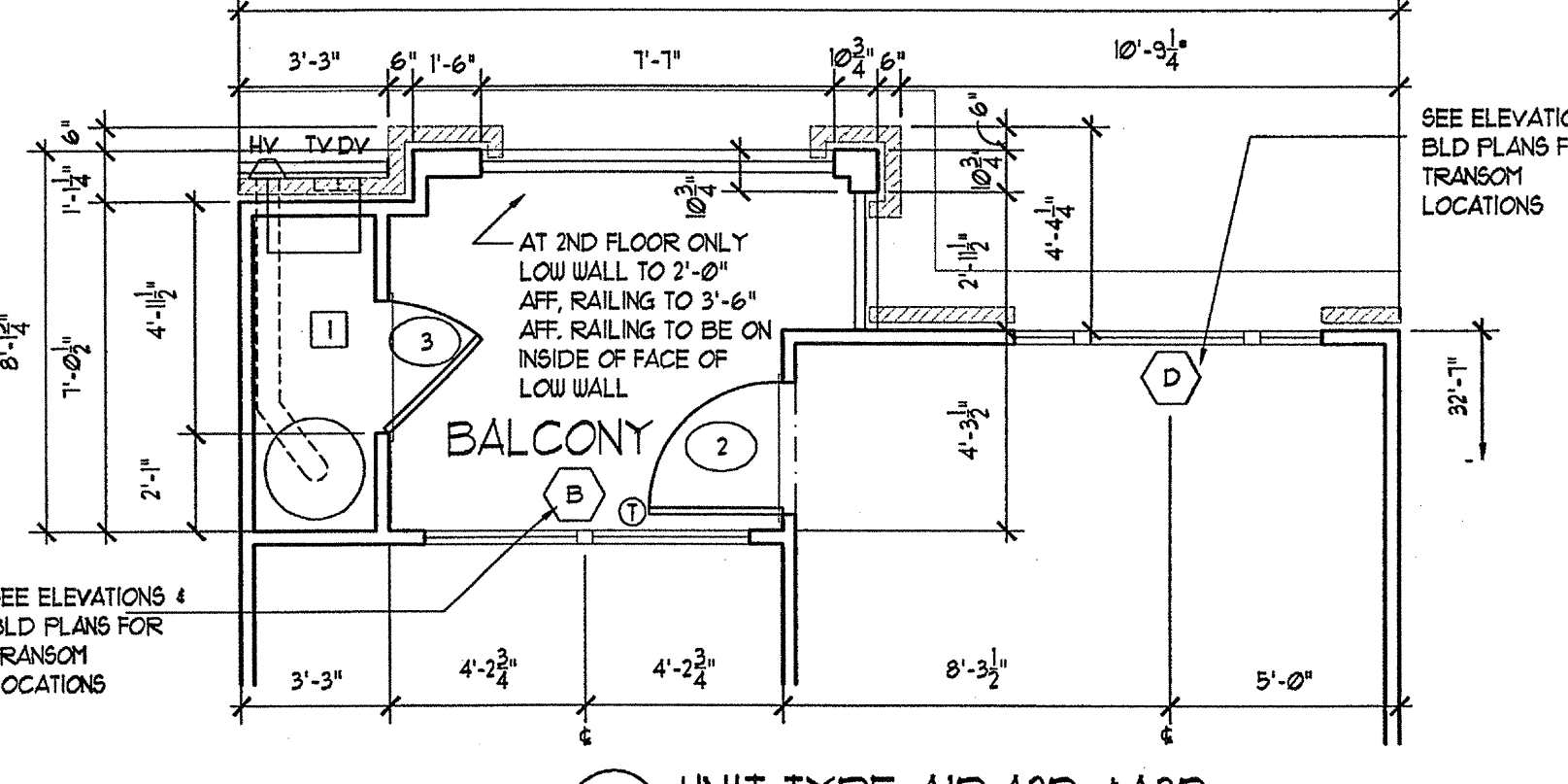
B UNIT TYPE A1J & A1-LJ  
SCALE: 1/4"=1'-0"



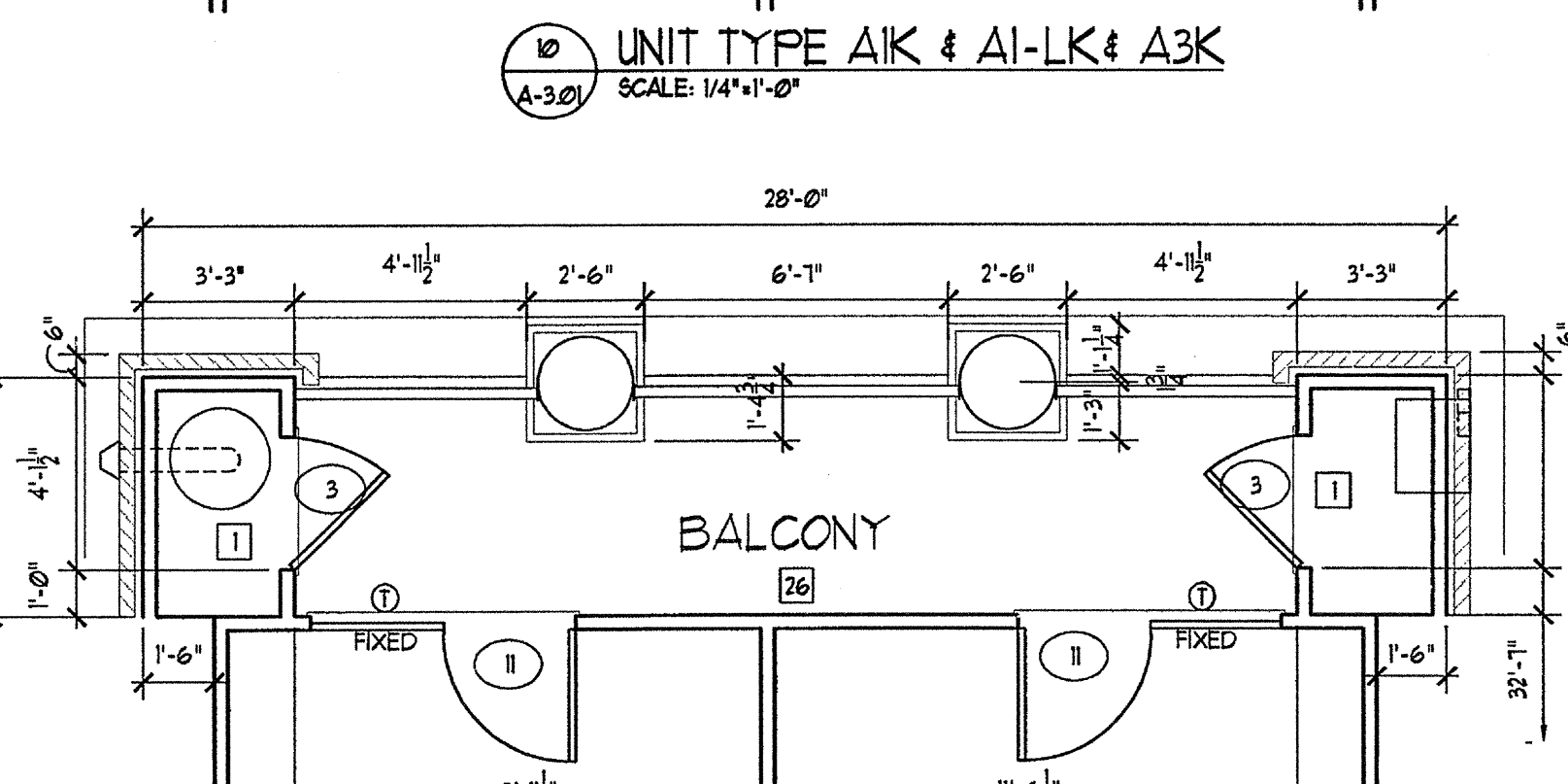
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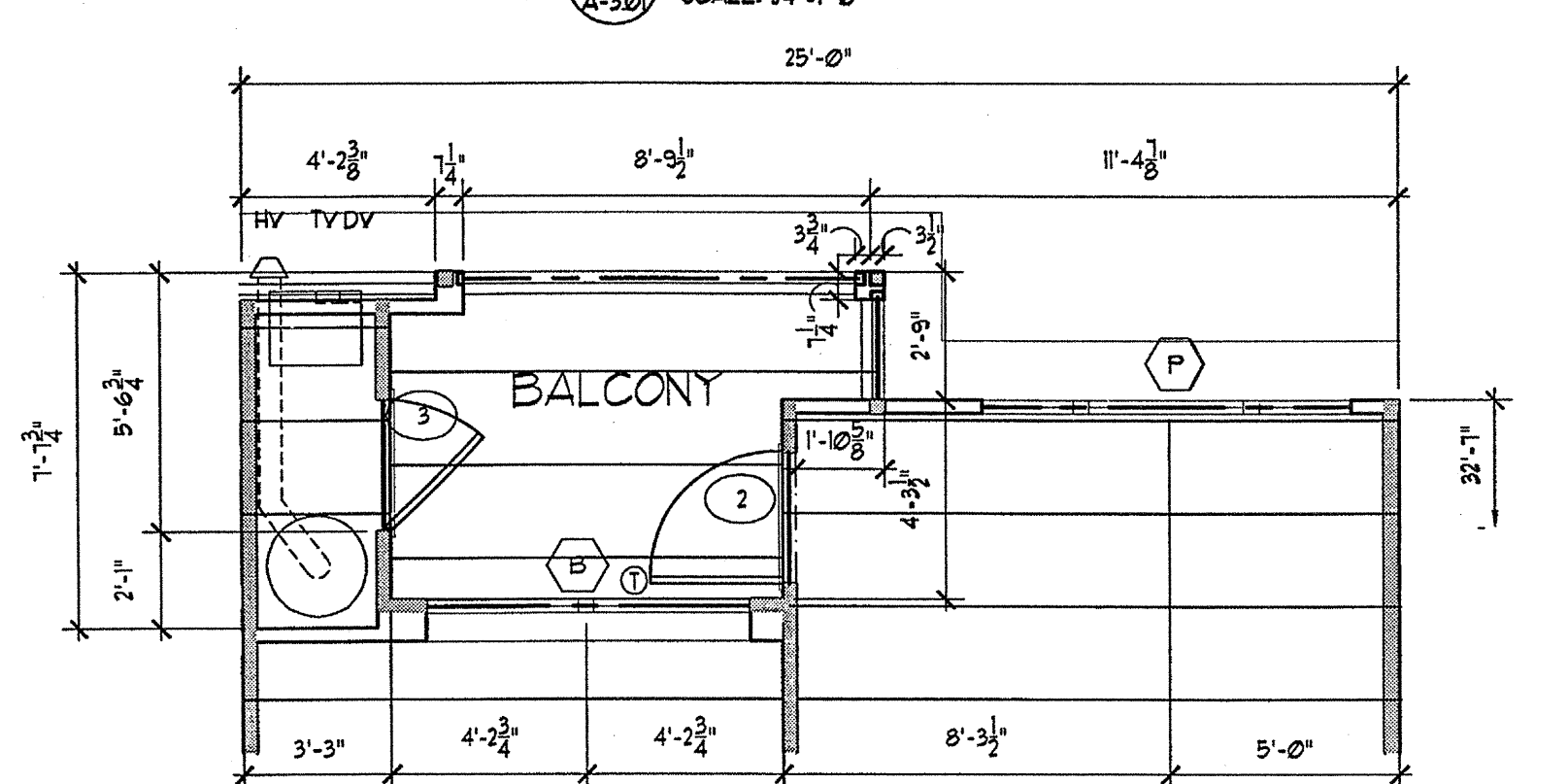
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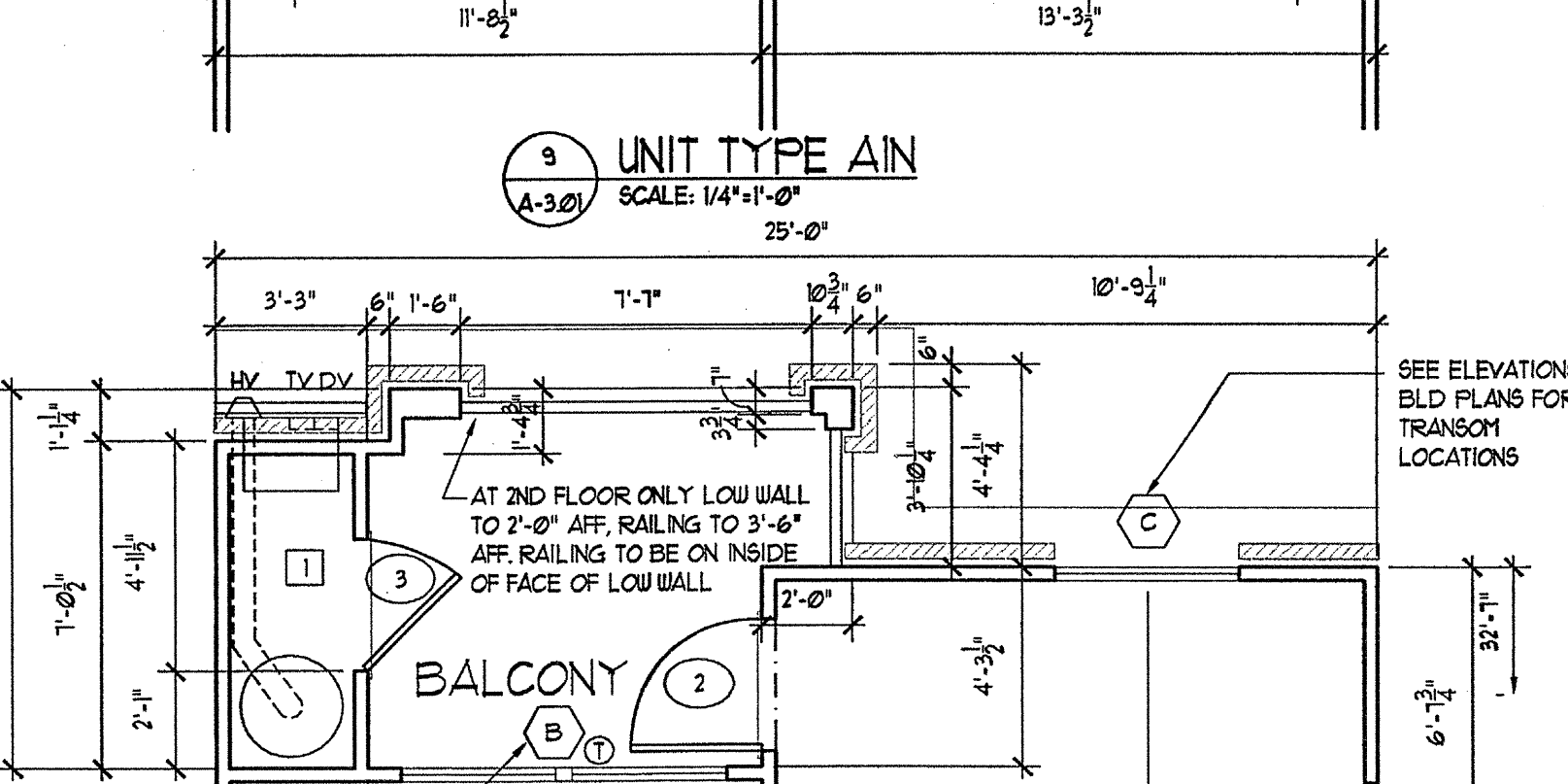
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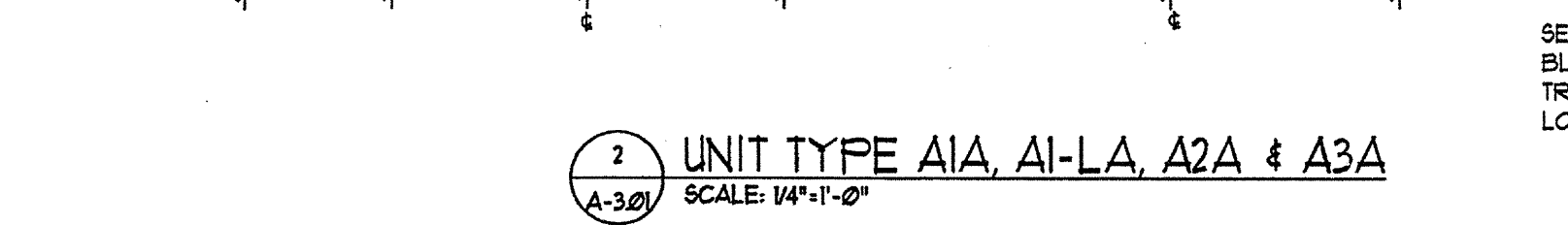
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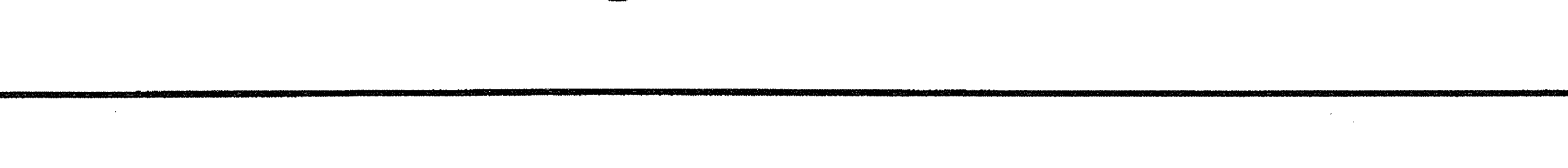
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SCALE: 1/4"=1'-0"



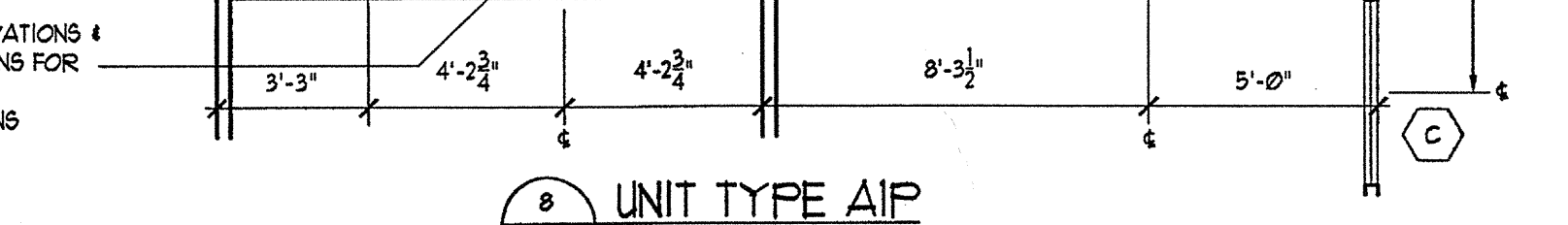
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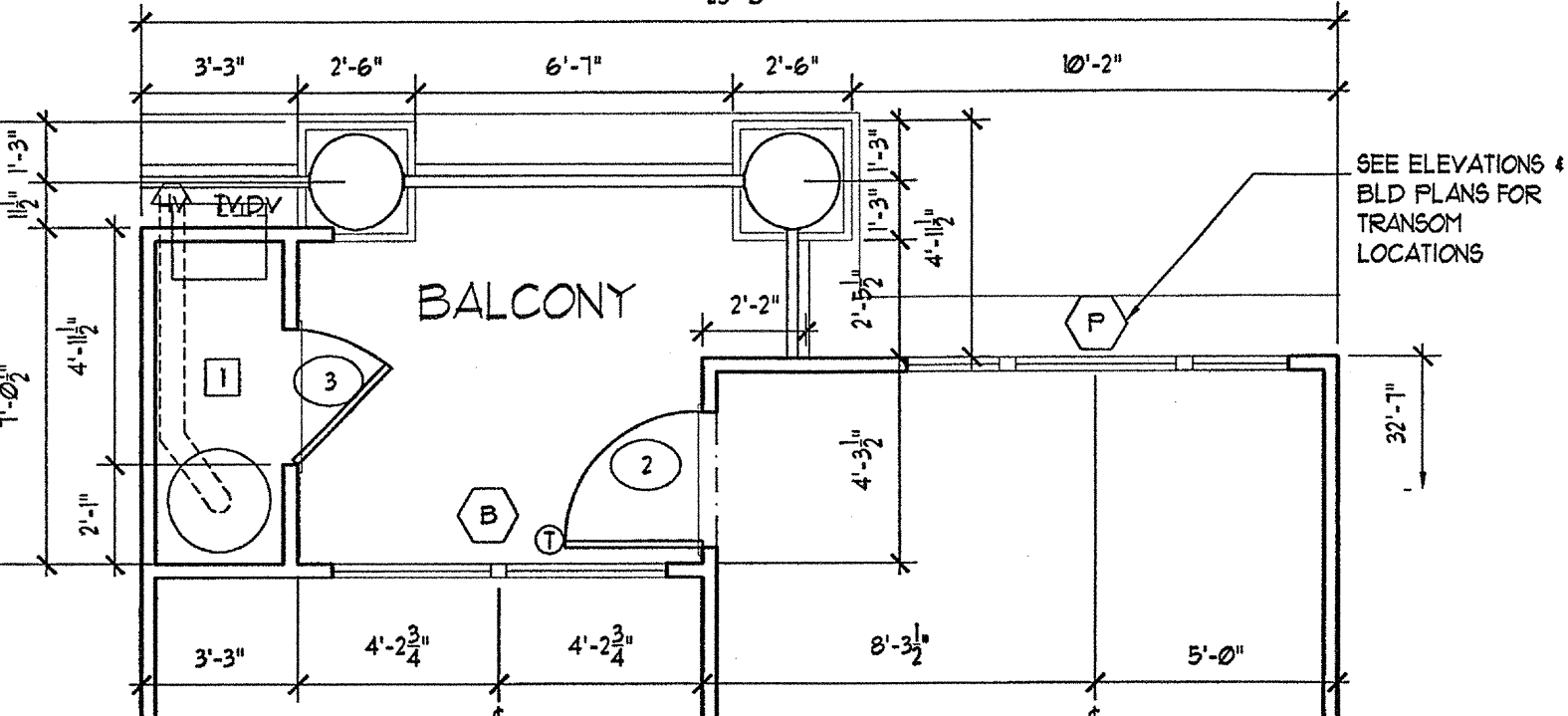
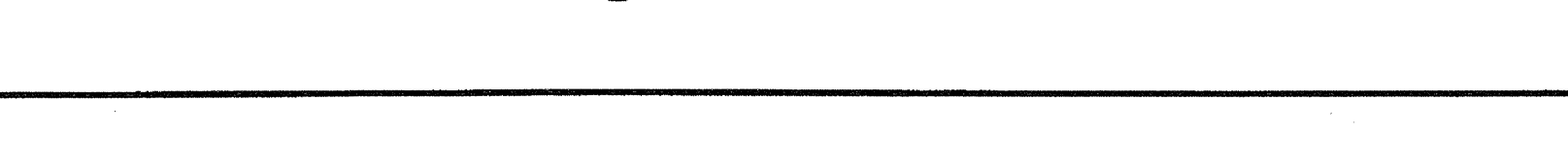
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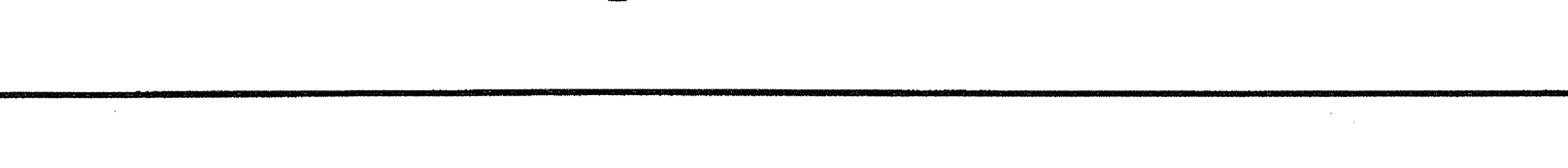
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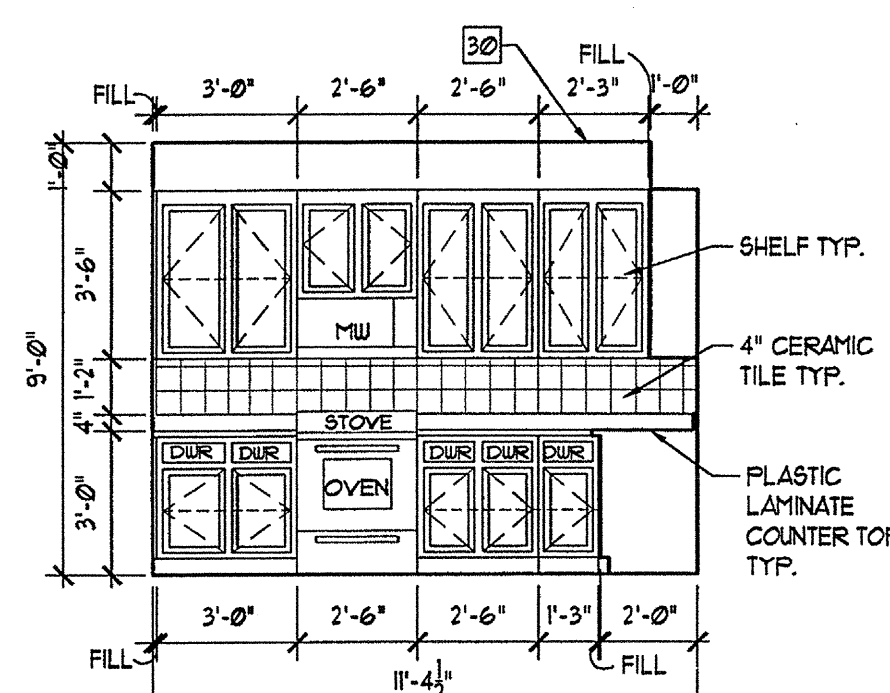
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SCALE: 1/4"=1'-0"



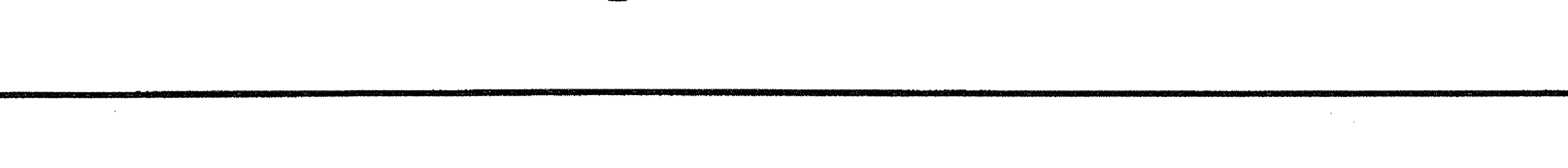
14 UNIT TYPE A1-LD  
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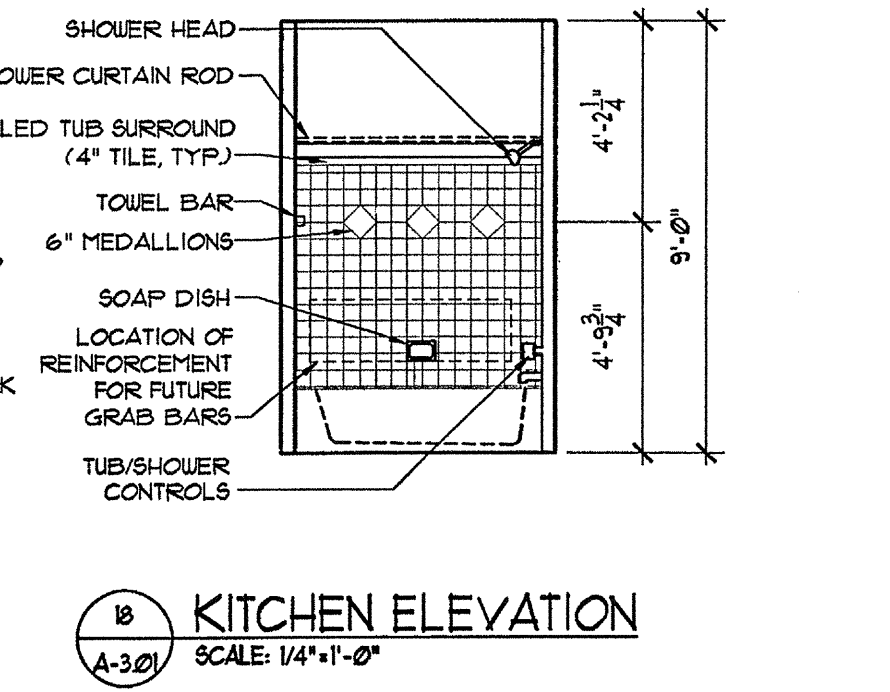
B KITCHEN ELEVATION  
SCALE: 1/4"=1'-0"



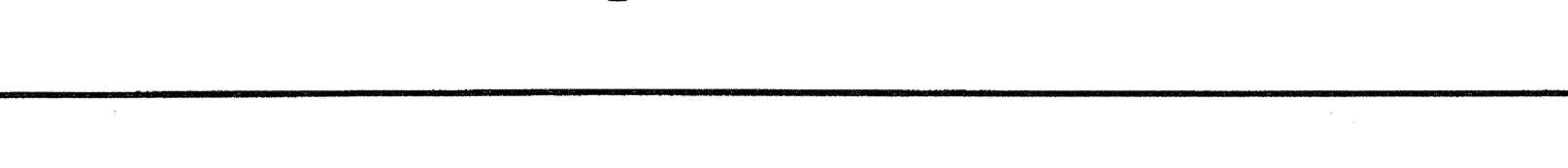
16 KITCHEN ELEVATION  
SCALE: 1/4"=1'-0"



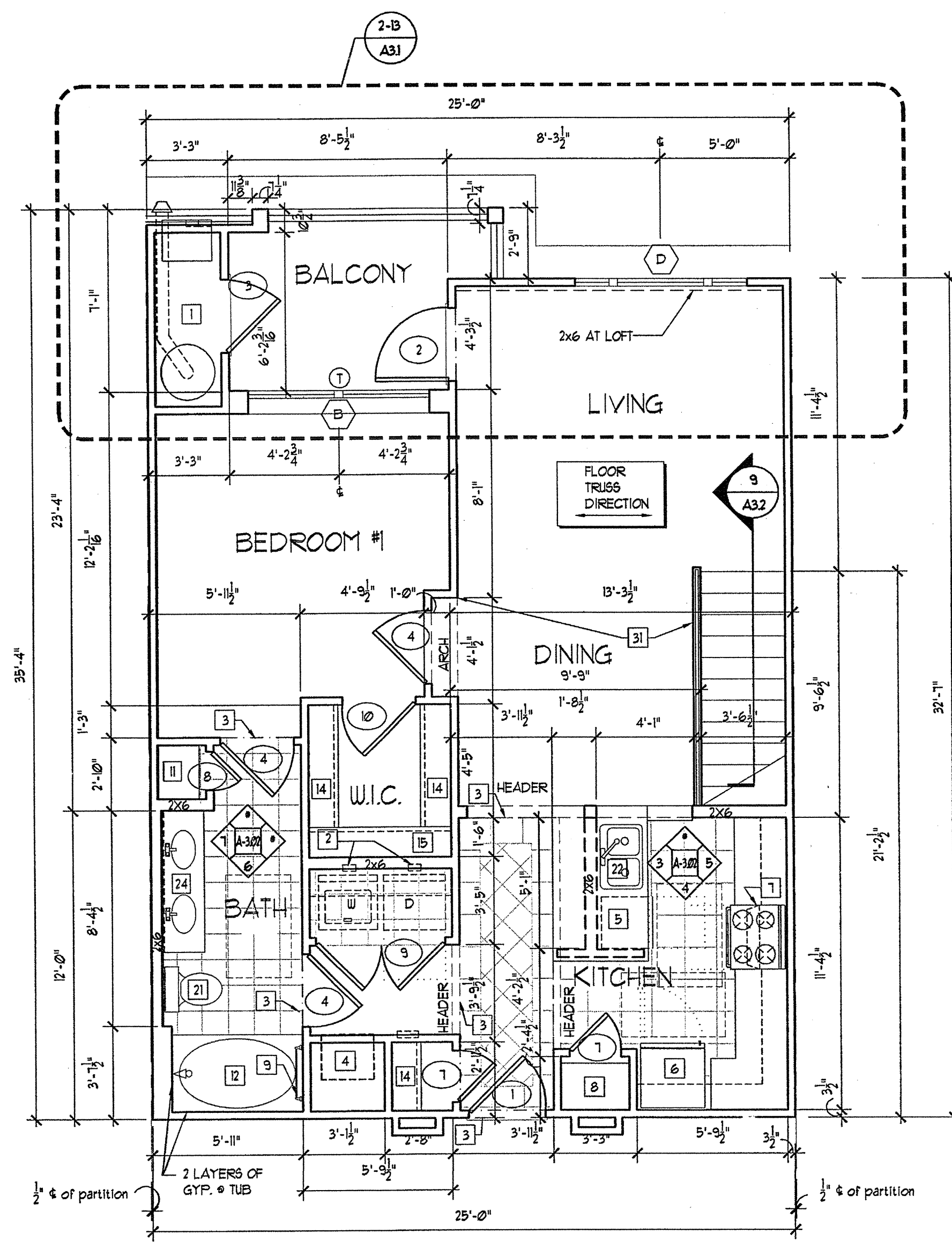
17 KITCHEN ELEVATION  
SCALE: 1/4"=1'-0"



18 KITCHEN ELEVATION  
SCALE: 1/4"=1'-0"

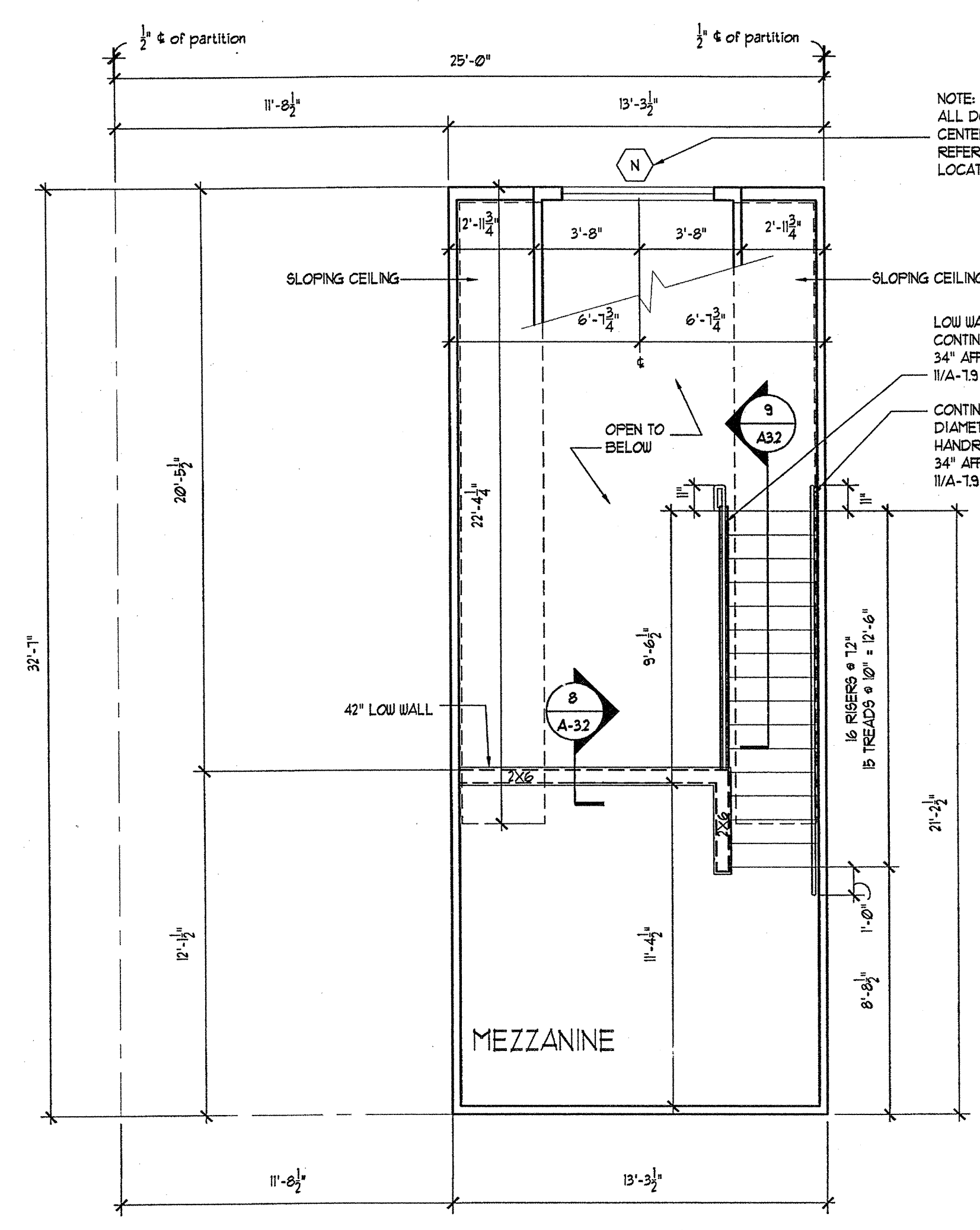


19 BATHROOM ELEVATION  
SCALE: 1/4"=1'-0"



1 UNIT TYPE AI-L FLOOR PLAN  
SCALE: 1/4"=1'-0"

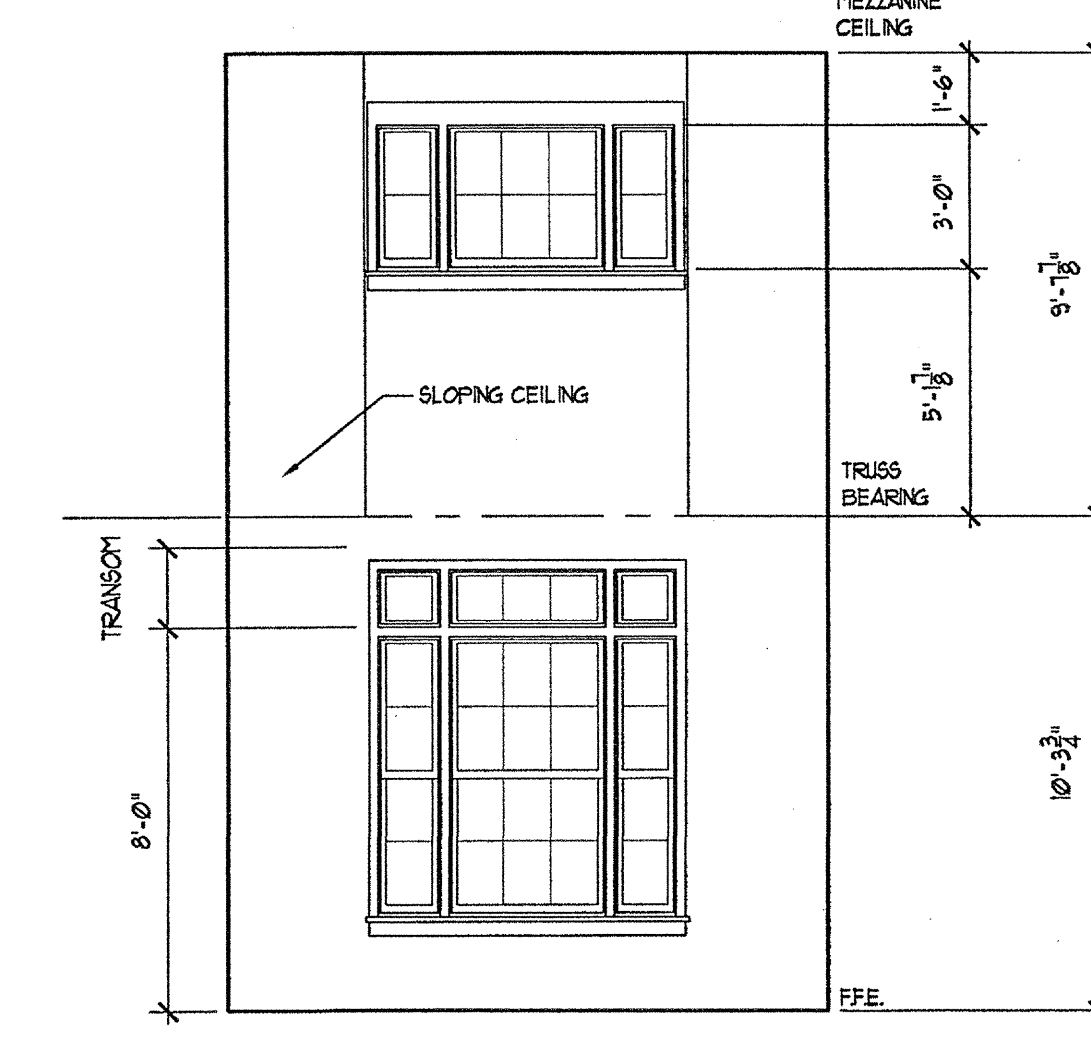
NOTE: SEE AI UNIT FOR FIRE WALL UNIT WIDTH REDUCTIONS



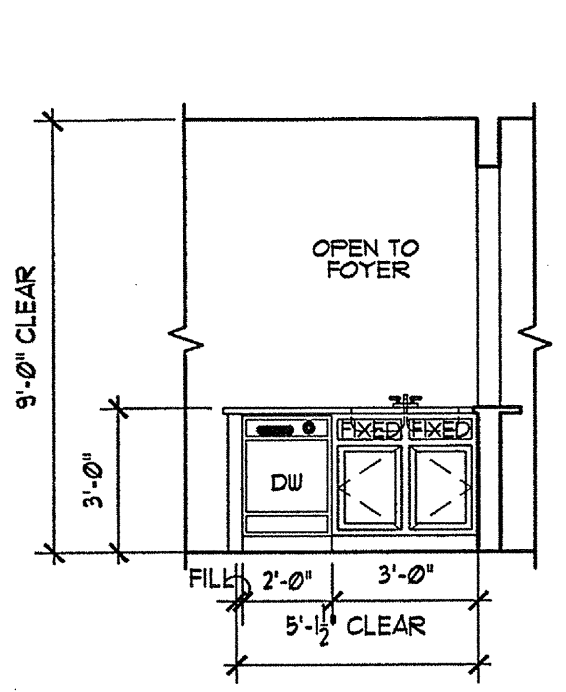
2 UNIT TYPE AI-LM FLOOR PLAN  
SCALE: 1/4"=1'-0"

NOTE: ALL DORMER WINDOWS ARE TO BE CENTERED ON WINDOWS BELOW REFER TO ELEVATIONS FOR LOCATIONS TYP.

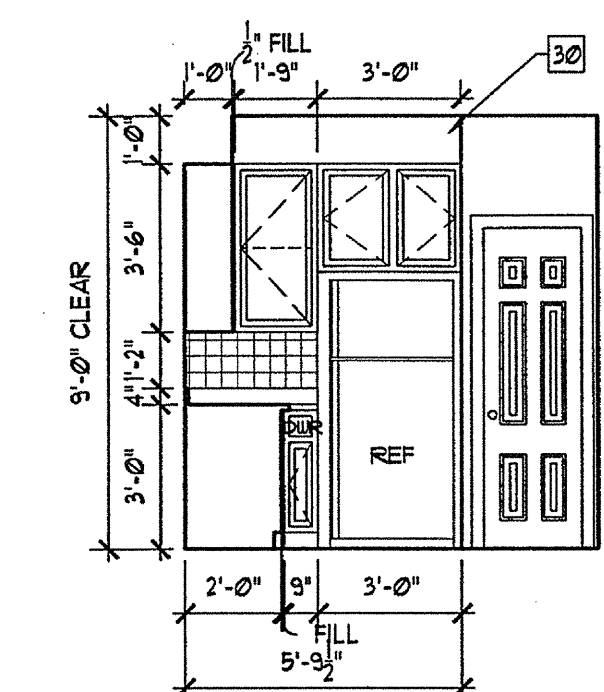
LOW WALL W/ CONTINUOUS HANDRAIL # 3/4" AFF PER DETAILS 1/A-13 & 1/A-13.5  
CONTINUOUS 1 1/2" DIAMETER WOOD HANDRAIL MOUNTED # 3/4" AFF PER DETAILS 1/A-13 & 1/A-13.5, SHT.



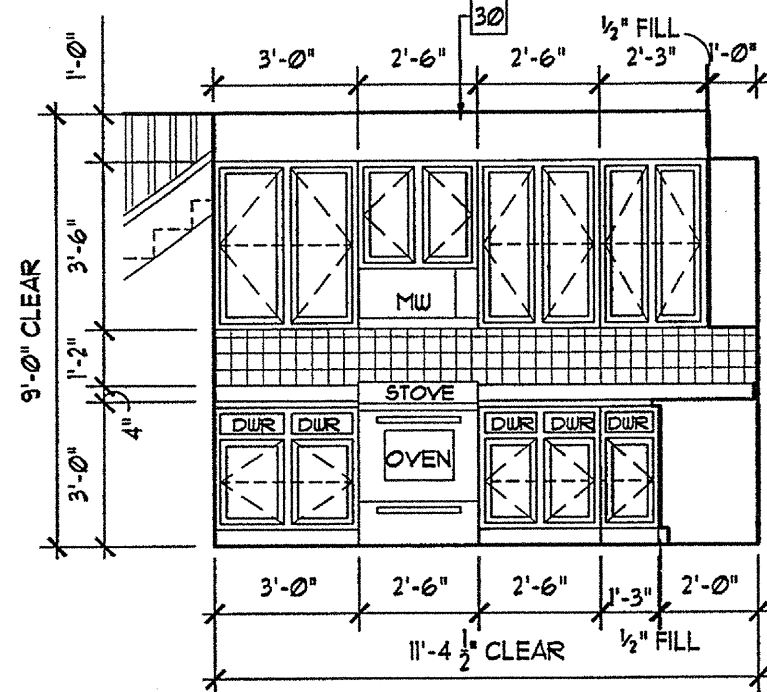
10 WALL ELEVATION  
SCALE: 1/4"=1'-0"



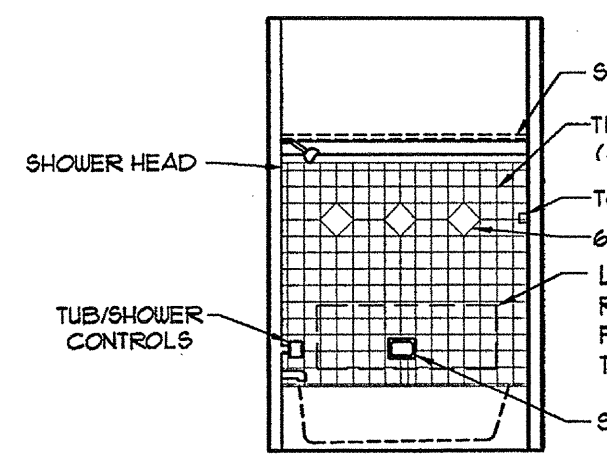
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SCALE: 1/4"=1'-0"



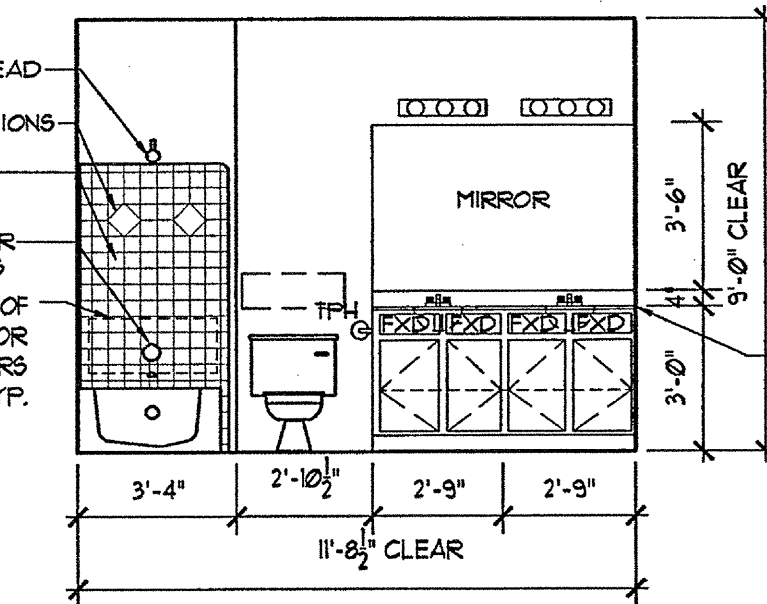
4 KITCHEN ELEVATION  
SCALE: 1/4"=1'-0"



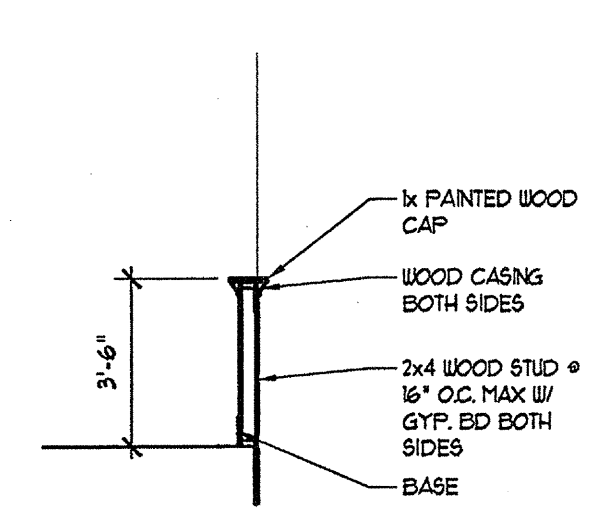
5 KITCHEN ELEVATION  
SCALE: 1/4"=1'-0"



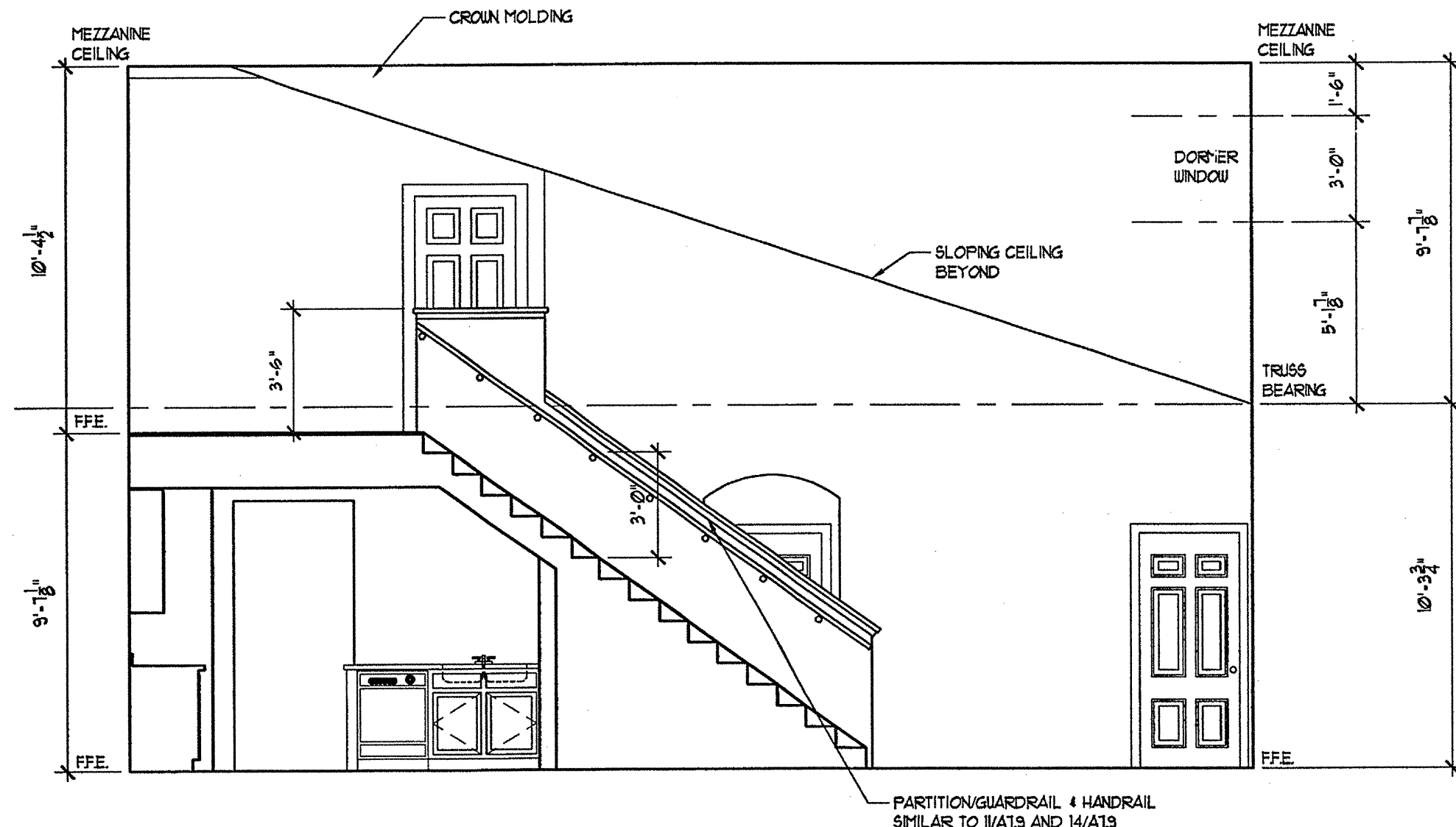
6 BATHROOM ELEVATION  
SCALE: 1/4"=1'-0"



7 BATHROOM ELEVATION  
SCALE: 1/4"=1'-0"



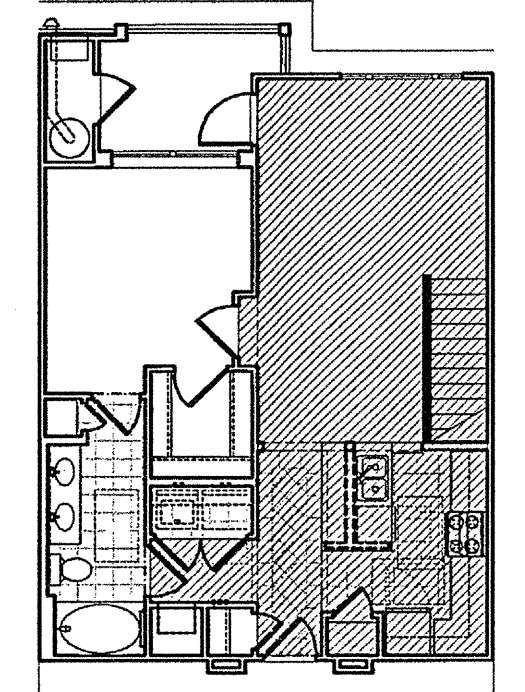
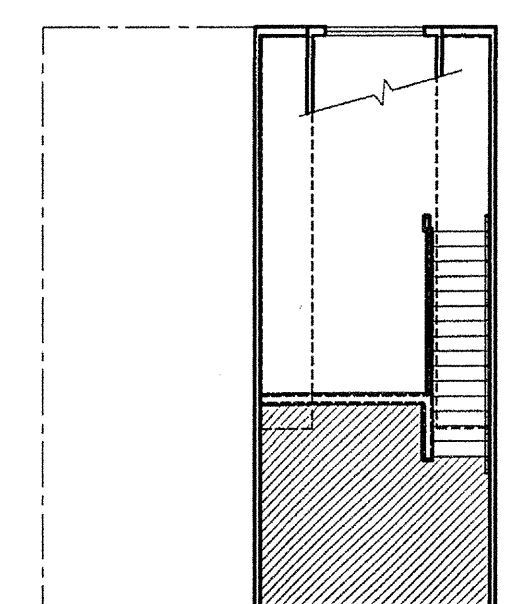
8 LOW WALL SECTION  
SCALE: 1/4"=1'-0"



9 STAIR SECTION  
SCALE: 1/4"=1'-0"

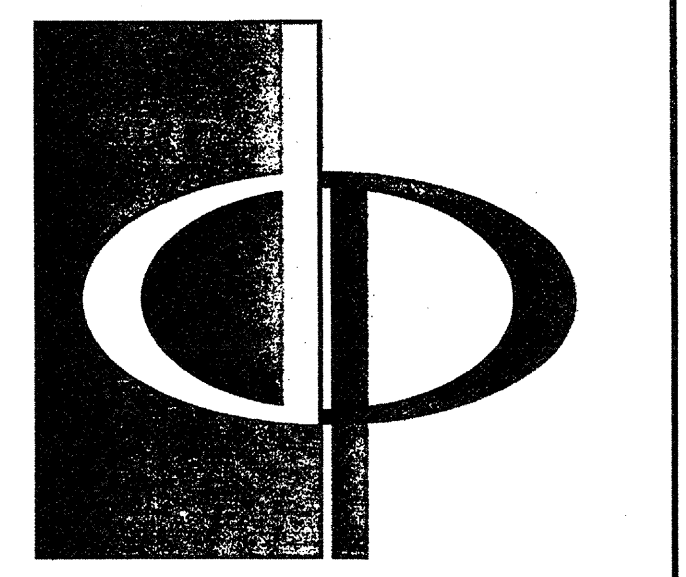
UNIT KEYNOTES

- 1 HVAC UNIT/WATER HEATER, SEE MECHANICAL DUGS.
- 2 WASHER CONNECTION/ DRYER VENT
- 3 FLOORING CHANGE
- 4 AIR CONDITIONER
- 5 DISHWASHER
- 6 REFRIGERATOR
- 7 RANGE W/ MICROWAVE ABOVE + VENTLESS HOOD
- 8 PANTRY
- 9 TOWEL BAR
- 10 TOILET PAPER HOLDER
- 11 LINEN CLOSET
- 12 36"x60" 1 PIECE FIBERGLASS GARDEN TUB + SKIRT
- 13 ELECTRIC PANEL
- 14 ROD + SHELF
- 15 DOUBLE ROD + SHELF
- 16 SHELVES
- 17 COMPUTER DESK LOCATION (NIC)
- 18 CROWN MOULDING
- 19 ARCHED CASED OPENING
- 20 CHAIR RAIL WITH PICTURE FRAME
- 21 ELONGATED TOILET
- 22 DBL. STAINLESS STEEL KIT. SINK W/ DISPENSOR
- 23 SGL INTEGRATED BOUL. CULT. MARBLE VANITY TOP
- 24 DBL INTEGRATED BOUL. CULT. MARBLE VANITY TOP
- 25 FLAT CASED OPENING
- 26 GAS FIREPLACE + VENTHOOD - "MAJESTIC" LIVER36 W/ MAJIC 18" @2000G/FTYR
- 27 36" SQUARE FIBERGLASS SHOWER PAN
- 28 TILE SURROUND - KITCHEN
- 29 48" NEO FIBERGLASS SHOWER PAN
- 30 DROP SOFFIT
- 31 CHAIR RAIL W/ PICTURE MOLDING BELOW  
NOTE: ARROWS INDICATE LOCATION, START AND STOP POINTS



MEZZANINE AREA CALCULATIONS  
SCALE: NTS

AREA OPEN TO MEZZANINE:	419 SF
MAXIMUM ALLOWABLE AREA: 1/3 OF 419 SF =	139 SF
ACTUAL MEZZANINE AREA:	130 SF



THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM  
1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
FAX: 770 396 2945  
WWW.THEPRESTONPARTNERSHIP.COM

CONSULTANT



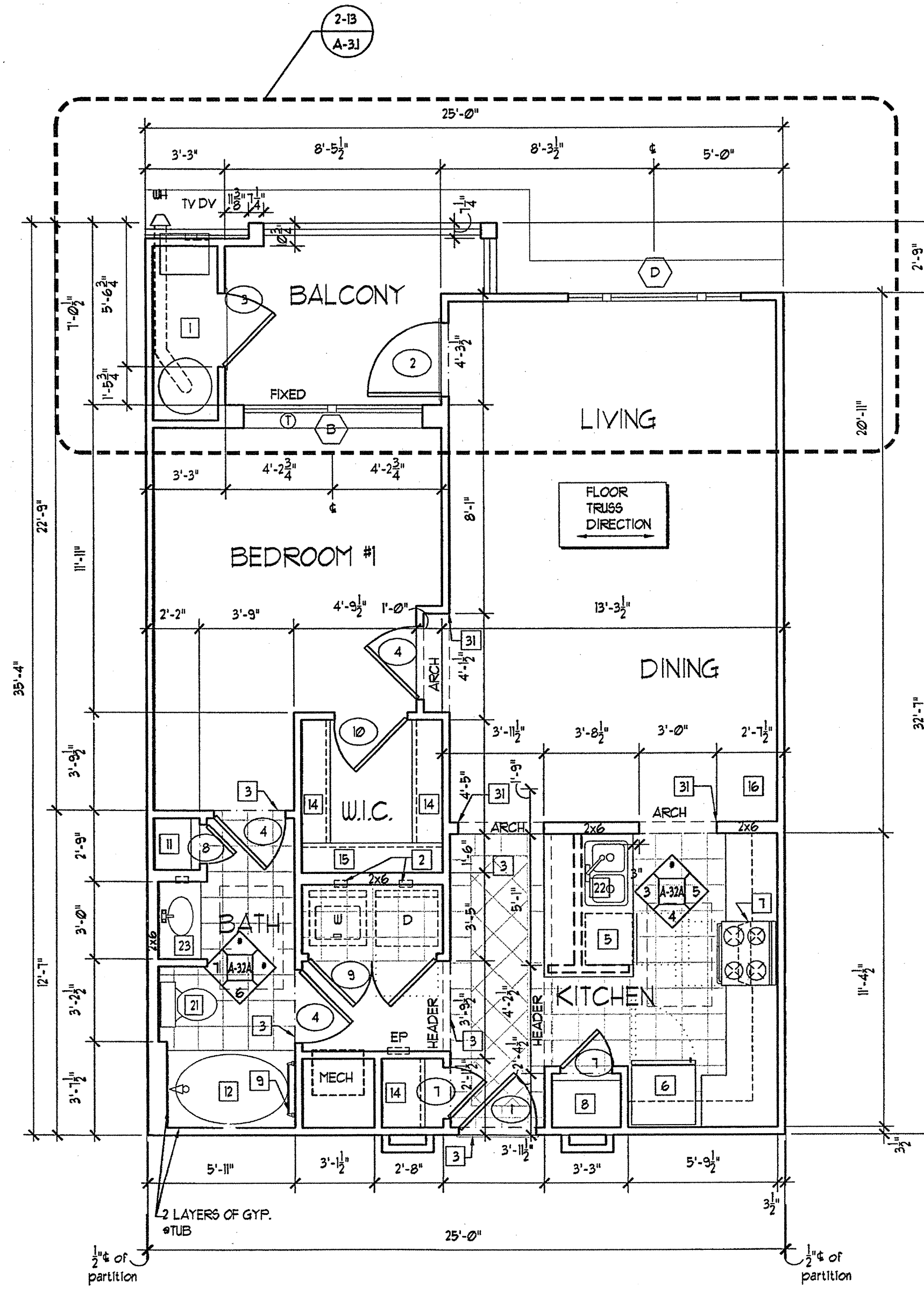
PROJECT  
ARCHSTONE  
KENTLANDS  
949 QUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

FOR  
ARCHSTONE  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-888-3353

REVISIONS  
RELEASED FOR CONSTRUCTION 01/31/03

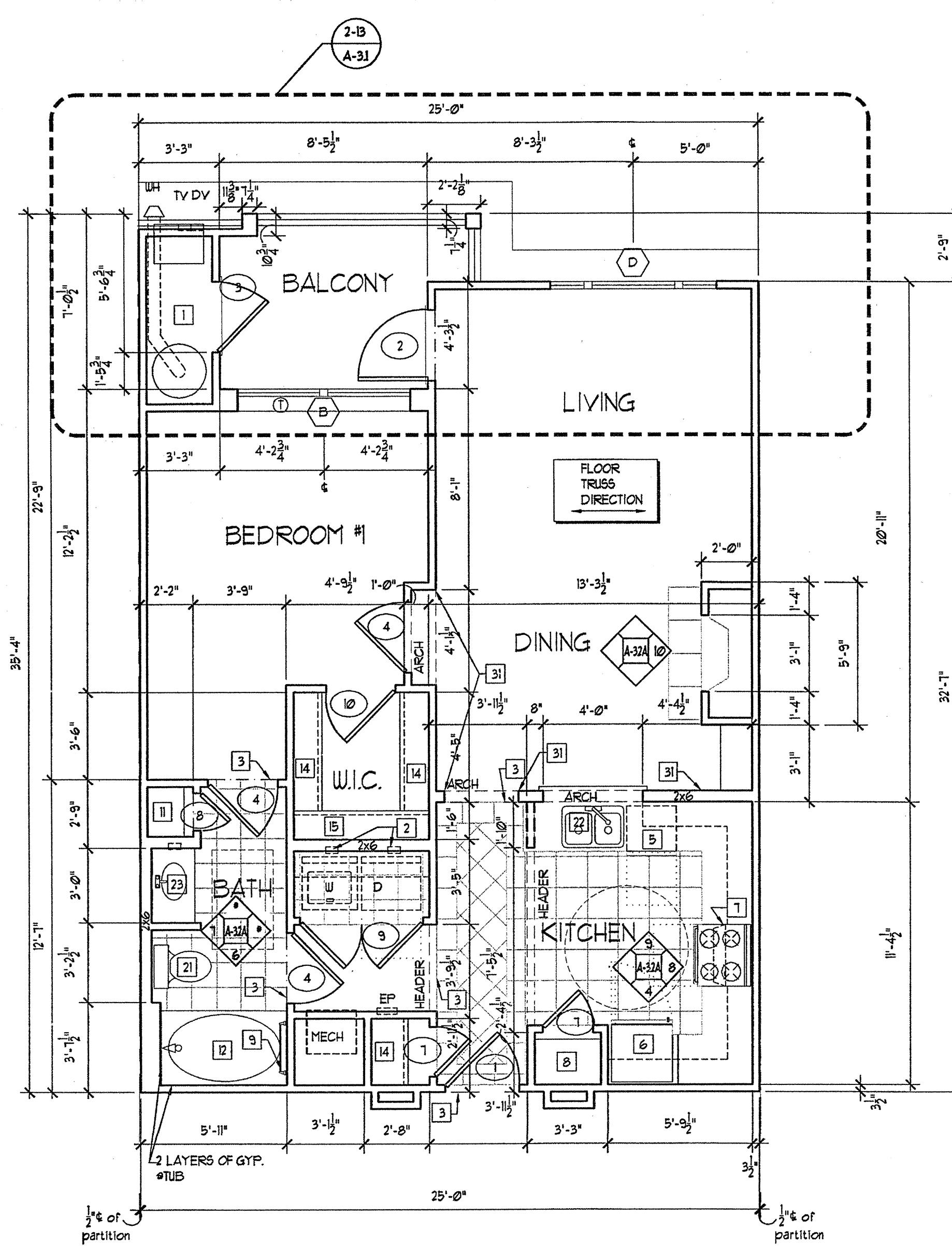
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JOB NUMBER	0211028
DRAWN BY	DA
CHECKED BY	STM
DRAWING TITLE	UNIT AI-LOFT FLOOR PLANS & INTERIOR ELEVATIONS
DRAWING NUMBER	A-32

COMMENTS



1 UNIT TYPE A2 FLOOR PLAN  
A-32A SCALE 1/4"=1'-0"

NOTE: SEE AI UNIT FOR FIRE WALL UNIT WIDTH REDUCTIONS

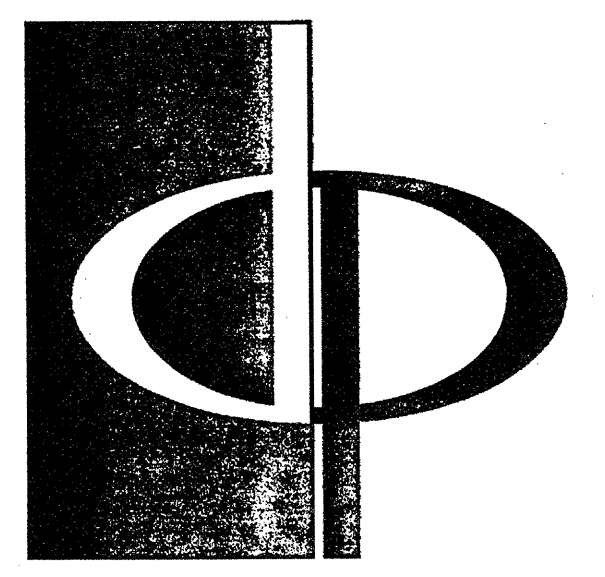


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A-32A SCALE 1/4"=1'-0"

NOTE: SEE AI UNIT FOR FIRE WALL UNIT WIDTH REDUCTIONS

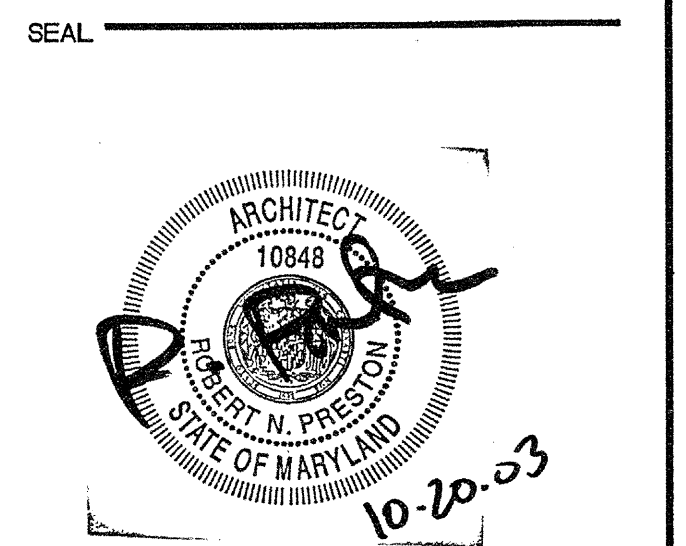
UNIT KEYNOTES

- 1 HVAC UNIT/WATER HEATER SEE MECHANICAL DIAGS.
  - 2 WASHER CONNECTION/ DRYER VENT
  - 3 FLOORING CHANGE
  - 4 AIR CONDITIONER
  - 5 DISHWASHER
  - 6 REFRIGERATOR
  - 7 RANGE w/ MICROWAVE ABOVE 4 VENTLESS HOOD
  - 8 PANTRY
  - 9 TOILET BAR
  - 10 TOILET PAPER HOLDER
  - 11 LINEN CLOSET
  - 12 36"x60" 1 PIECE FIBERGLASS GARDEN TUB 4 SKIRT
  - 13 ELECTRIC PANEL
  - 14 ROD 4 SHELF
  - 15 DOUBLE ROD 4 SHELF
  - 16 SHELVES
  - 17 COMPUTER DESK LOCATION (NIC)
  - 18 CROWN MOULDING
  - 19 ARCHED CASING OPENING
  - 20 CHAIR RAIL WITH PICTURE FRAME
  - 21 ELONGATED TOILET
  - 22 DEL. STAINLESS STEEL KIT. SINK w/ DISPENSOR
  - 23 DEL. INTEGRATED BOUL. CULT. MARBLE VANITY TOP
  - 24 DEL. INTEGRATED BOUL. CULT. MARBLE VANITY TOP
  - 25 FLAT CASING OPENING
  - 26 GAS FIREPLACE 4 VENTHOOD- "MAJESTIC" OVER 36" w/ MAJIC 18" 620006/PYTB
  - 27 36" SQUARE FIBERGLASS SHOWER PAN
  - 28 TILE SURROUND \* KITCHEN
  - 29 48" NEO FIBERGLASS SHOWER PAN
  - 30 DROP SOFFIT
  - 31 CHAIR RAIL w/ PICTURE HOLDING BELOW
- NOTE: ARROWS INDICATE LOCATION, START AND STOP POINTS



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CONSULTANT



PROJECT  
ARCHSTONE  
KENTLANDS  
949 QUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

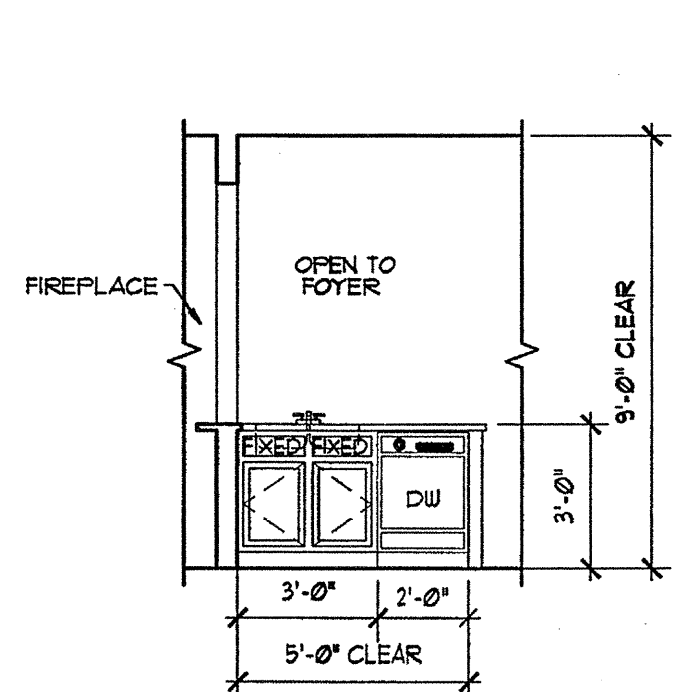
FOR

ARCHSTONE  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

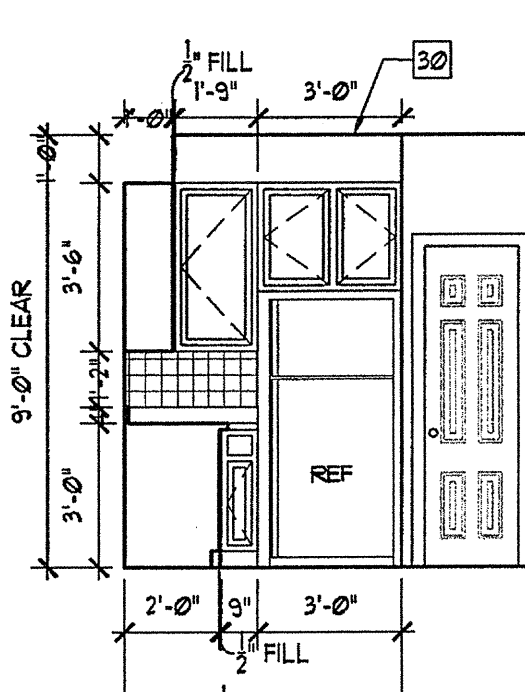
REVISIONS  
RELEASED FOR CONSTRUCTION 07/18/03

DATE \_\_\_\_\_  
JOB NUMBER 01/31/03  
DRAWN BY 02/11/03  
CHECKED BY DA  
DRAWING TITLE STM

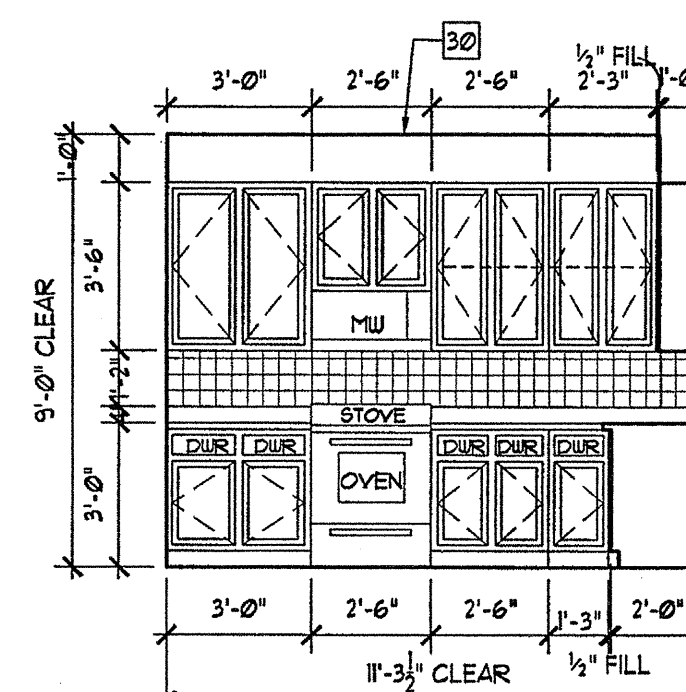
UNIT A2 & A3 FLOOR PLANS  
& INTERIOR ELEVATIONS  
DRAWING NUMBER  
A-32A  
COMMENTS



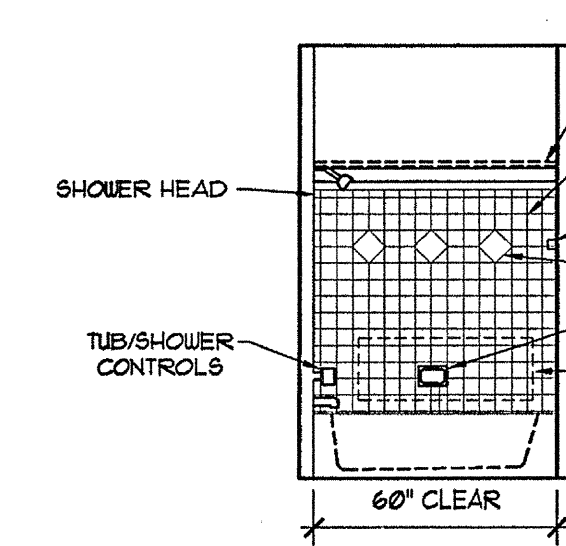
3 KITCHEN ELEVATION  
A-32A SCALE 1/4"=1'-0"



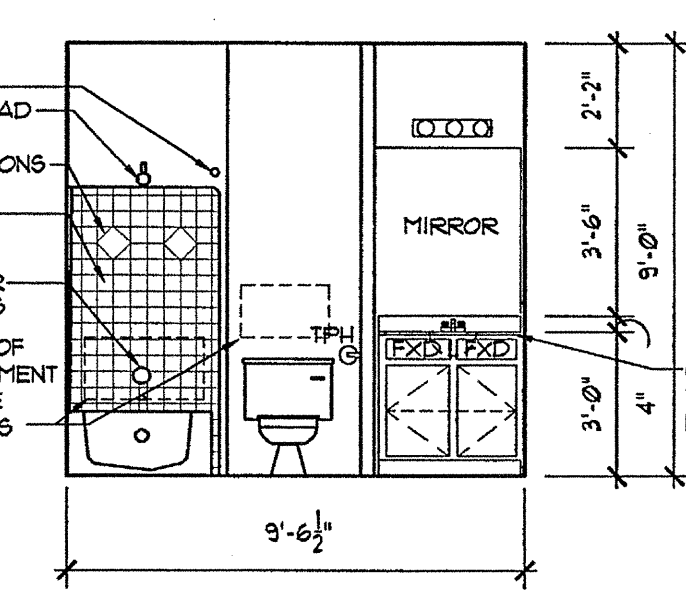
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A-32A SCALE 1/4"=1'-0"



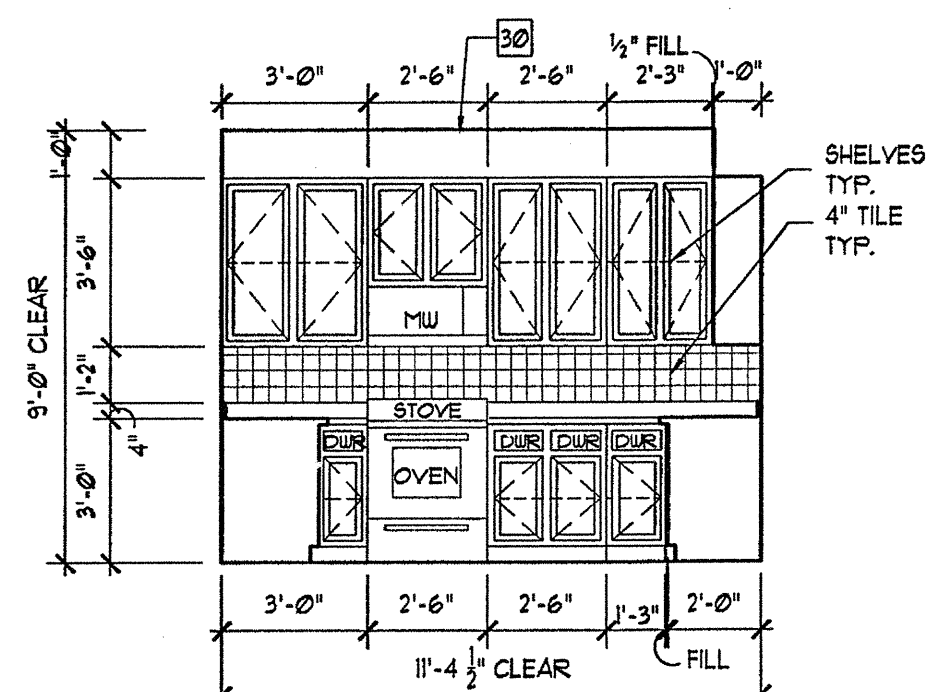
5 KITCHEN ELEVATION  
A-32A SCALE 1/4"=1'-0"



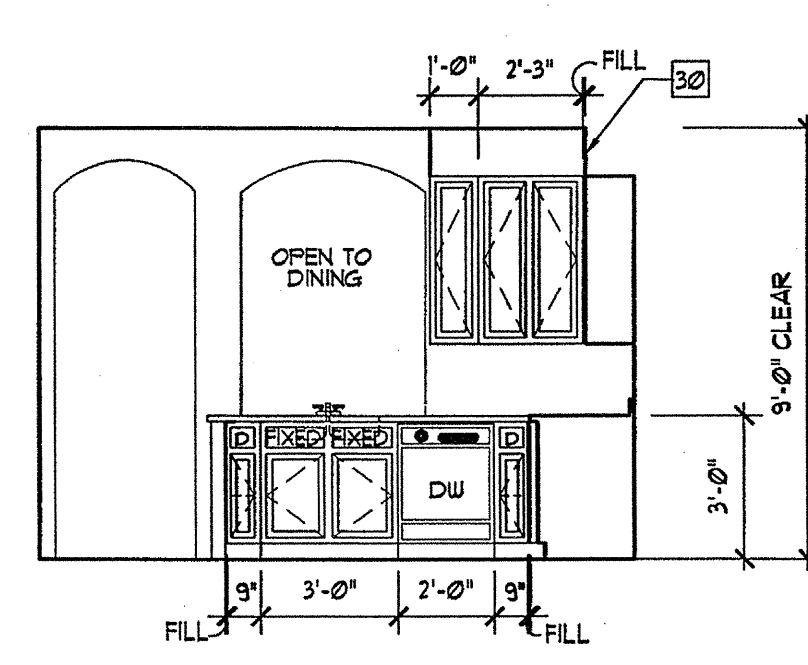
6 BATHROOM ELEVATION  
A-32A SCALE 1/4"=1'-0"



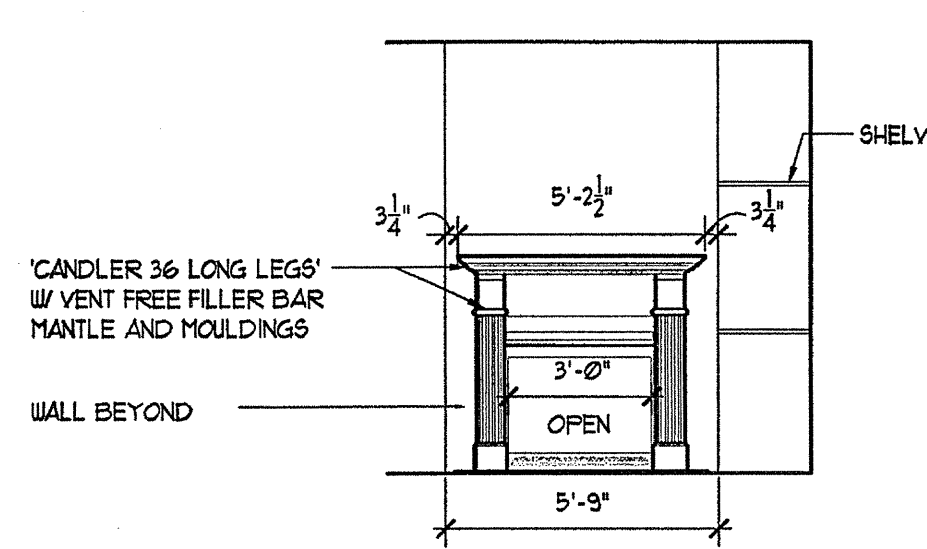
7 BATHROOM ELEVATION  
A-32A SCALE 1/4"=1'-0"



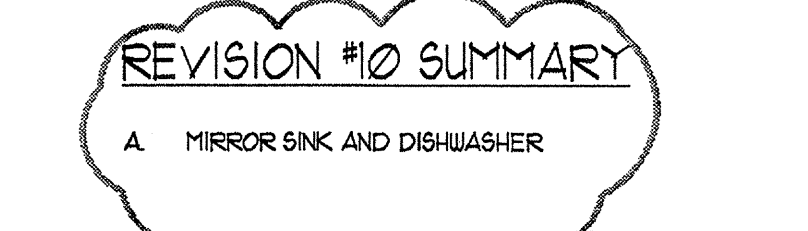
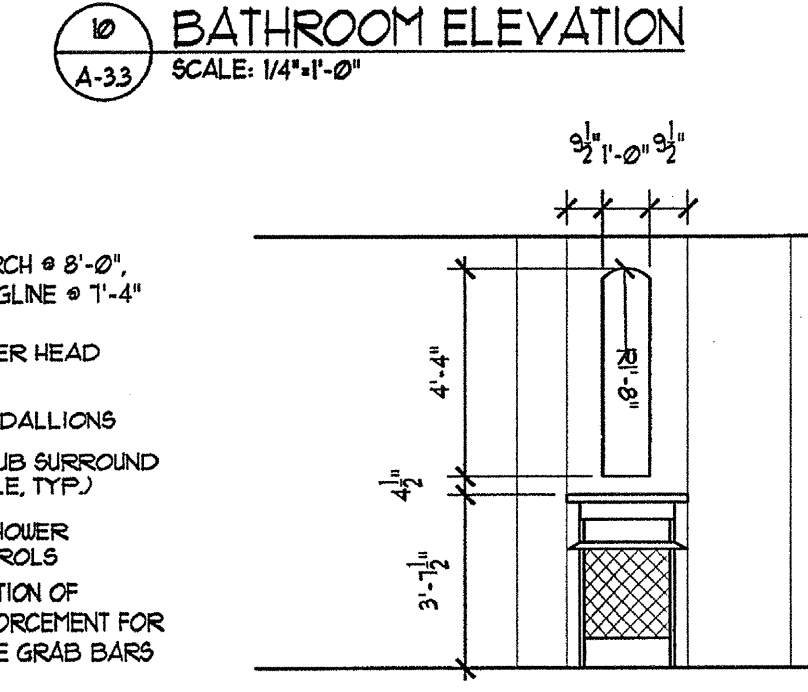
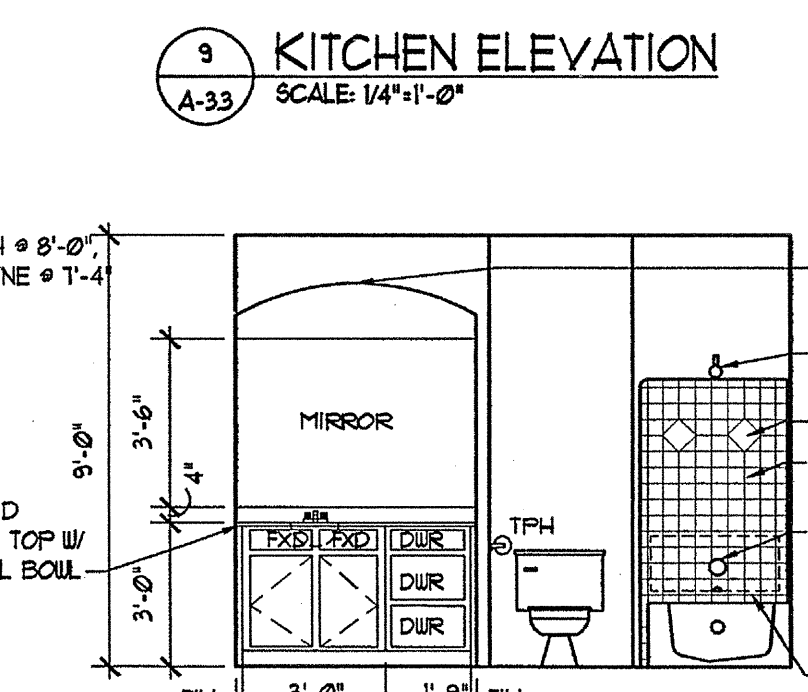
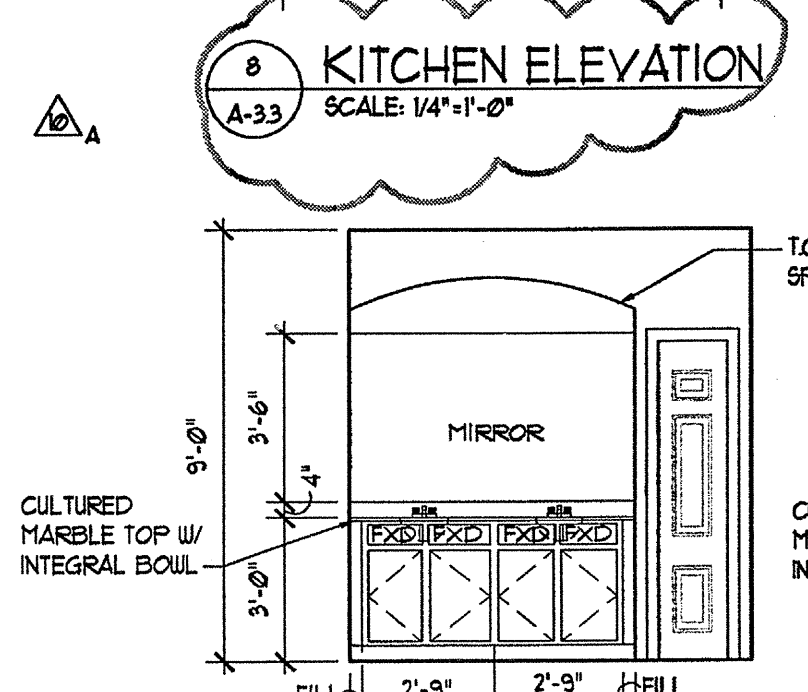
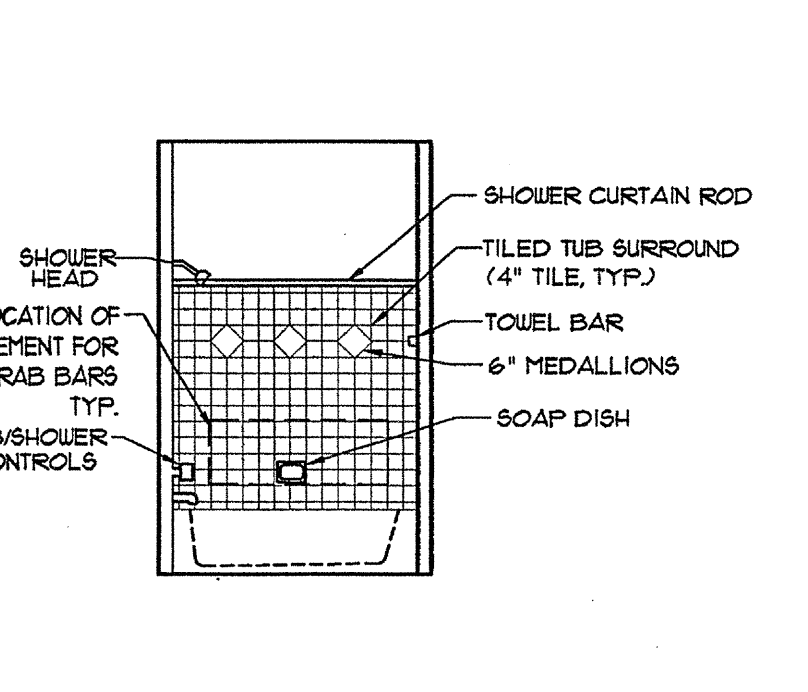
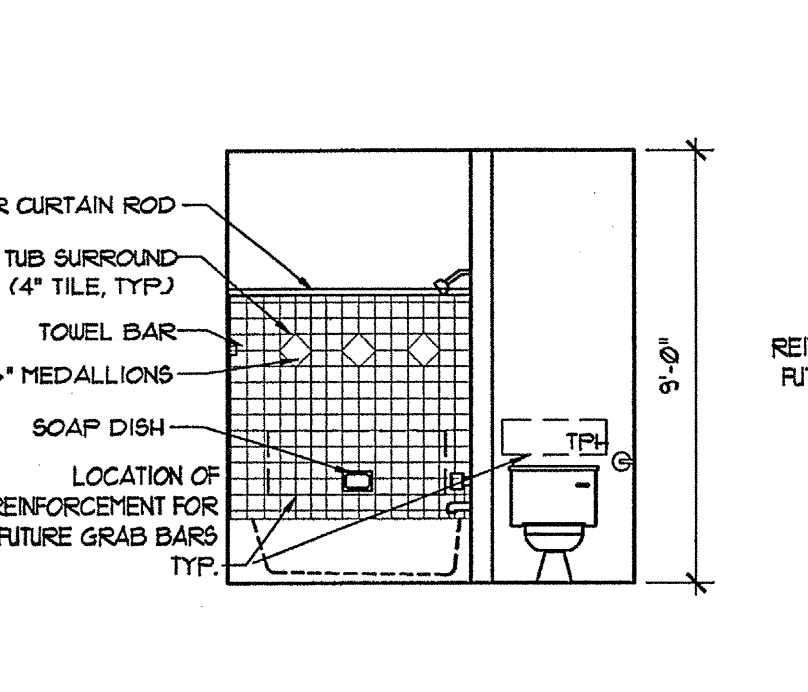
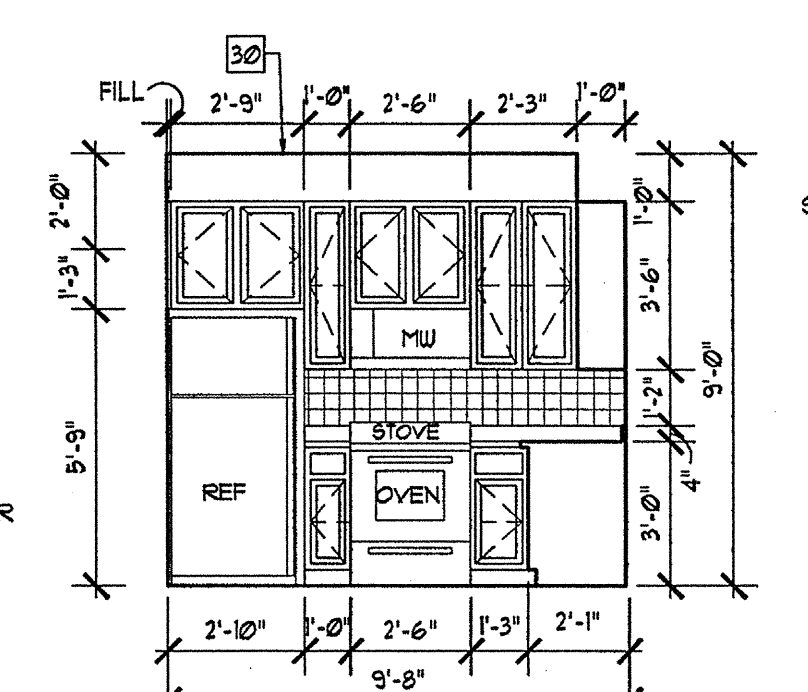
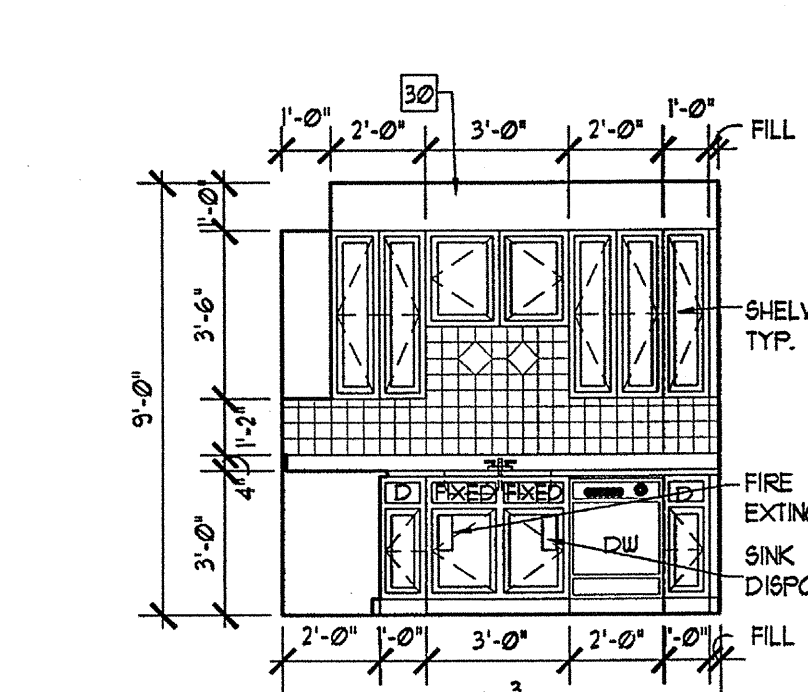
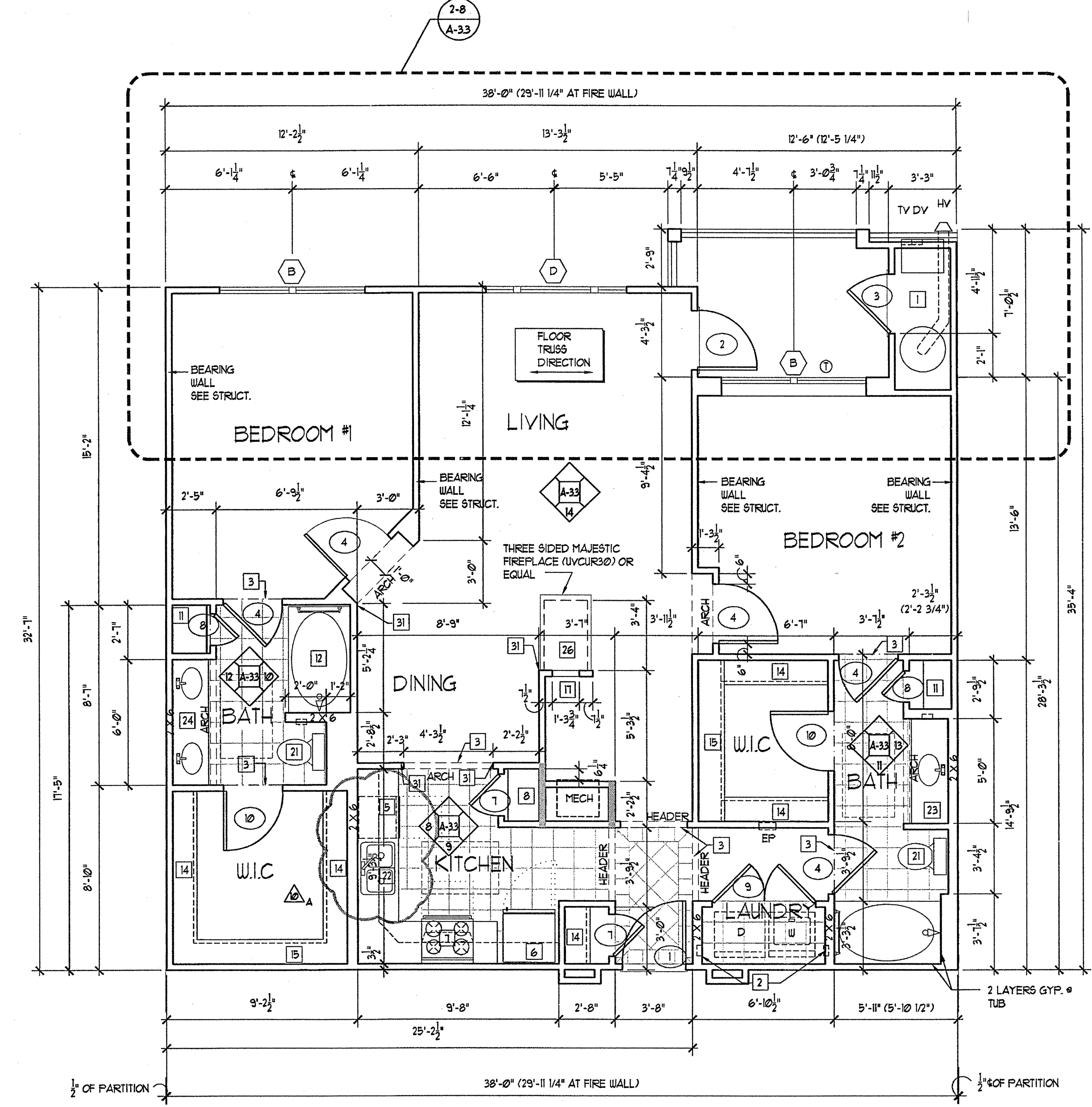
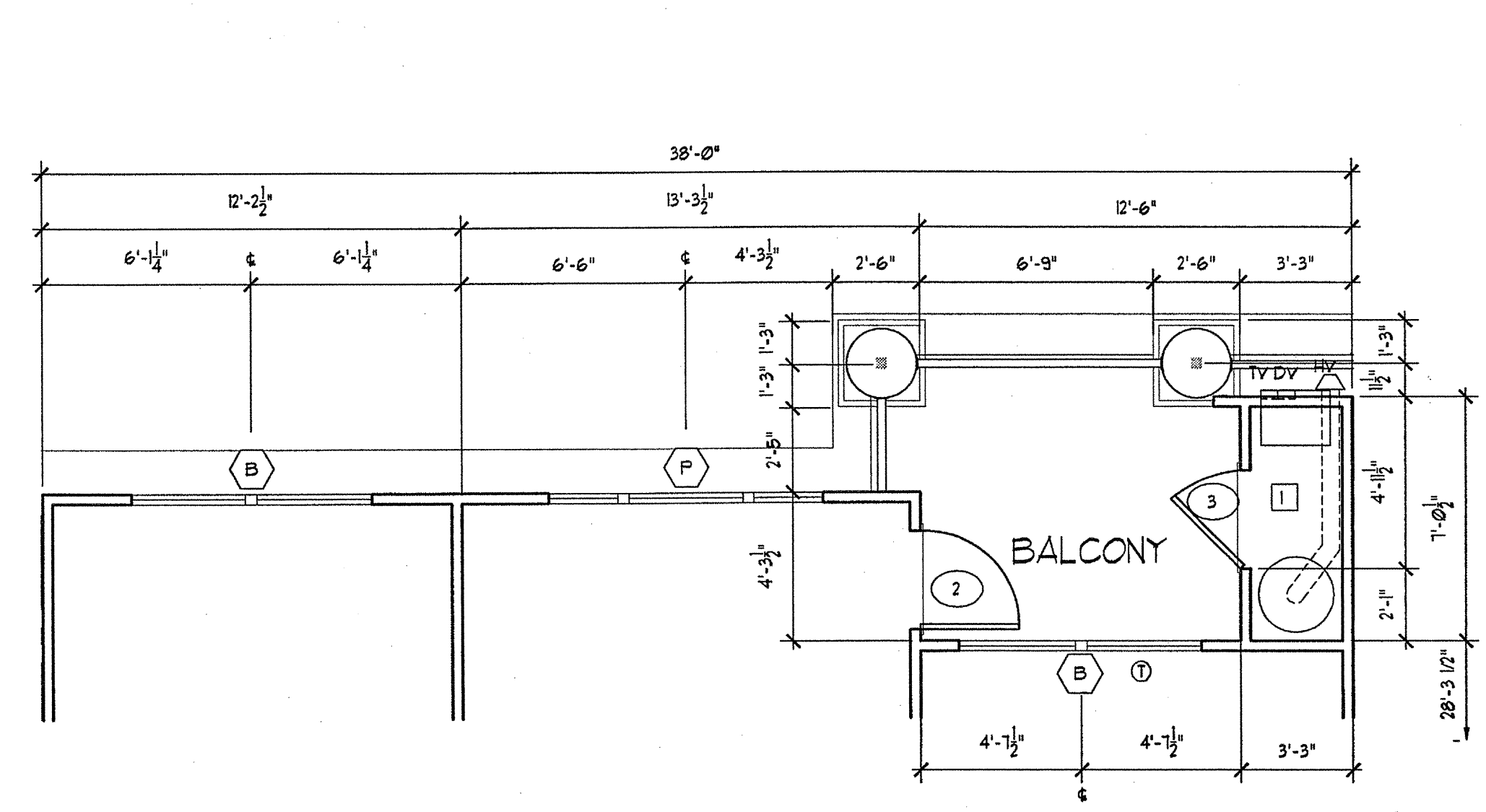
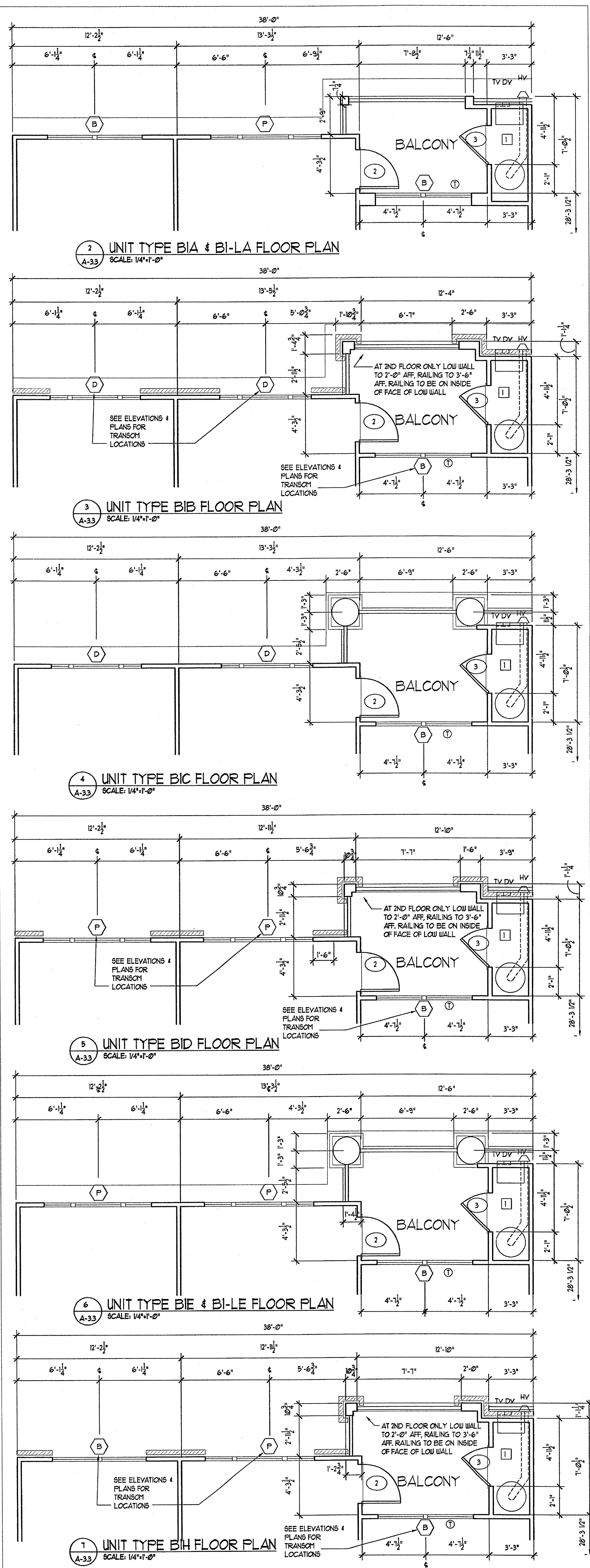
8 KITCHEN ELEVATION  
A-32A SCALE 1/4"=1'-0"



9 KITCHEN ELEVATION  
A-32A SCALE 1/4"=1'-0"

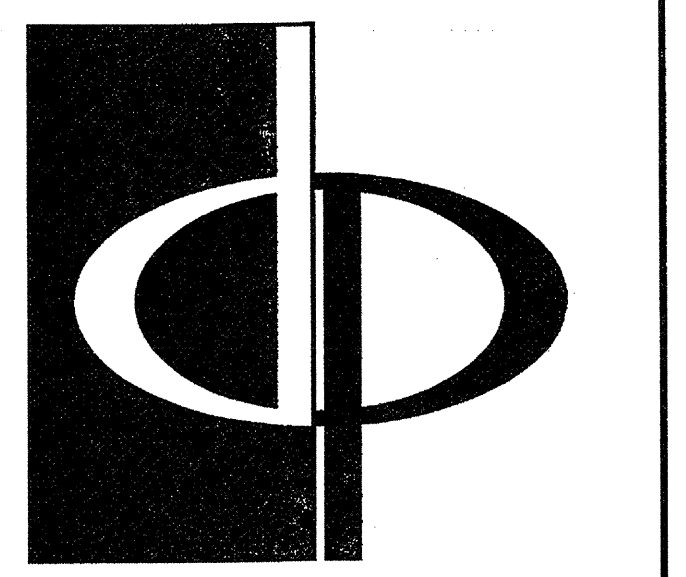


10 FIREPLACE ELEVATION  
A-32A SCALE 1/4"=1'-0"



**UNIT KEYNOTES**

- HVAC UNIT/BAKER HEATER, SEE MECHANICAL DUGS.
- WASHER CONNECTION/ DRYER VENT
- FLOORING CHANGE
- AIR CONDITIONER
- DISHWASHER
- REFRIGERATOR
- RANGE W/ MICROWAVE ABOVE & VENTLESS HOOD
- PANTRY
- TOILET BAR
- TOILET PAPER HOLDER
- LINEN CLOSET
- 36"x60" 1 PIECE FIBERGLASS GARDEN TUB & SKIRT
- ELECTRIC PANEL
- ROD & SHELF
- DOUBLE ROD & SHELF
- SHELVES
- COMPUTER DESK LOCATION (N/C)
- CROWN MOLDING
- ARCHED CASING OPENING
- CHAIR RAIL WITH PICTURE FRAME
- ELONGATED TOILET
- DEL. STAINLESS STEEL KIT. SINK W/ DISPENSOR
- DEL. INTEGRATED BOUL. CULT. MARBLE VANITY TOP
- DEL. INTEGRATED BOUL. CULT. MARBLE VANITY TOP
- FLAT CASING OPENING
- GAS FIREPLACE & VENTHOOD - "MAJESTIC" UVER36 W/ MAJIC 18" GR0006-FYTB
- 36" SQUARE FIBERGLASS SHOWER PAN
- TILE SURROUND - KITCHEN
- 48" NEO FIBERGLASS SHOWER PAN
- DROPP SOFIT
- CHAIR RAIL W/ PICTURE HOLDING BELOW NOTE: ARROWS INDICATE LOCATION, START AND STOP POINTS.

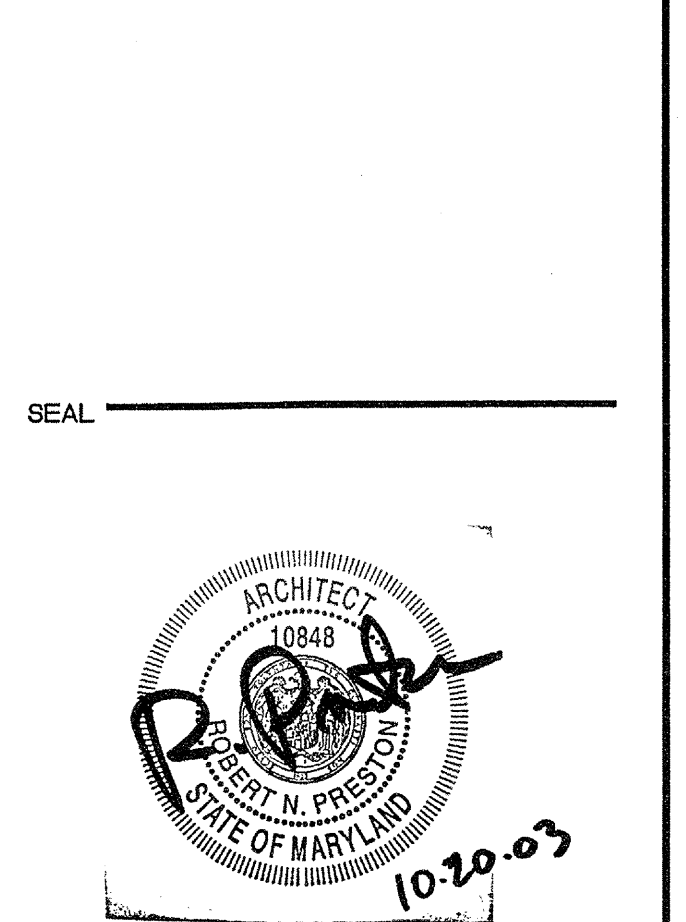


**THE PRESTON PARTNERSHIP, LLC**  
A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
FAX: 770 396 2945  
WWW.THEPRESTONPARTNERSHIP.COM

CONSULTANT \_\_\_\_\_

SEAL \_\_\_\_\_



PROJECT  
**ARCHSTONE KENTLANDS**  
949 QUINCE ORCHARD ROAD  
GAITHERSBURG, MARYLAND

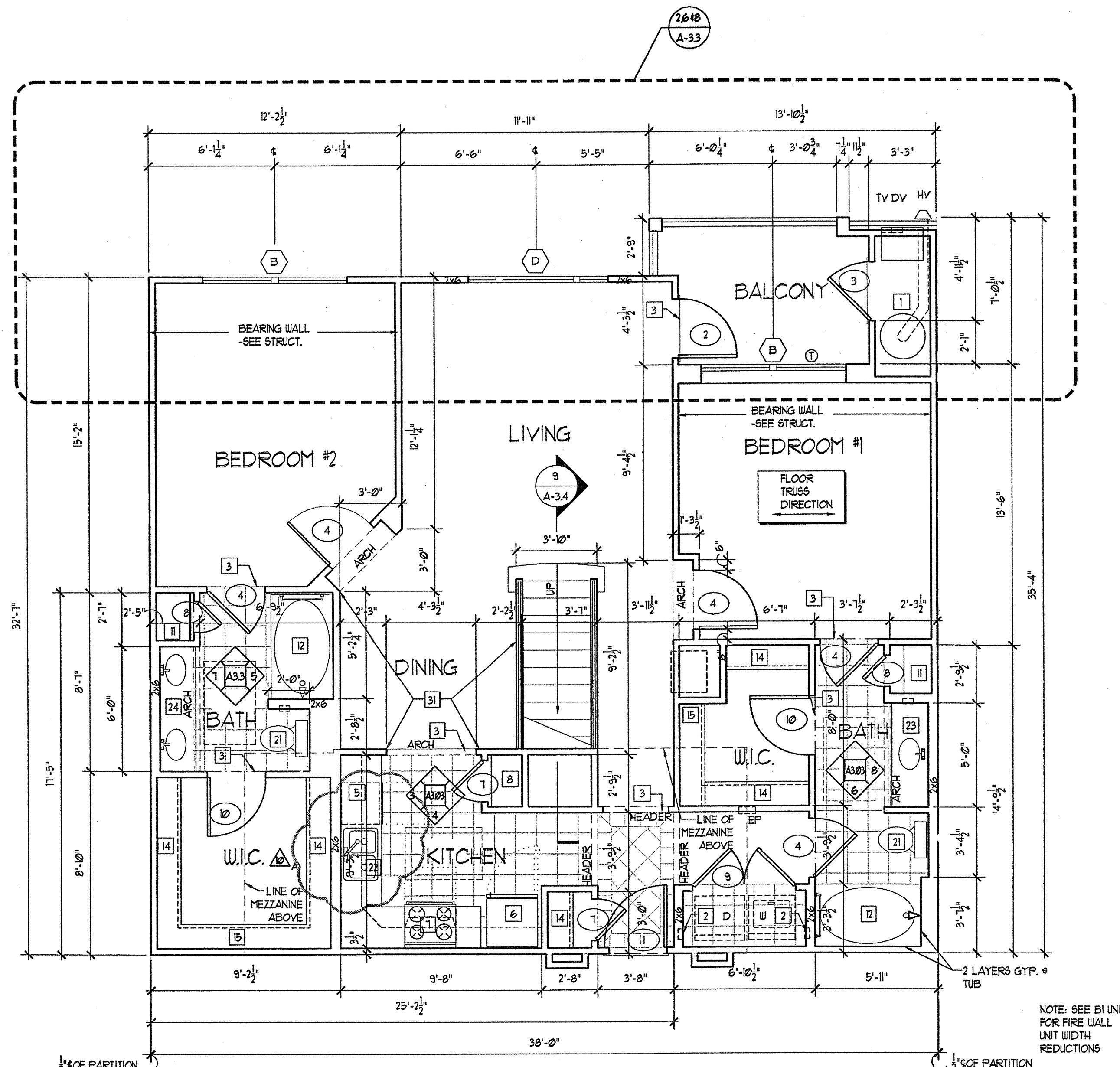
FOR \_\_\_\_\_

**ARCHSTONE COMMUNITIES**  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

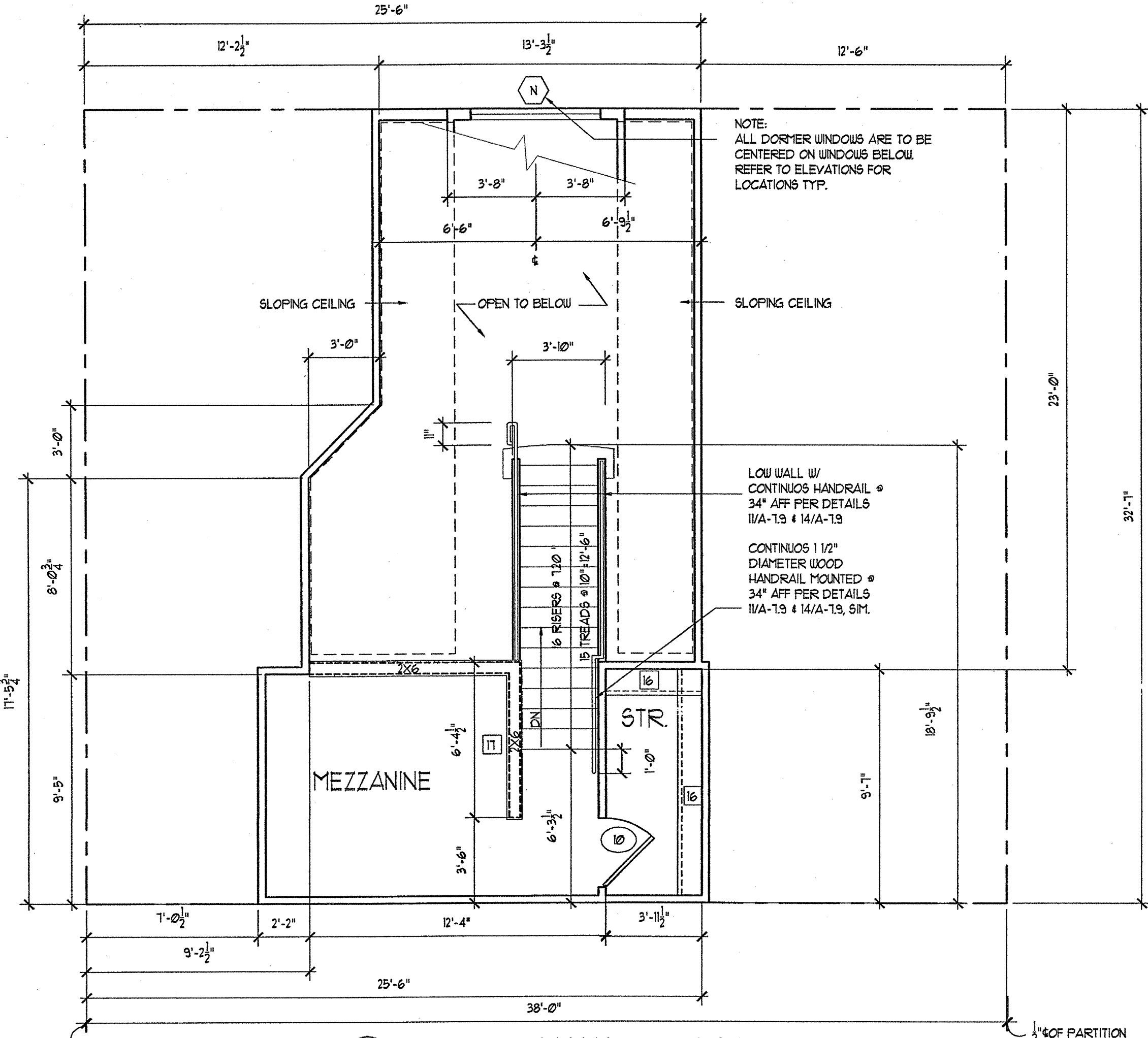
REVISIONS  
RELEASED FOR CONSTRUCTION 07/18/03  
TOM POPOFF REVIEW COMMENTS 07/18/03

DATE 01/31/03  
JOB NUMBER  
DRAWN BY DA  
CHECKED BY STM  
DRAWING TITLE  
DRAWING NUMBER

**UNIT BI FLOOR PLANS & INT. ELEV'S**  
DRAWING NUMBER **A-33**  
COMMENTS

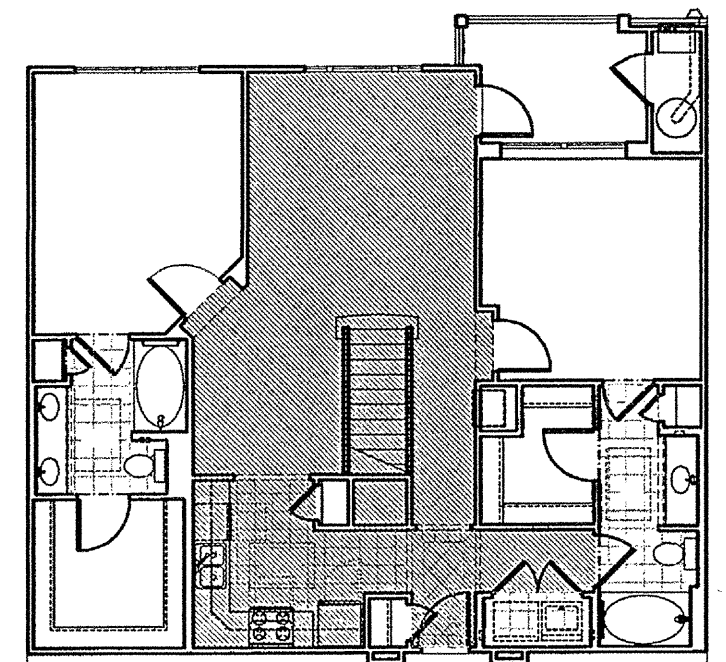


1 UNIT TYPE BI-L FLOOR PLAN  
SCALE: 1/4"=1'-0"



2 UNIT TYPE BI-LM FLOOR PLAN  
SCALE: 1/4"=1'-0"

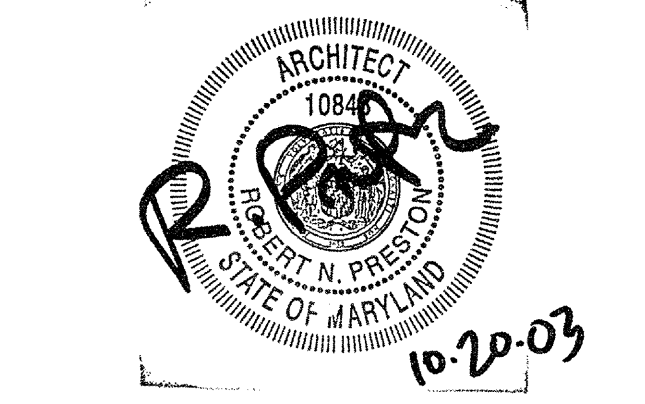
- UNIT KEYNOTES**
- HVAC UNIT/WATER HEATER SEE MECHANICAL DUGS.
  - WASHER CONNECTION DRYER VENT
  - FLOORING CHANGE
  - AIR CONDITIONER
  - DISHWASHER
  - REFRIGERATOR
  - RANGE W/ MICROVAPE ABOVE 4 VENTLESS HOOD
  - PANTRY
  - TOWEL BAR
  - TOILET PAPER HOLDER
  - LINEN CLOSET
  - 36"x60" 1 PIECE, FIBERGLASS GARDEN TUB 4 SKURT
  - ELECTRIC PANEL
  - ROD 4 SHELF
  - DOUBLE ROD 4 SHELF
  - SHELVES
  - COMPUTER DESK LOCATION (NIC)
  - CROWN MOULDING
  - ARCHED CASED OPENING
  - CHAIR RAIL WITH PICTURE FRAME
  - ELONGATED TOILET
  - DEL. STAINLESS STEEL KIT, SINK W/ DISPENSOR
  - 6GL INTEGRATED BOUL. CULT. MARBLE VANITY TOP
  - DEL. INTEGRATED BOUL. CULT. MARBLE VANITY TOP
  - FLAT CASED OPENING
  - GAS FIREPLACE 4 VENTHOOD - "MAJESTIC" LIVER36 W/ MAJIC 18" 62"x26"x17" FB
  - 36" SQUARE FIBERGLASS SHOWER PAN
  - TILE SURROUND 4 KITCHEN
  - 48" NEO FIBERGLASS SHOWER PAN



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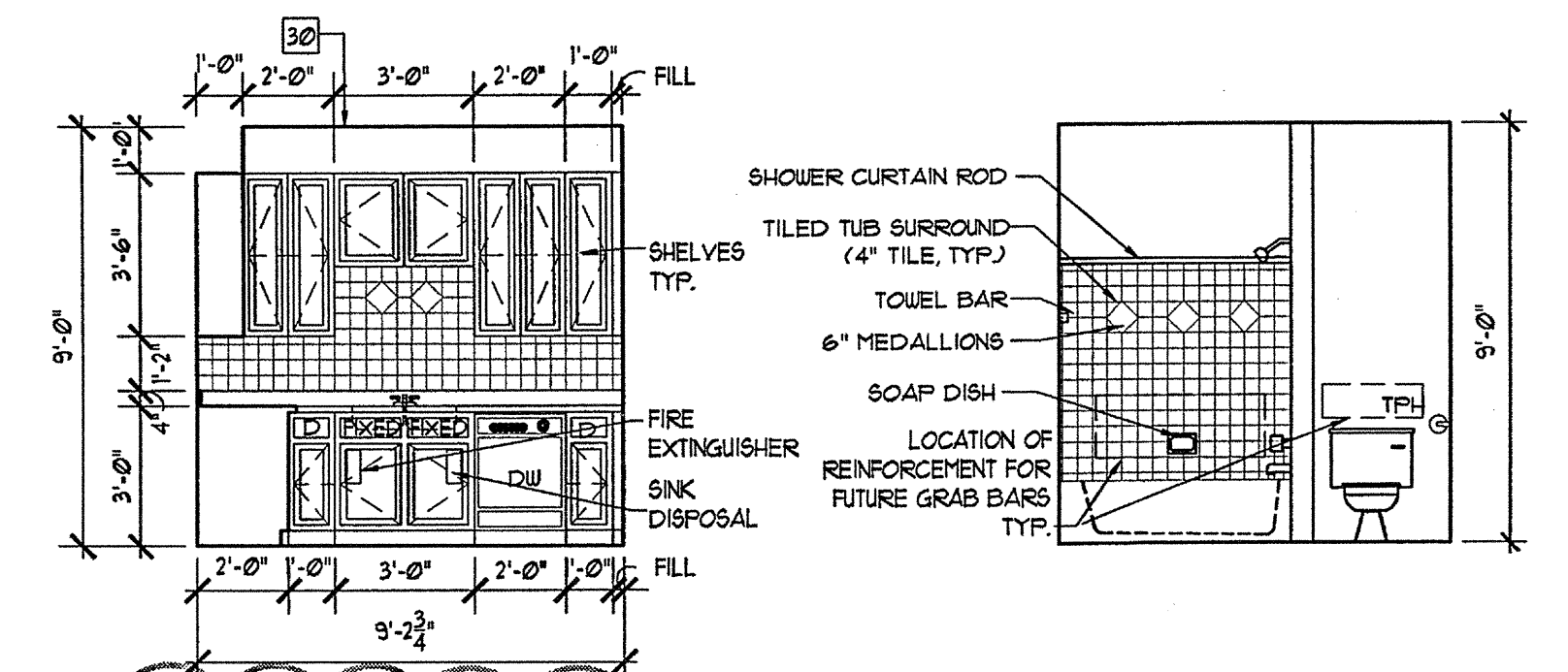
CONSULTANT



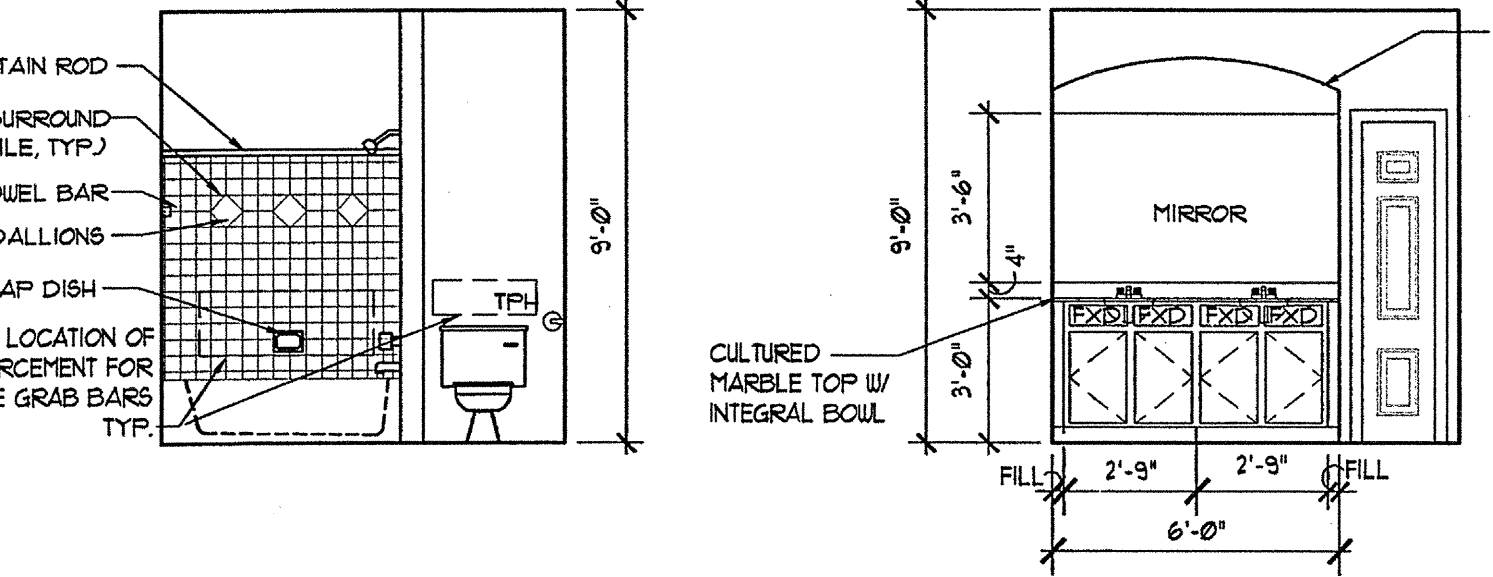
PROJECT  
**ARCHSTONE KENTLANDS**  
949 QUINCE ORCHARD ROAD  
GAITHERSBURG, MARYLAND

FOR

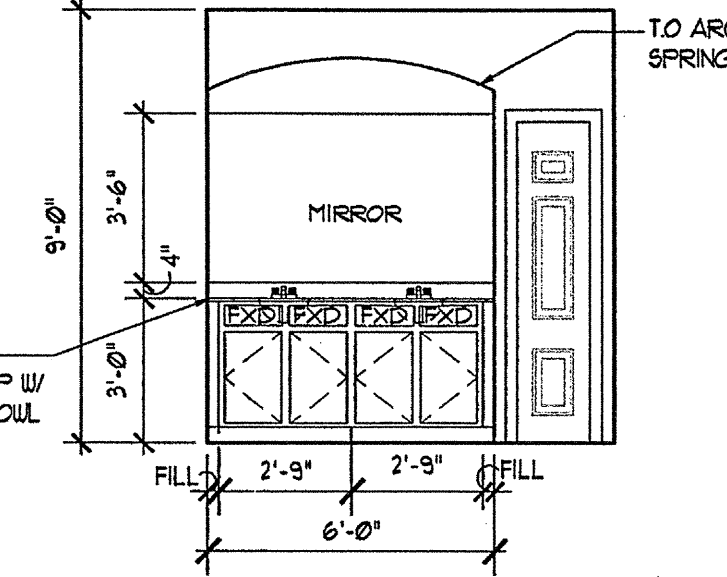
**ARCHSTONE COMMUNITIES**  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353



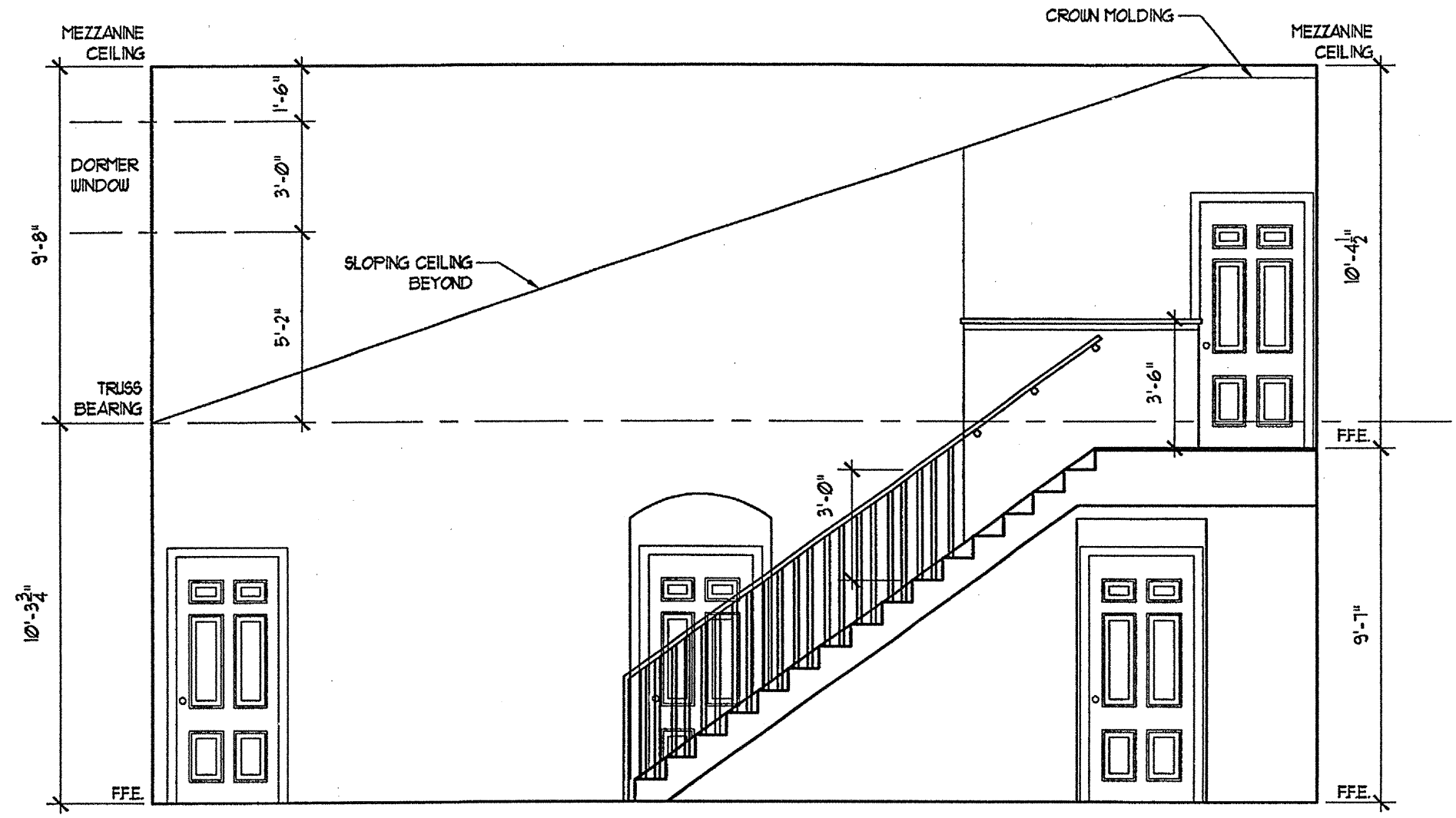
3 KITCHEN ELEVATION  
SCALE: 1/4"=1'-0"



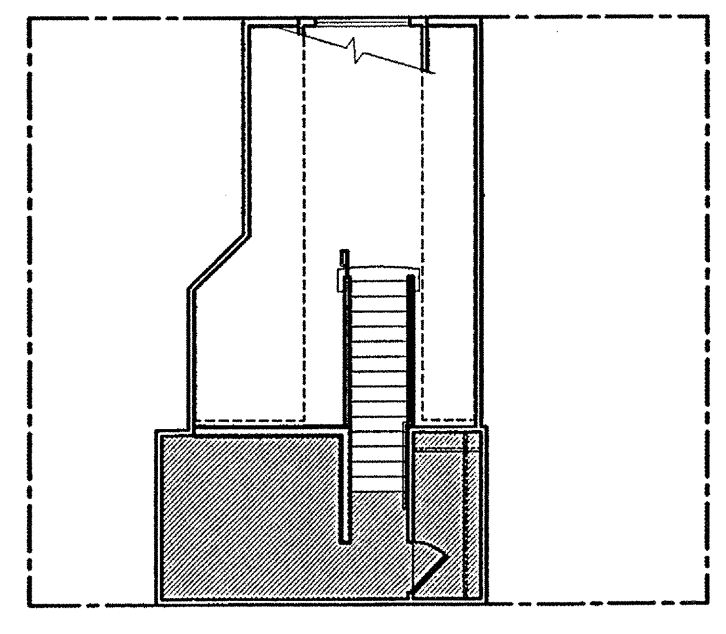
5 BATHROOM ELEVATION  
SCALE: 1/4"=1'-0"



7 BATHROOM ELEVATION  
SCALE: 1/4"=1'-0"

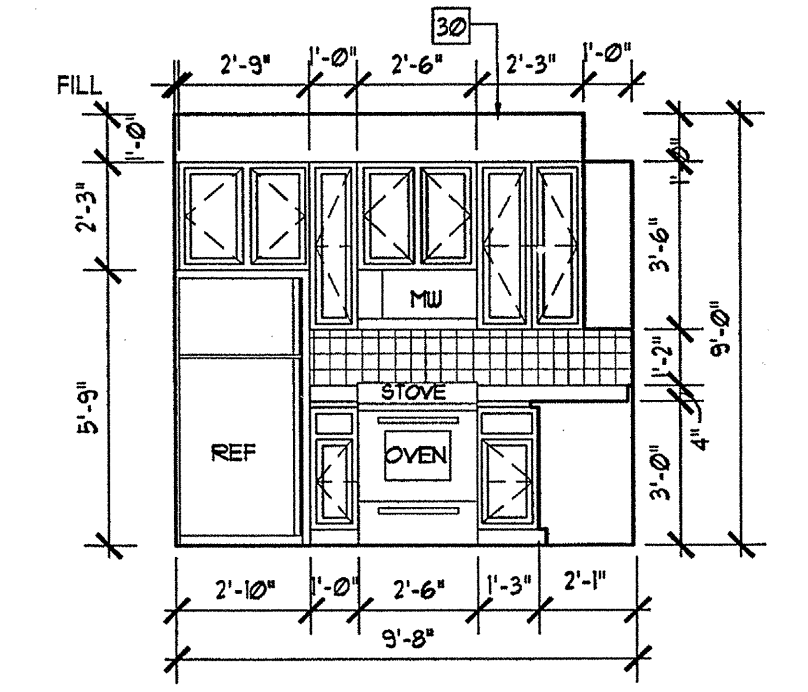


9 MEZZANINE STAIR SECTION  
SCALE: 1/4"=1'-0"

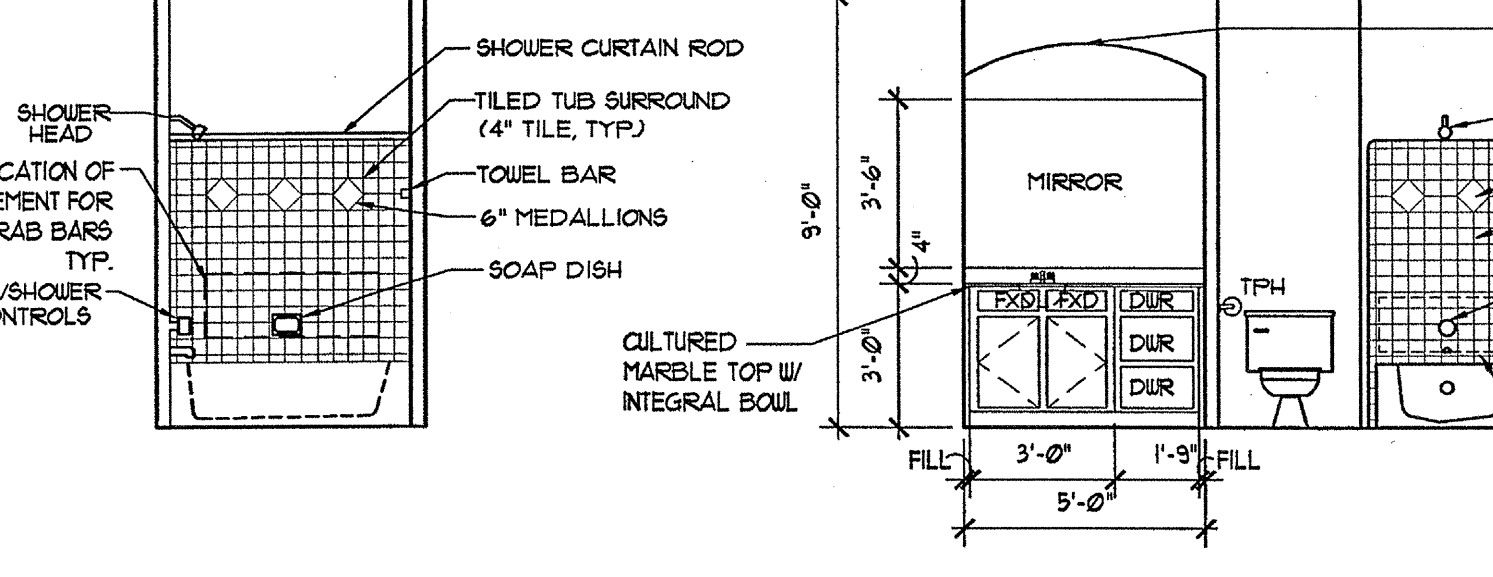


AREA OPEN TO MEZZANINE: 485 SF  
MAXIMUM ALLOWABLE AREA: 1/3 OF 485 SF = 161 SF  
ACTUAL MEZZANINE AREA: 152 SF

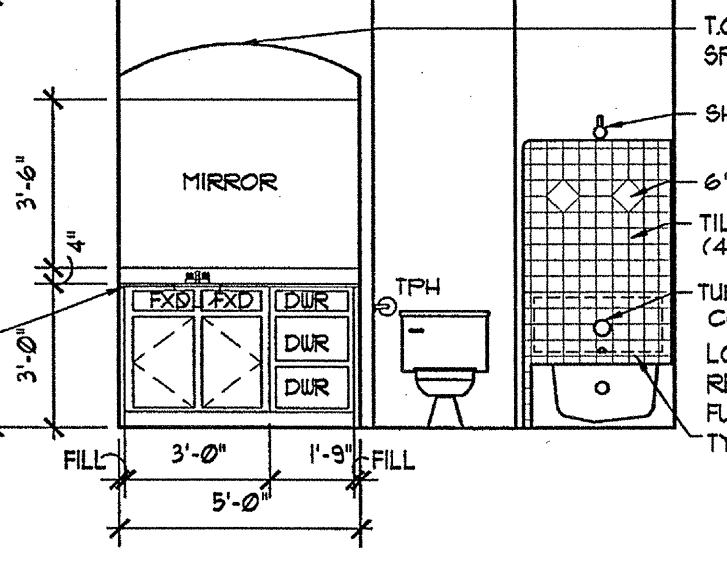
10 MEZZANINE AREA CALCULATIONS  
SCALE: N/A



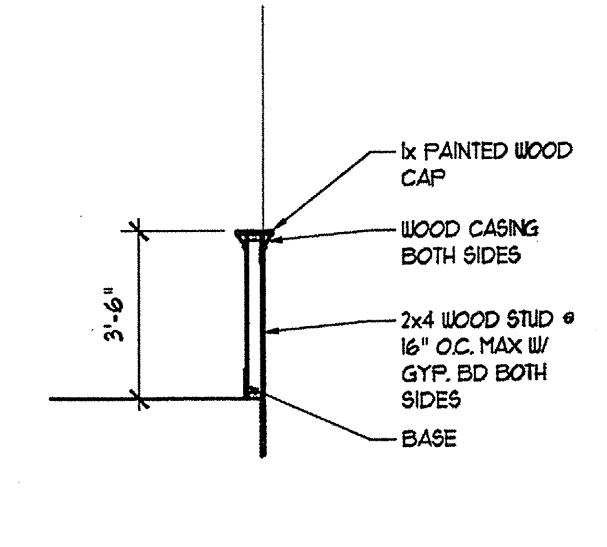
4 KITCHEN ELEVATION  
SCALE: 1/4"=1'-0"



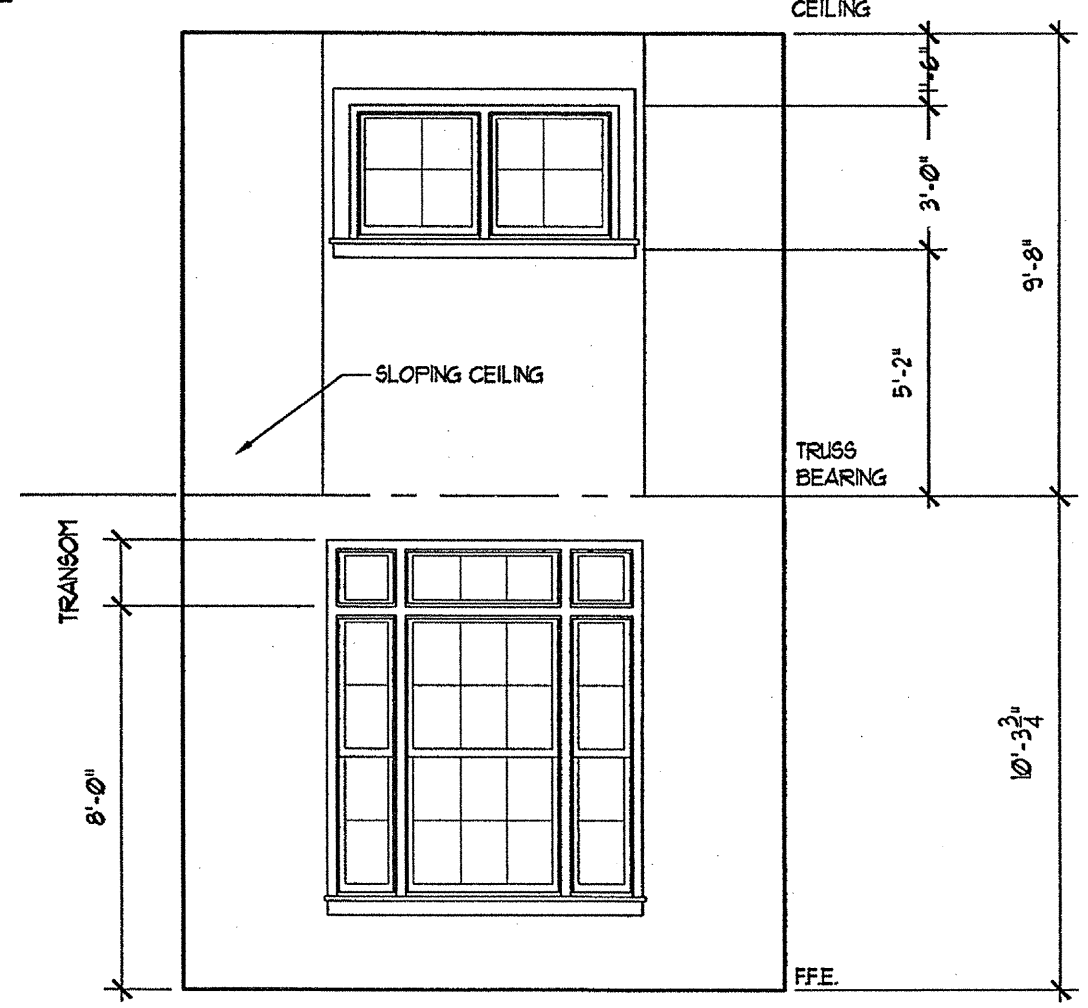
6 BATHROOM ELEVATION  
SCALE: 1/4"=1'-0"



8 BATHROOM ELEVATION  
SCALE: 1/4"=1'-0"



10 LOW WALL SECTION  
SCALE: 1/4"=1'-0"

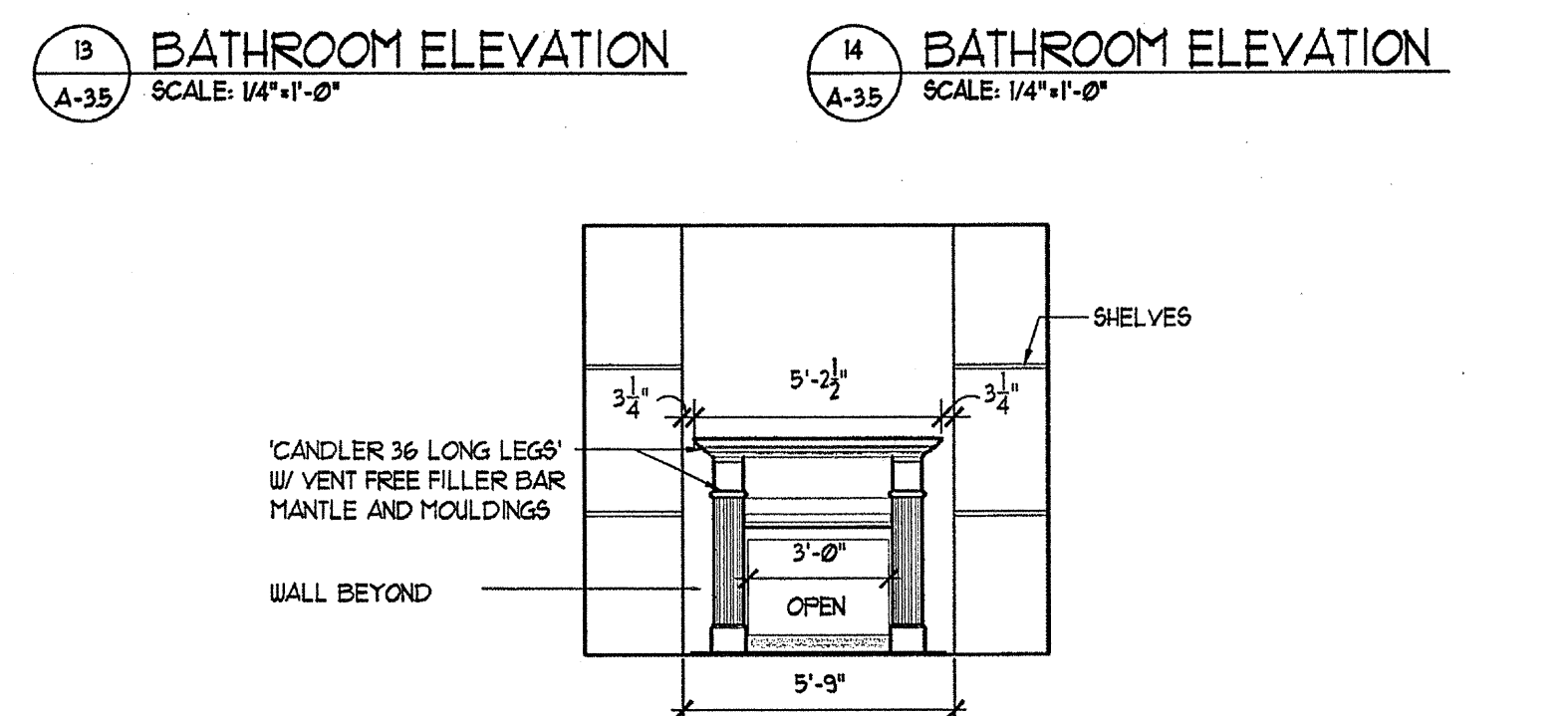
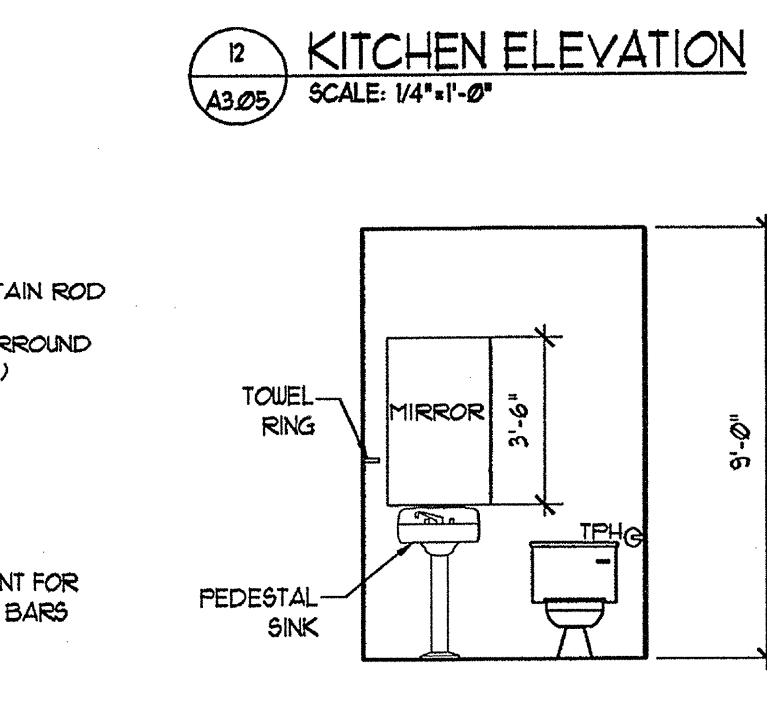
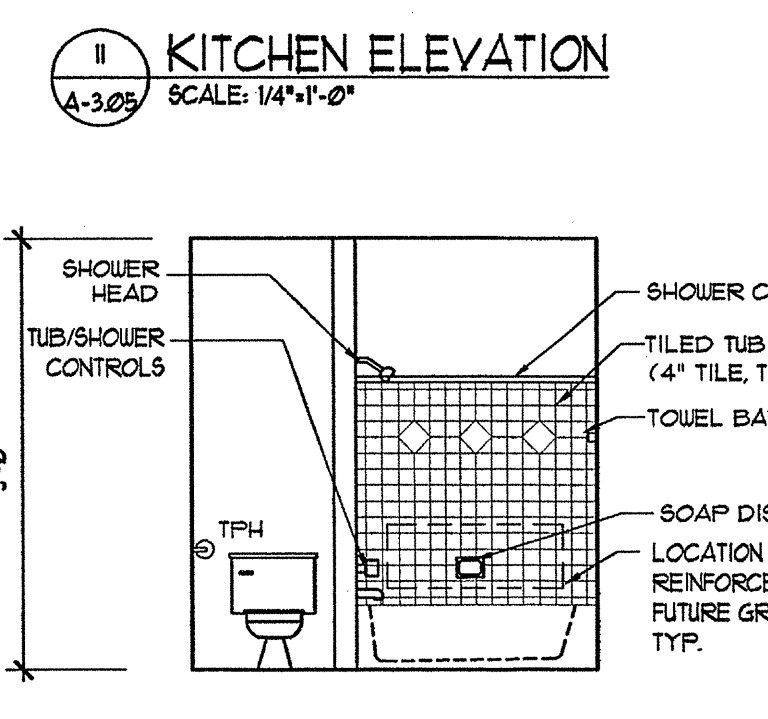
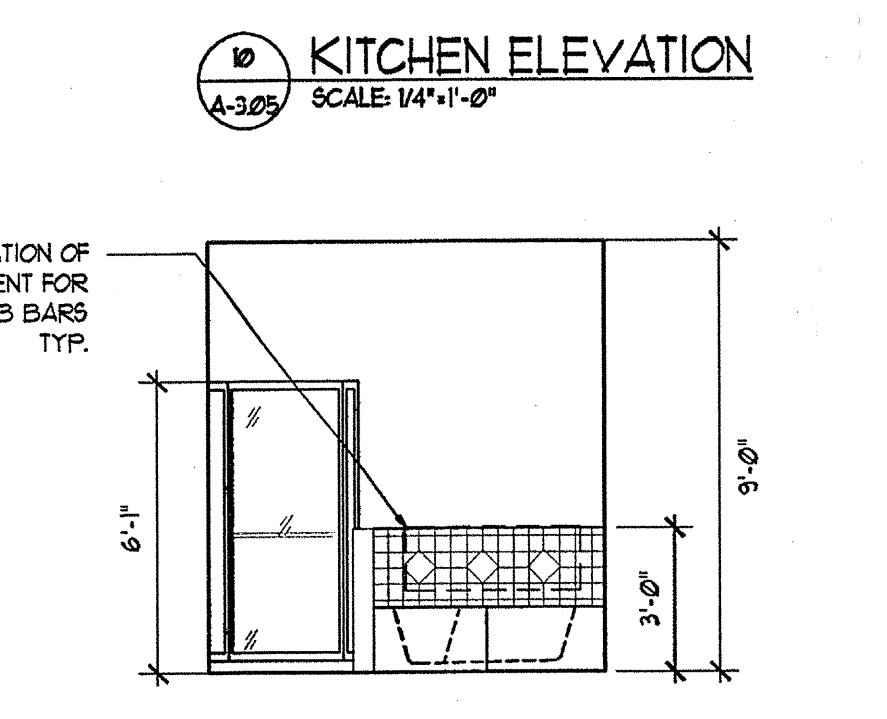
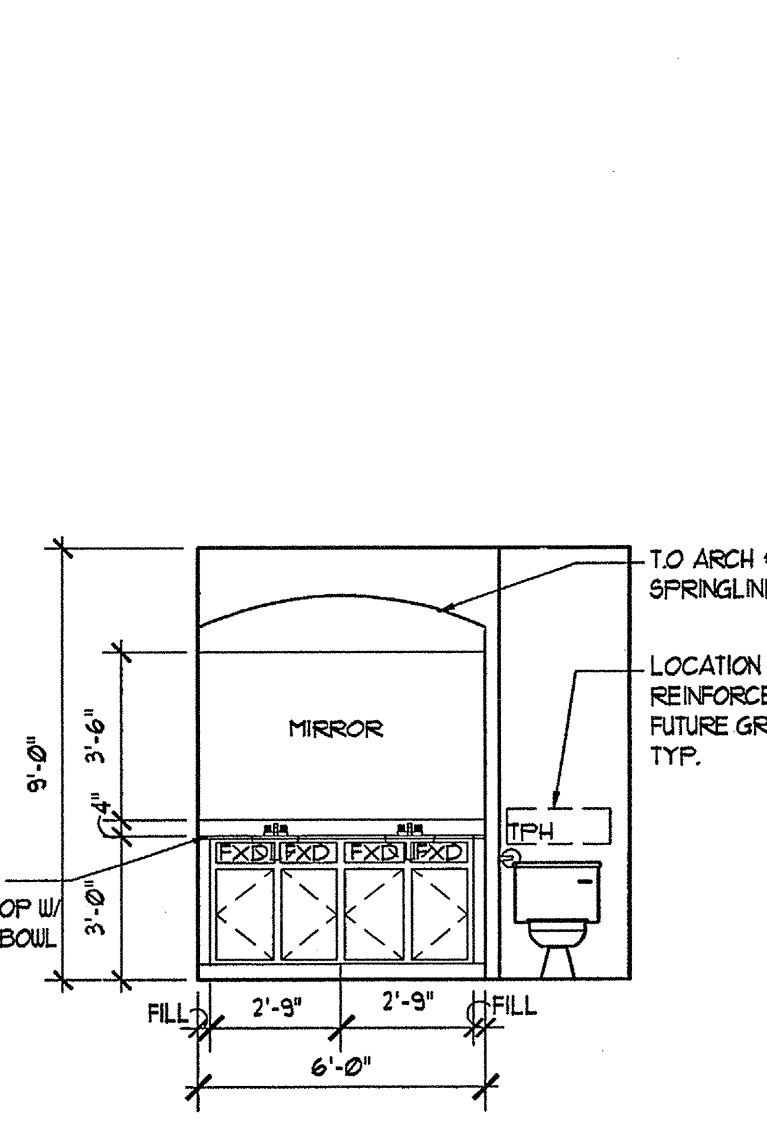
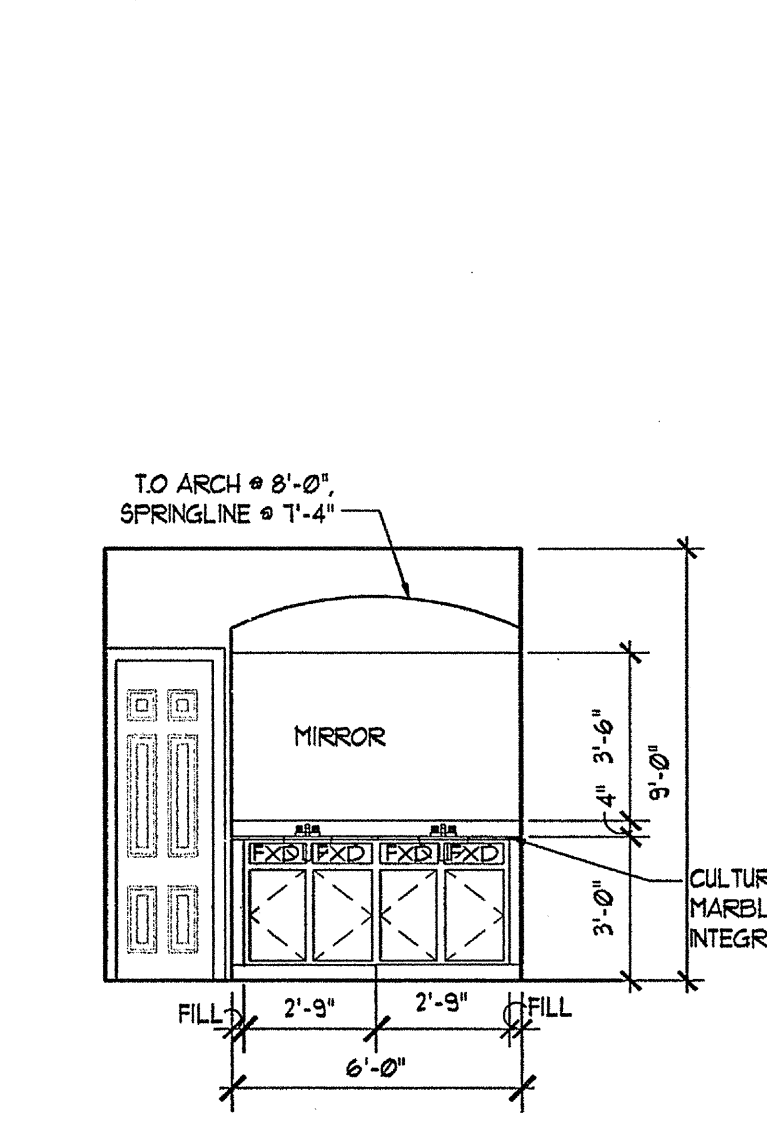
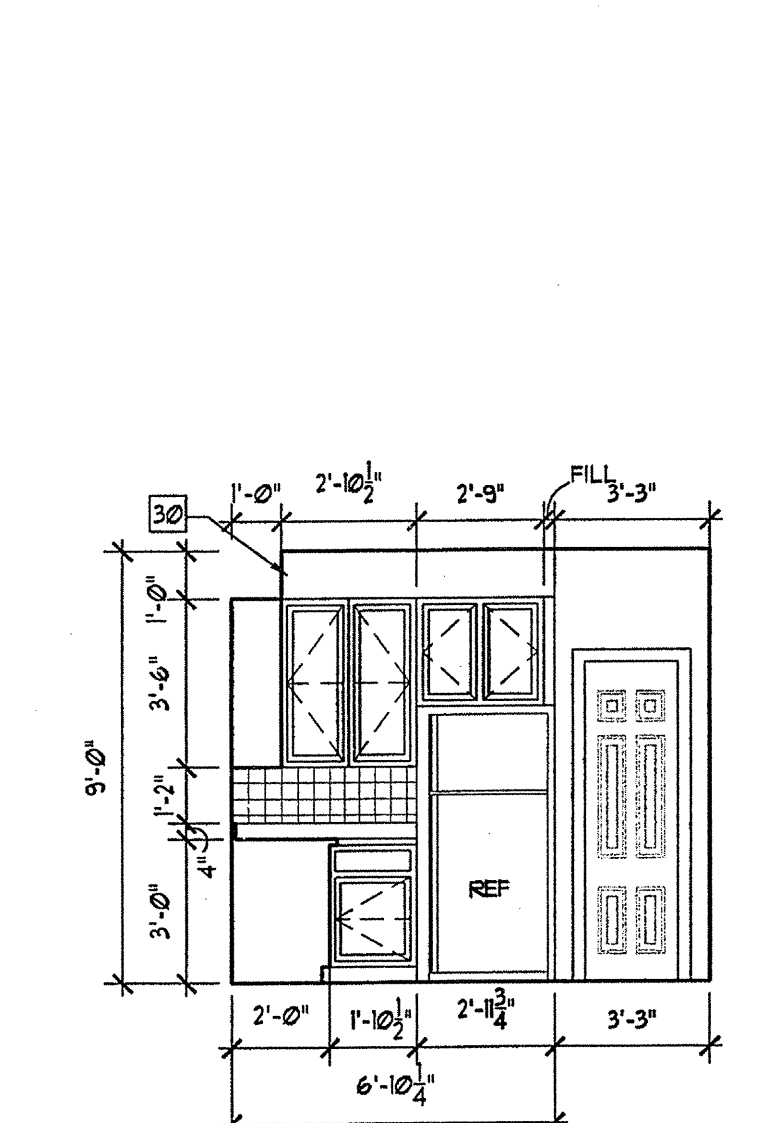
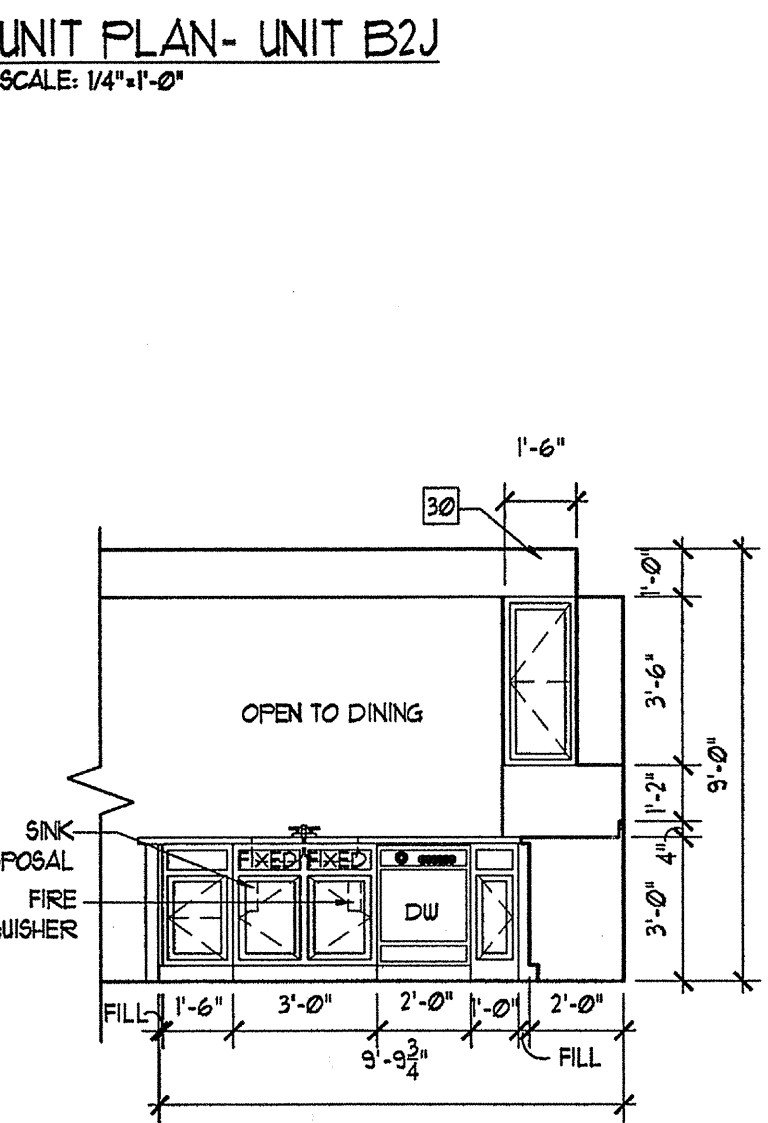
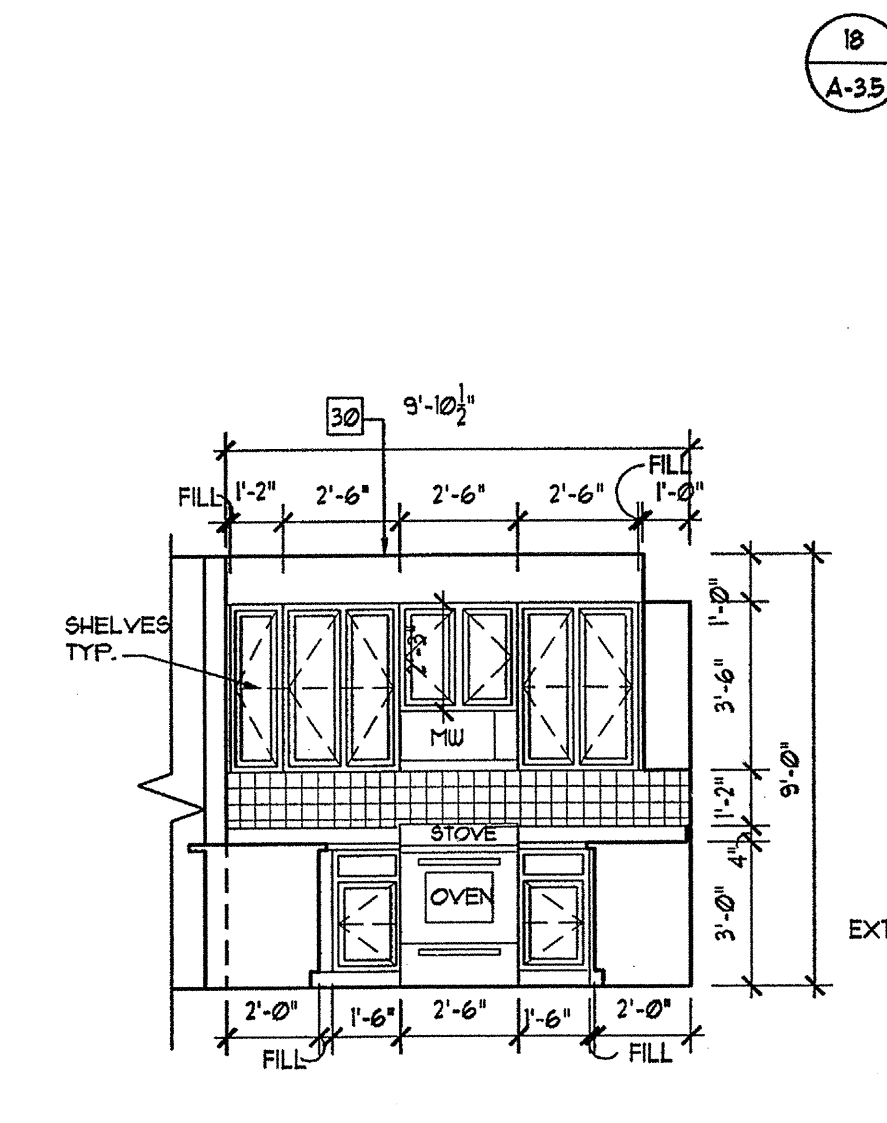
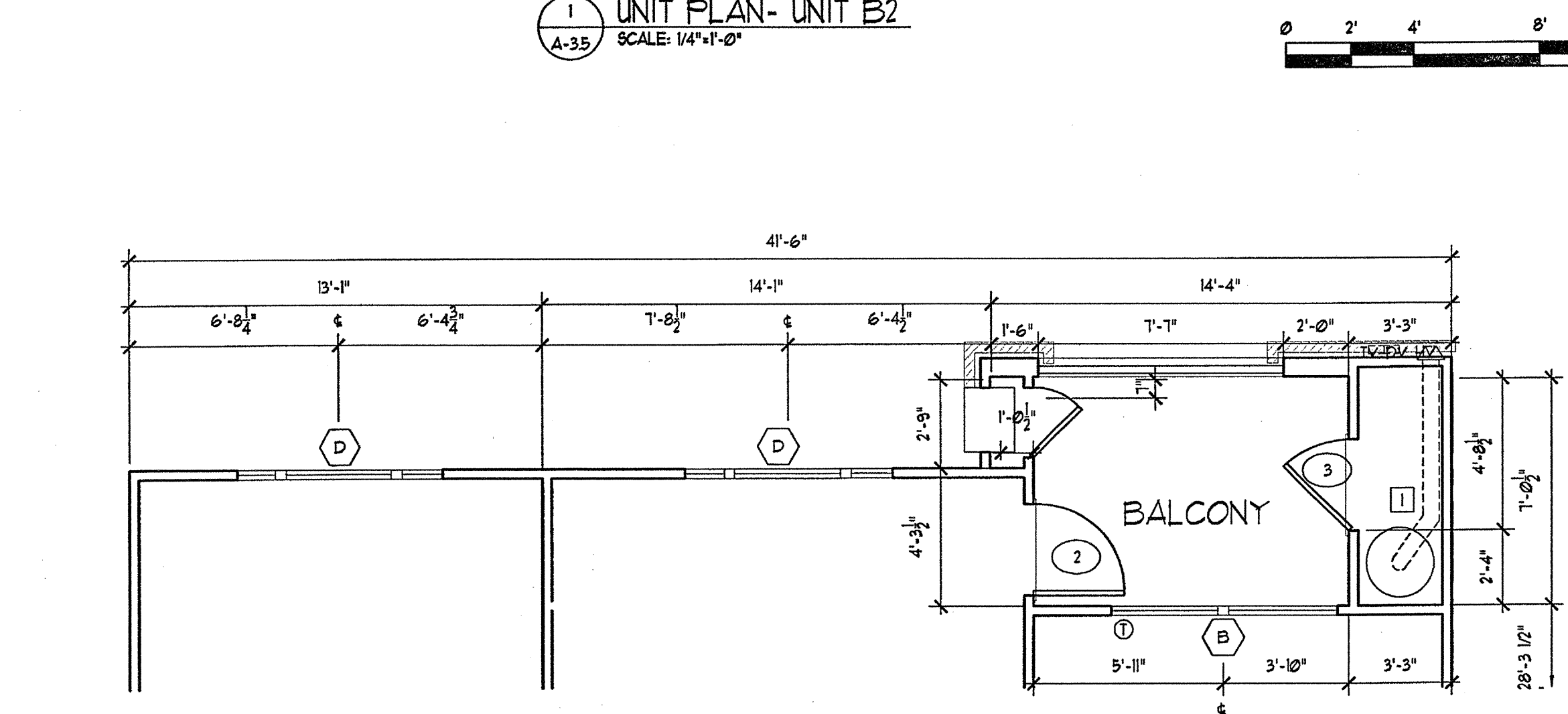
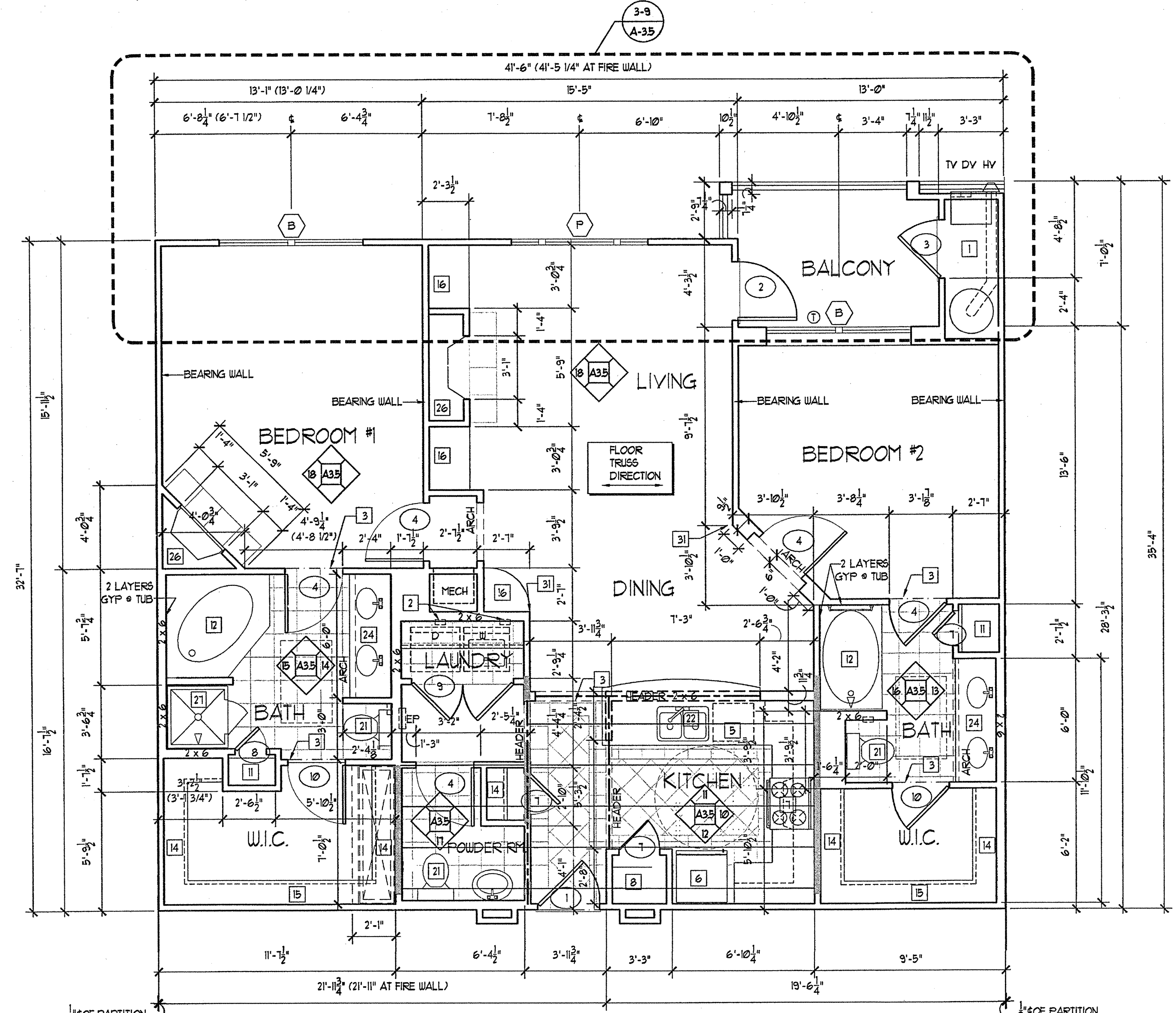
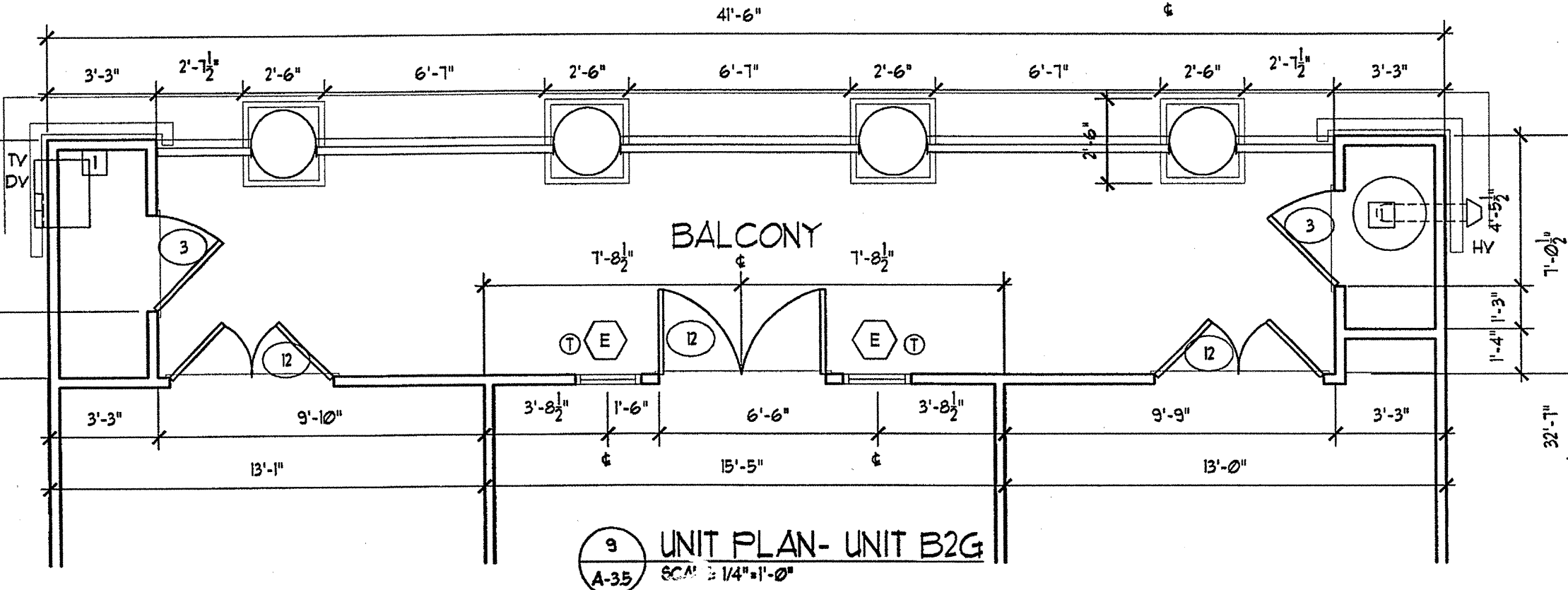
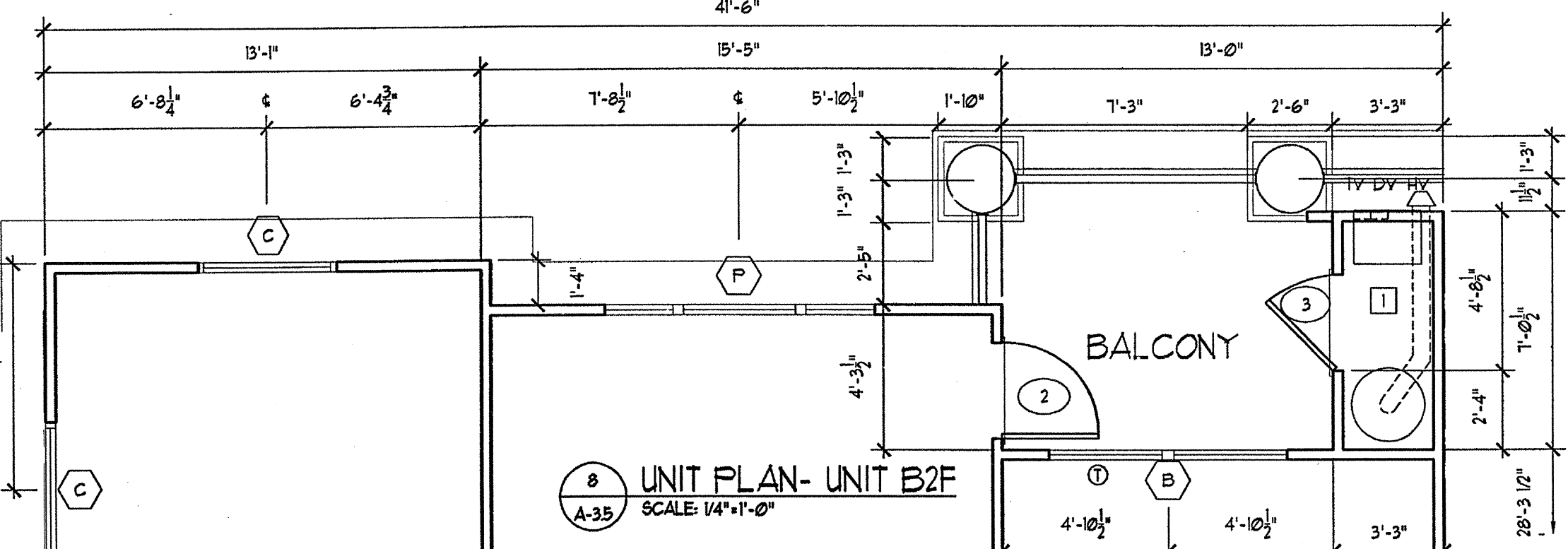
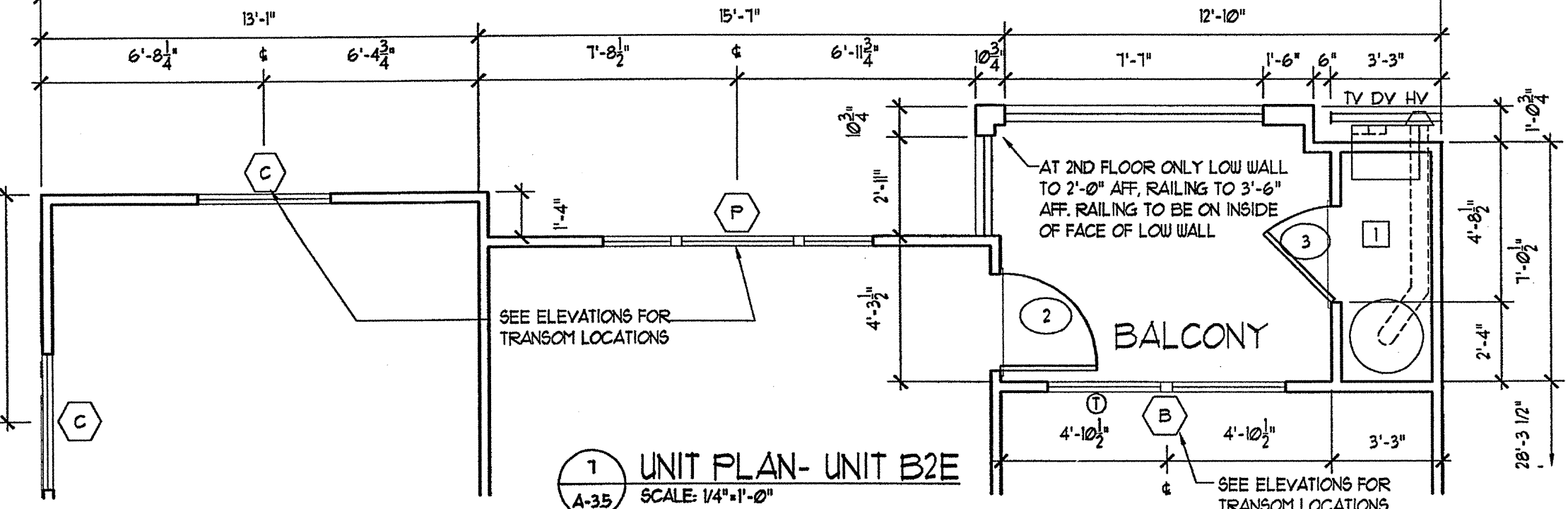
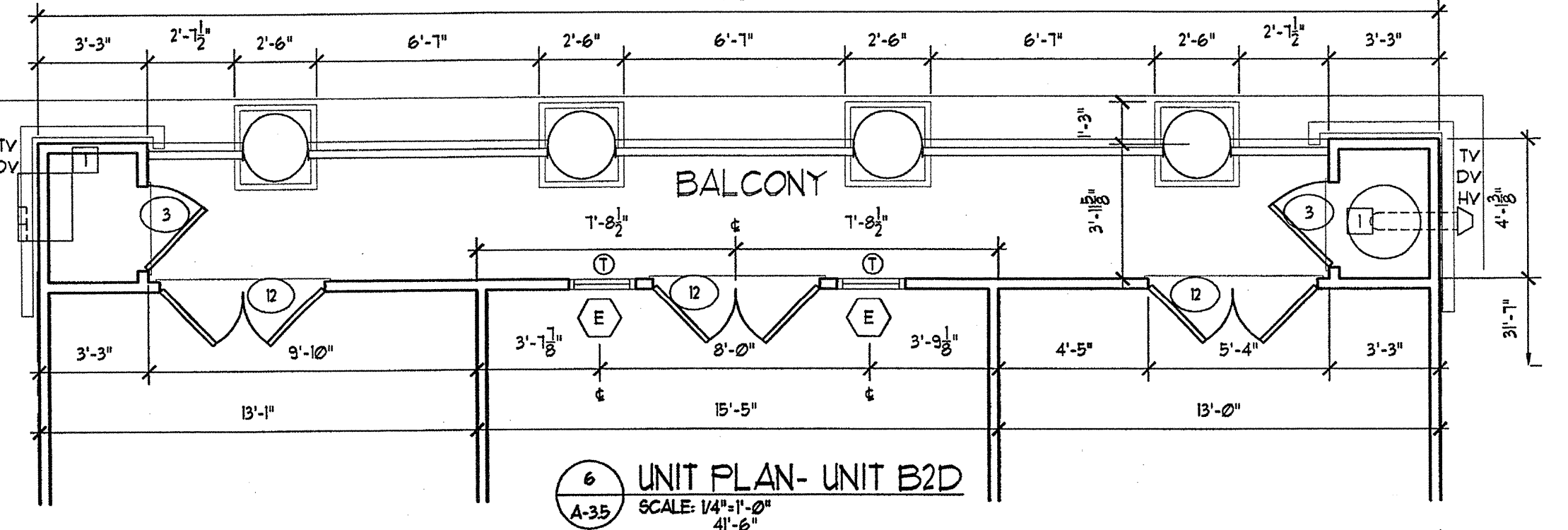
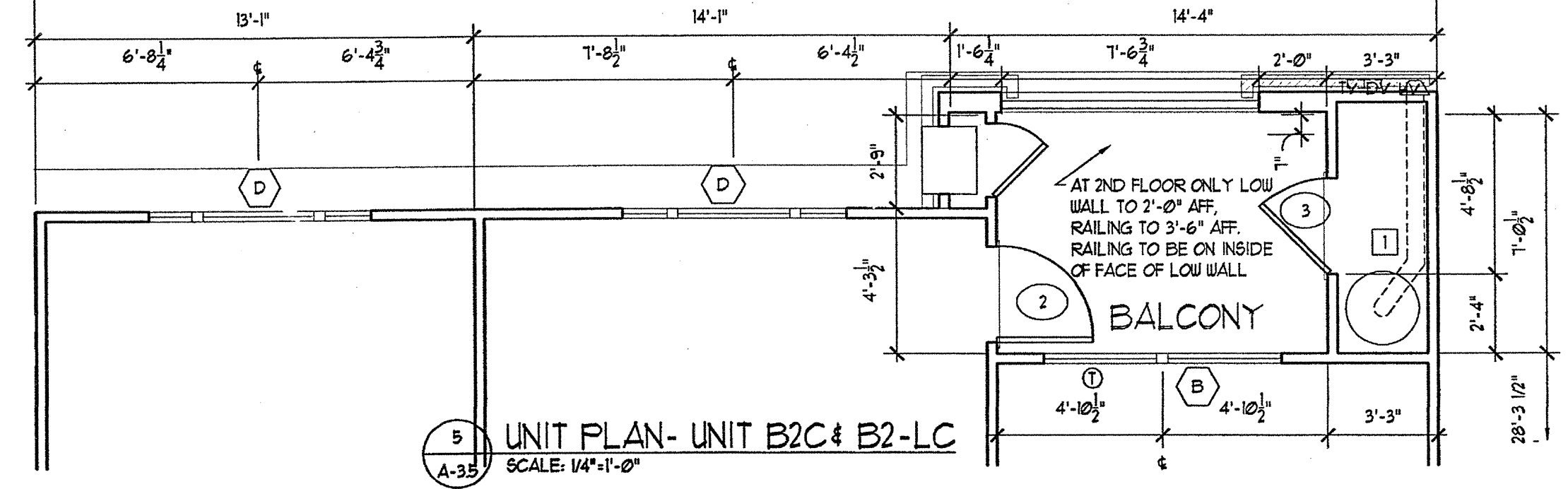
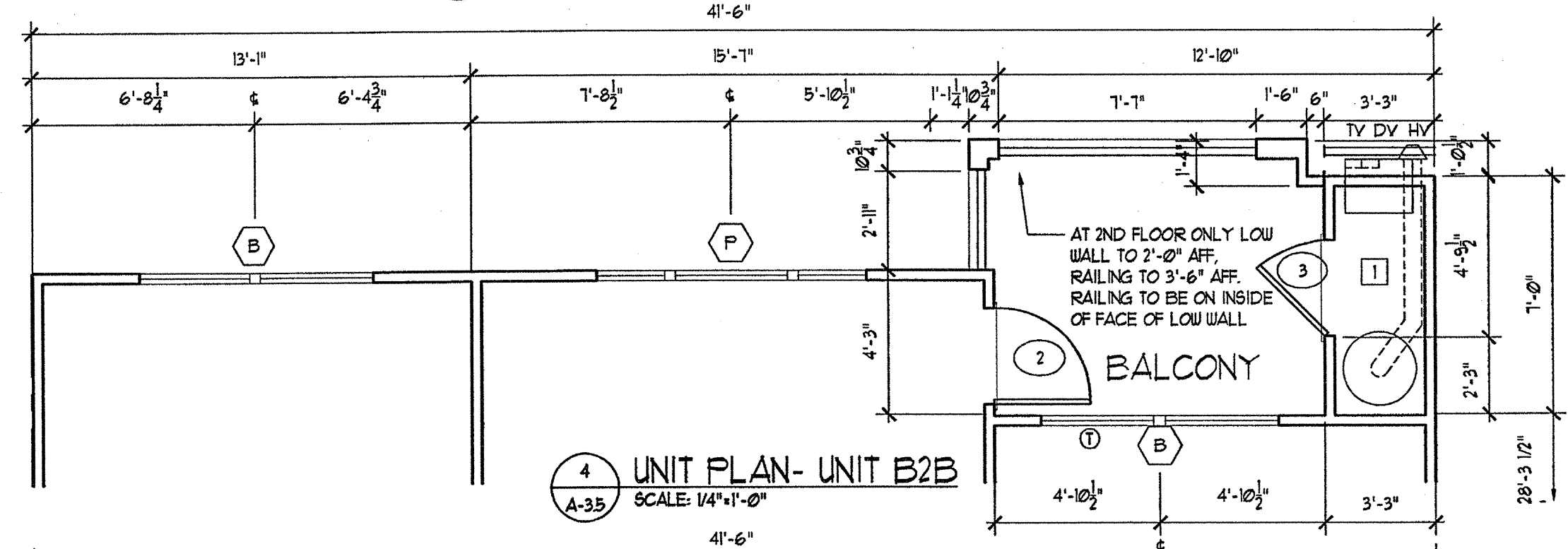
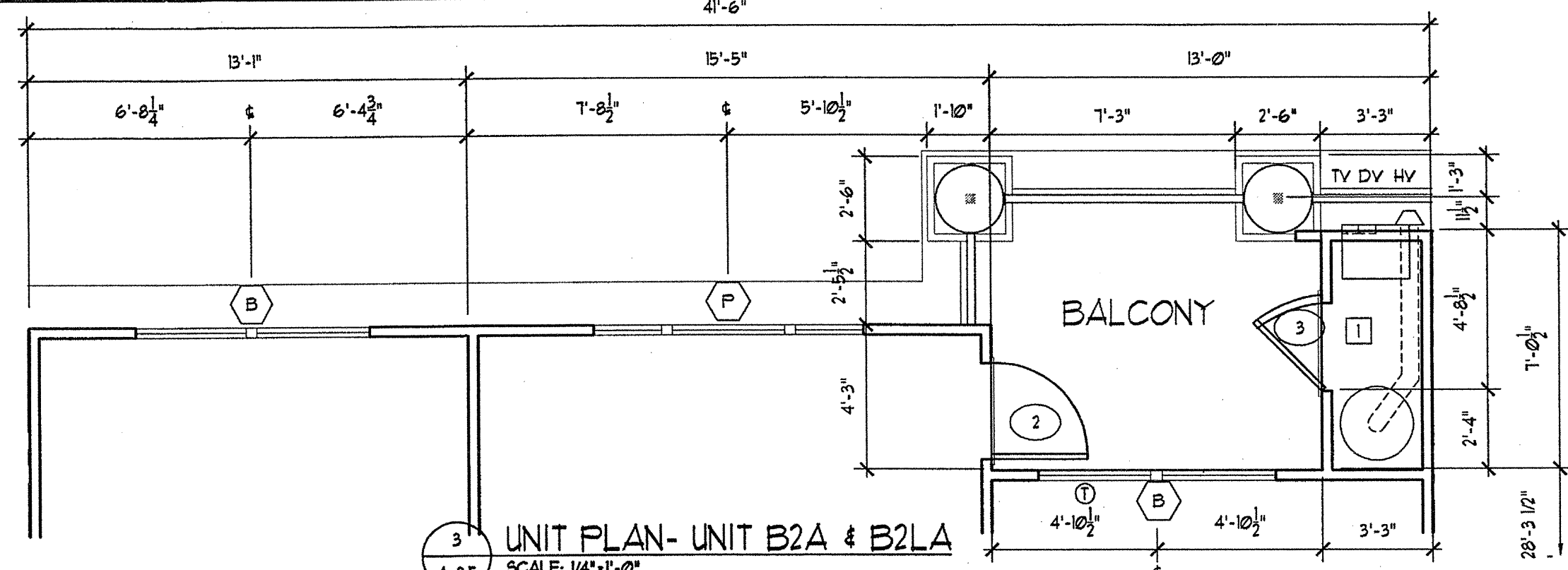


11 WALL ELEVATION  
SCALE: 1/4"=1'-0"

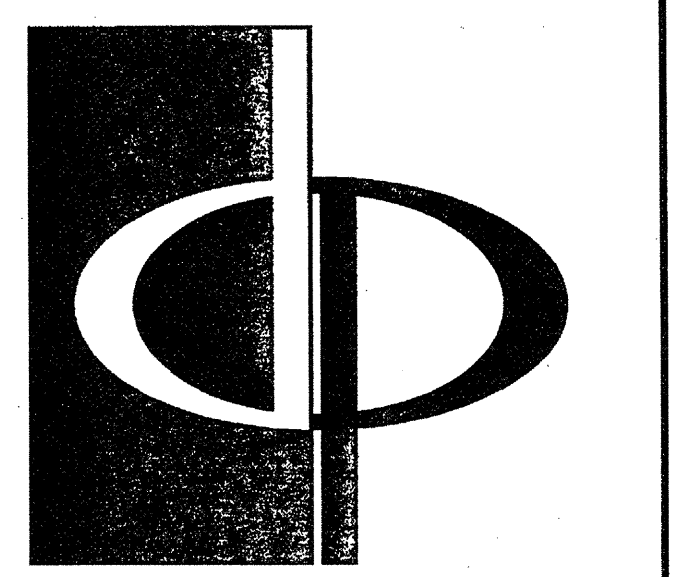
REVISION #10 SUMMARY  
A MIRROR SINK AND DISHWASHER

REVISIONS  
RELEASED FOR CONSTRUCTION 07/18/03  
TOM POPOFF REVIEW COMMENTS 07/18/03

DATE: 07/31/03  
JOB NUMBER: 02117002  
DRAWN BY: DA  
CHECKED BY: STM  
DRAWING TITLE: UNIT BI LOFT FLOOR PLANS & INT. ELEV'S  
DRAWING NUMBER: A-3.4  
COMMENTS:



- UNIT KEYNOTES**
- 1 HVAC UNIT/WATER HEATER, SEE MECHANICAL DIAGS.
  - 2 WASHER CONNECTION DRYER VENT
  - 3 FLOORING CHANGE
  - 4 AIR CONDITIONER
  - 5 DISHWASHER
  - 6 REFRIGERATOR
  - 7 RANGE W/ MICROWAVE ABOVE + VENTLESS HOOD
  - 8 PANTRY
  - 9 TOILET BAR
  - 10 TOILET PAPER HOLDER
  - 11 LINEN CLOSET
  - 12 36"x60" 1 PIECE, FIBERGLASS GARDEN TUB + SKIRT
  - 13 ELECTRIC PANEL
  - 14 ROD + SHELF
  - 15 DOUBLE ROD + SHELF
  - 16 SHELVES
  - 17 COMPUTER DESK LOCATION (NIC)
  - 18 CROWN MOULDING
  - 19 ARCHED CASED OPENING
  - 20 CHAIR RAIL WITH PICTURE FRAME
  - 21 ELONGATED TOILET
  - 22 DBL. STAINLESS STEEL KIT. SINK W/ DISPENSOR
  - 23 SGL. INTEGRATED BOWL, CULT. MARBLE VANITY TOP
  - 24 DBL. INTEGRATED BOWL, CULT. MARBLE VANITY TOP
  - 25 FLAT CASED OPENING
  - 26 GAS FIREPLACE 4 VENTHOOD - "MAJESTIC" UVER36 W/ MAJIC 18" 02/0206/P/F18
  - 27 36" SQUARE FIBERGLASS SHOWER PAN
  - 28 TILE SURROUND + KITCHEN
  - 29 48" NEO FIBERGLASS SHOWER PAN
  - 30 DROP SOFFIT
  - 31 CHAIR RAIL W/ PICTURE MOLDING BELOW  
NOTE: ARROWS INDICATE LOCATION, START AND STOP POINTS.

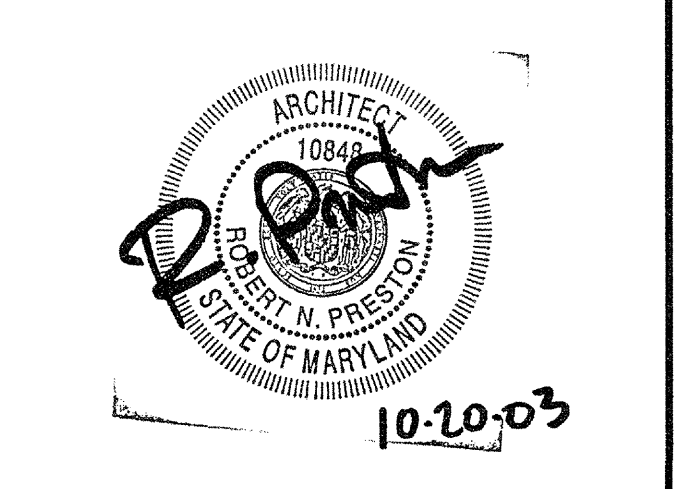


**THE PRESTON PARTNERSHIP, LLC**  
A MULTI-DISCIPLINARY DESIGN FIRM

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TELEPHONE: 770 396 7248  
FAX: 770 396 2945  
WWW.THEPRESTONPARTNERSHIP.COM

CONSULTANT

SEAL



PROJECT

**ARCHSTONE KENTLANDS**  
343 QUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

FOR

**ARCHSTONE COMMUNITIES**  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS

RELEASED FOR CONSTRUCTION 07/18/03

DATE 01/31/03

JOB NUMBER 0211102

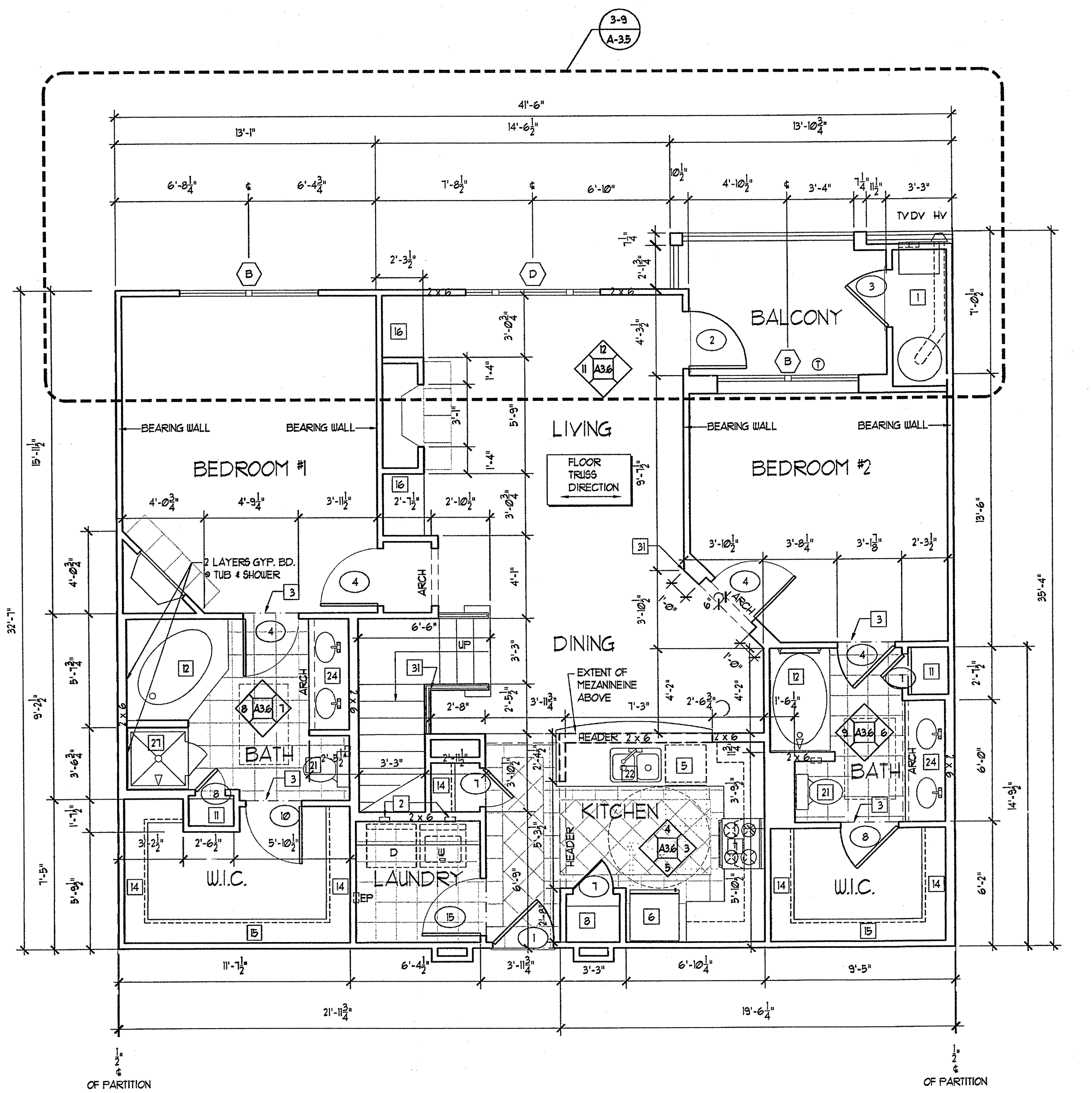
DRAWN BY DA

CHECKED BY STM

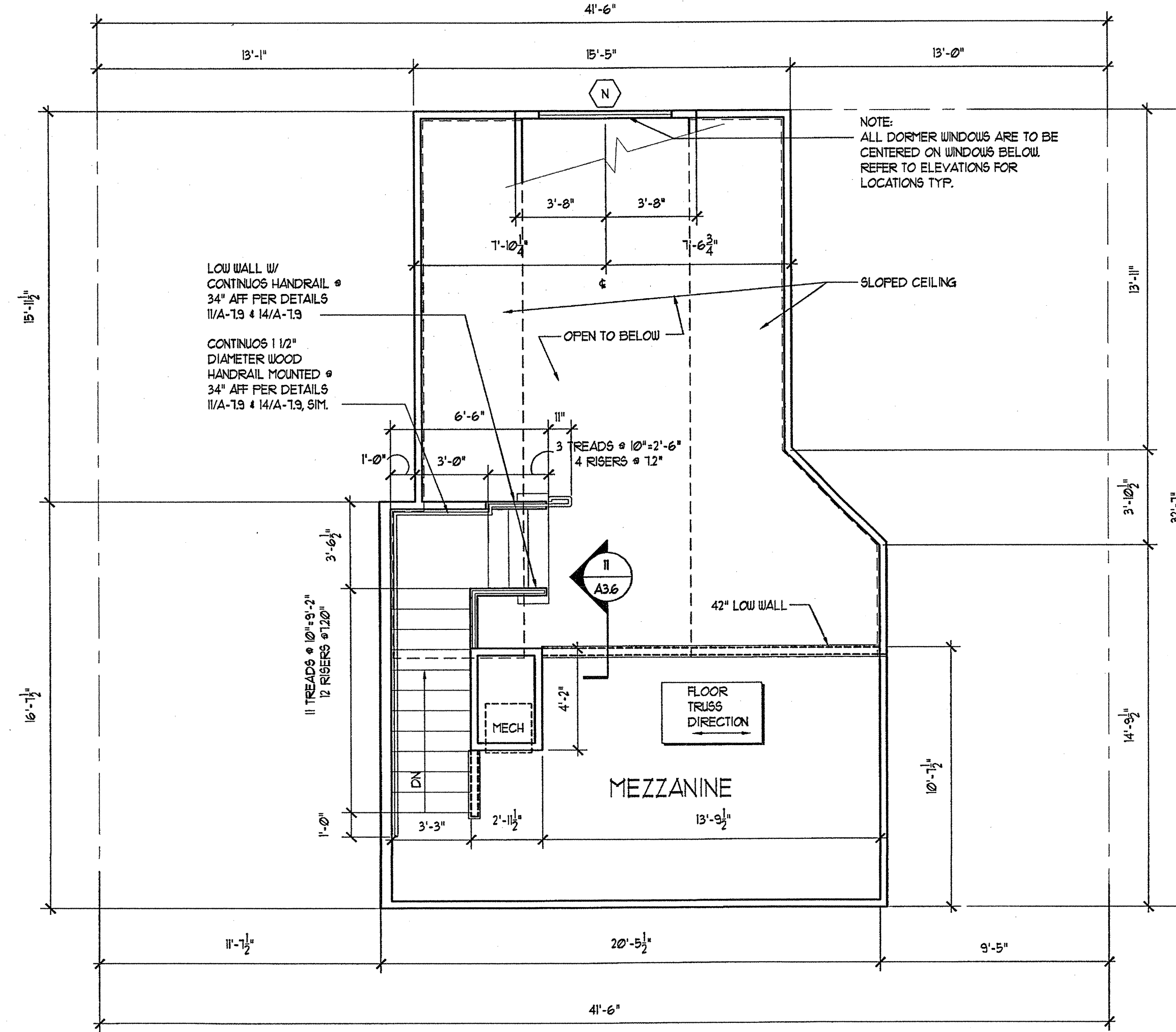
DRAWING TITLE UNIT B2 PLANS & INT. ELEV.

DRAWING NUMBER A-3.5

COMMENTS



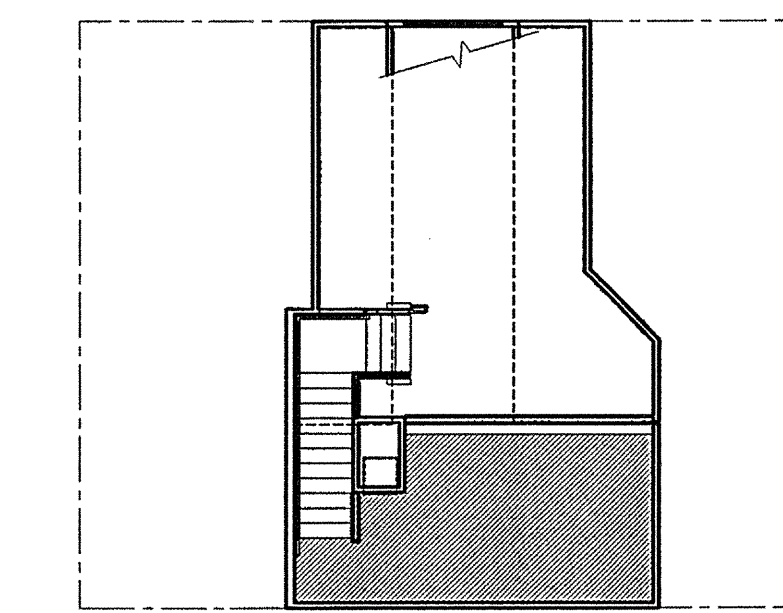
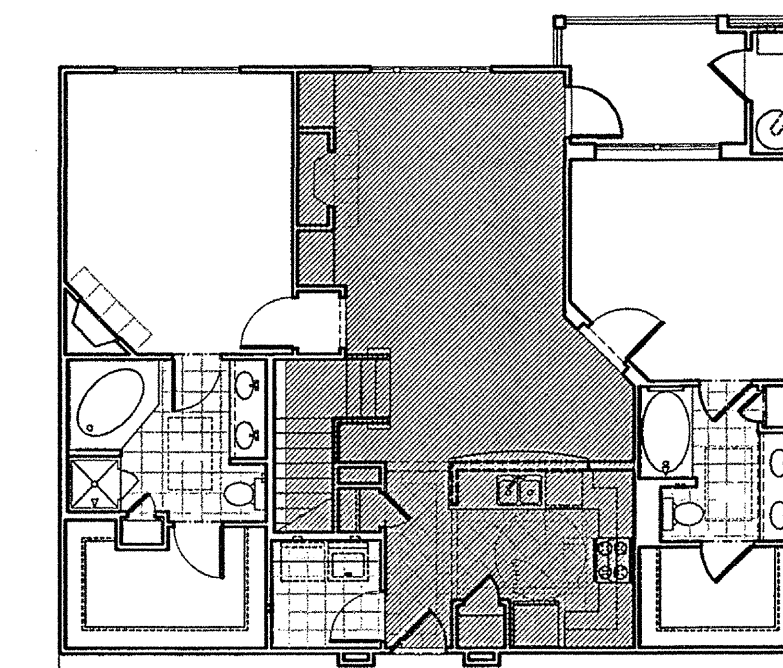
1 UNIT TYPE B2-L FLOOR PLAN  
SCALE: 1/4"=1'-0"



2 UNIT TYPE B2-LM FLOOR PLAN  
SCALE: 1/4"=1'-0"

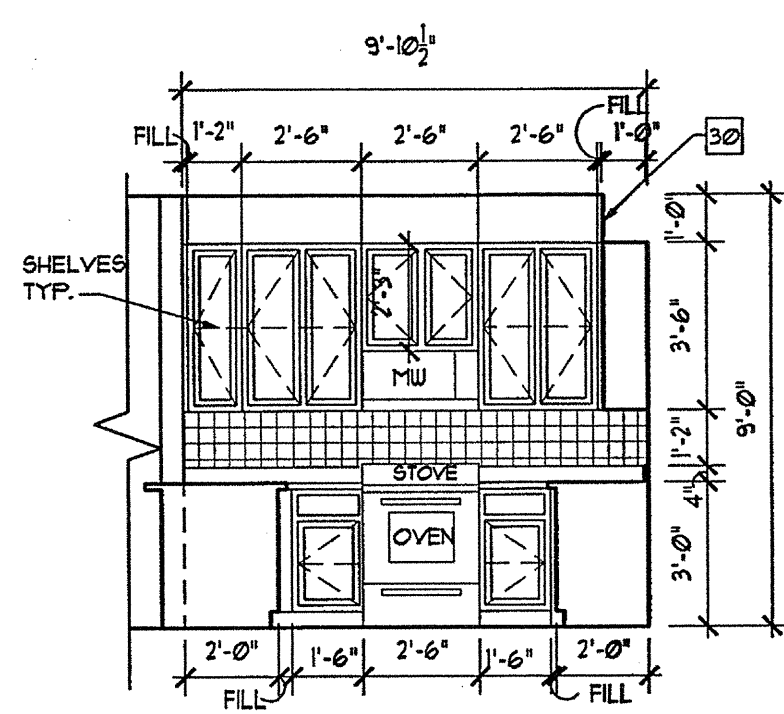
UNIT KEYNOTES

- 1 HYAC UNIT/WATER HEATER SEE MECHANICAL DUGS
  - 2 WASHER CONNECTION/ DRYER VENT
  - 3 FLOORING CHANGE
  - 4 AIR CONDITIONER
  - 5 DISHWASHER
  - 6 REFRIGERATOR
  - 7 RANGE W/ MICROWAVE ABOVE + VENTLESS HOOD
  - 8 PANTRY
  - 9 TOWEL BAR
  - 10 TOILET PAPER HOLDER
  - 11 LINEN CLOSET
  - 12 36"x60" 1 PIECE FIBERGLASS GARDEN TUB + SKIRT
  - 13 ELECTRIC PANEL
  - 14 ROD + SHELF
  - 15 DOUBLE ROD + SHELF
  - 16 SHELVES
  - 17 COMPUTER DESK LOCATION (NIC)
  - 18 CROWN MOULDING
  - 19 ARCHICASED OPENING
  - 20 CHAIR RAIL WITH PICTURE FRAME
  - 21 ELONGATED TOILET
  - 22 DBL STAINLESS STEEL KIT, SINK W/ DISPENSOR
  - 23 SGL INTEGRATED BOUL, CULT, MARBLE VANITY TOP
  - 24 DBL INTEGRATED BOUL, CULT, MARBLE VANITY TOP
  - 25 FLAT CASED OPENING
  - 26 GAS FIREPLACE + VENTHOOD - "MAJESTIC" OVER36" W/ MAJIC 18" 6220266 PTFER
  - 27 36" SQUARE FIBERGLASS SHOWER PAN
  - 28 TILE SURROUND + KITCHEN
  - 29 48" NEO FIBERGLASS SHOWER PAN
  - 30 DROP SOFFIT
  - 31 CHAIR RAIL W/ PICTURE MOLDING BELOW
- NOTE: ABBREVS INDICATE LOCATION, START AND STOP POINTS

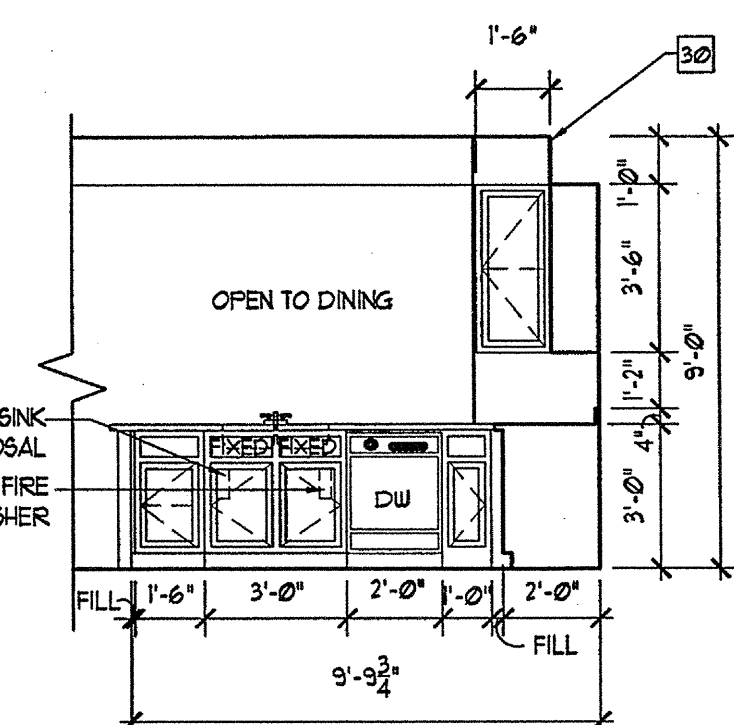


AREA OPEN TO MEZZANINE: 5x22 SF  
MAXIMUM ALLOWABLE AREA: 1/3 OF 512 SF = 171 SF  
ACTUAL MEZZANINE AREA: 168 SF

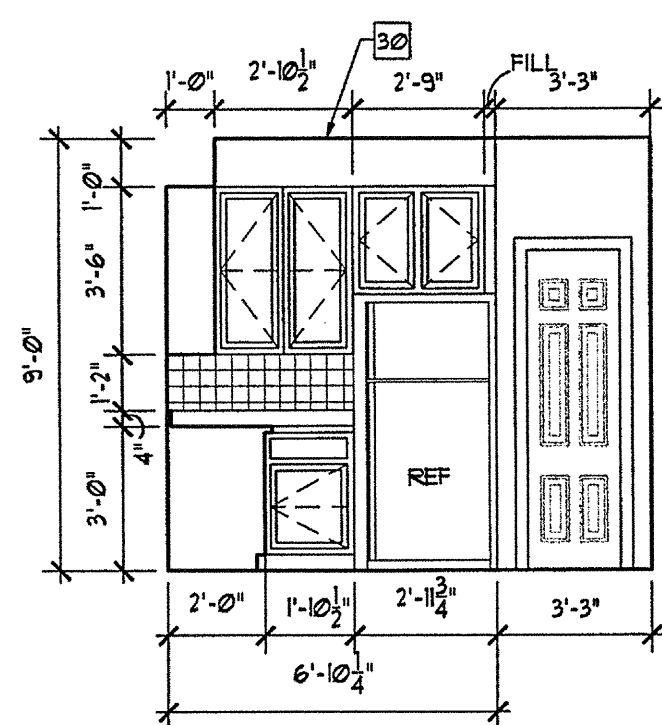
16 MEZZANINE AREA CALCULATIONS  
SCALE: N.T.S.



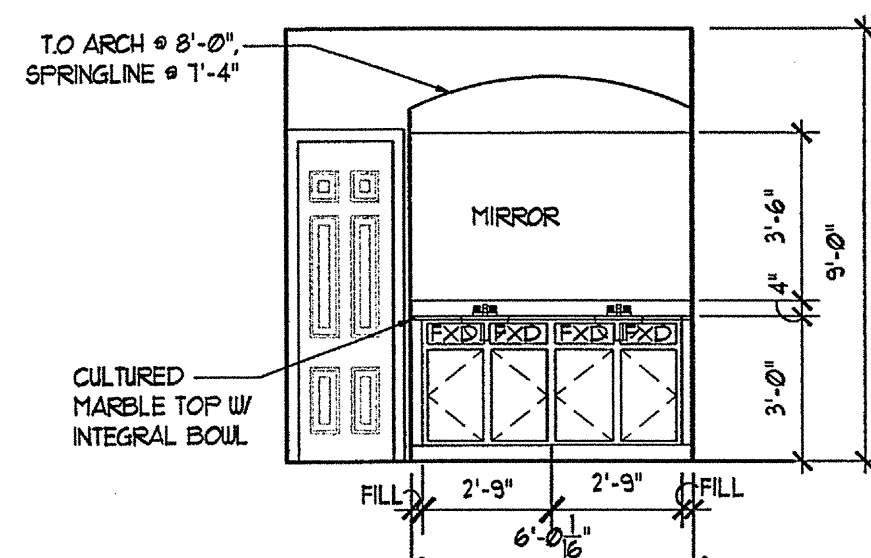
3 KITCHEN ELEVATION  
SCALE: 1/4"=1'-0"



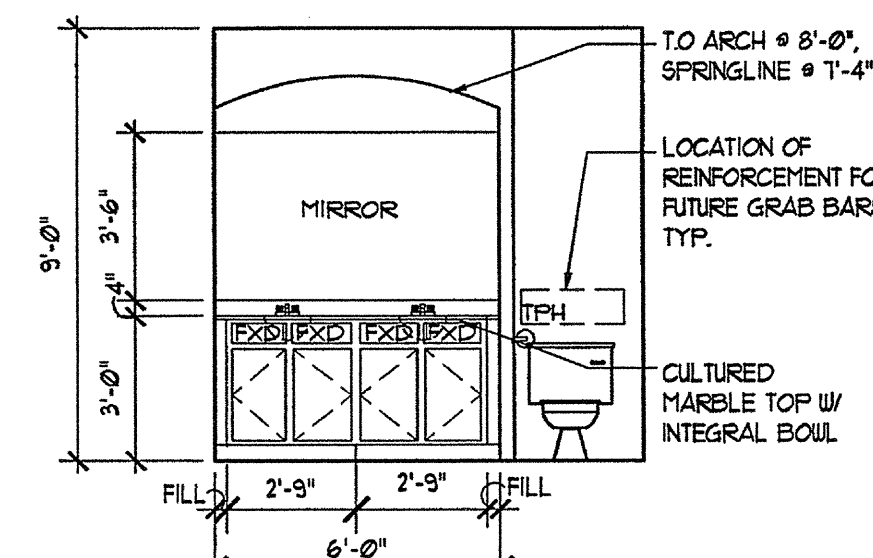
4 KITCHEN ELEVATION  
SCALE: 1/4"=1'-0"



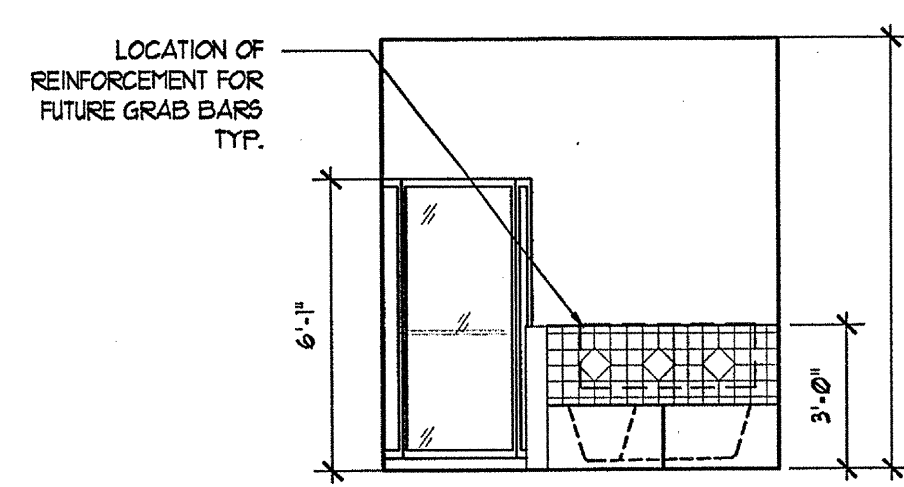
5 KITCHEN ELEVATION  
SCALE: 1/4"=1'-0"



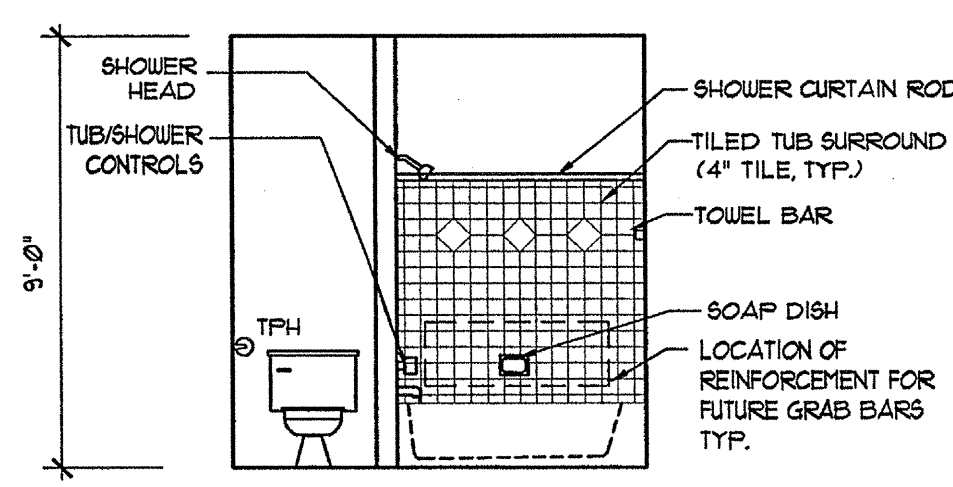
6 BATHROOM ELEVATION  
SCALE: 1/4"=1'-0"



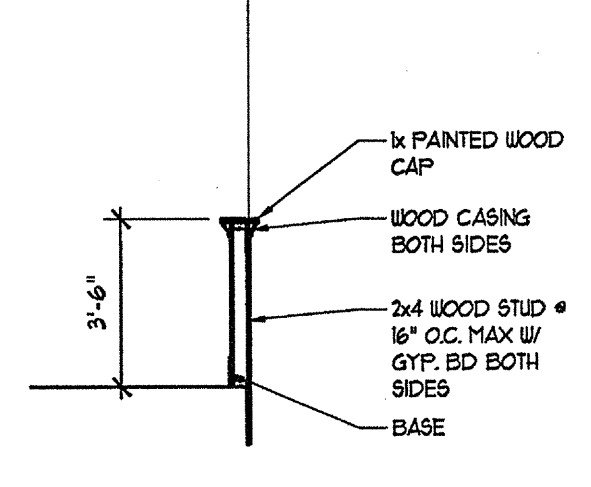
7 BATHROOM ELEVATION  
SCALE: 1/4"=1'-0"



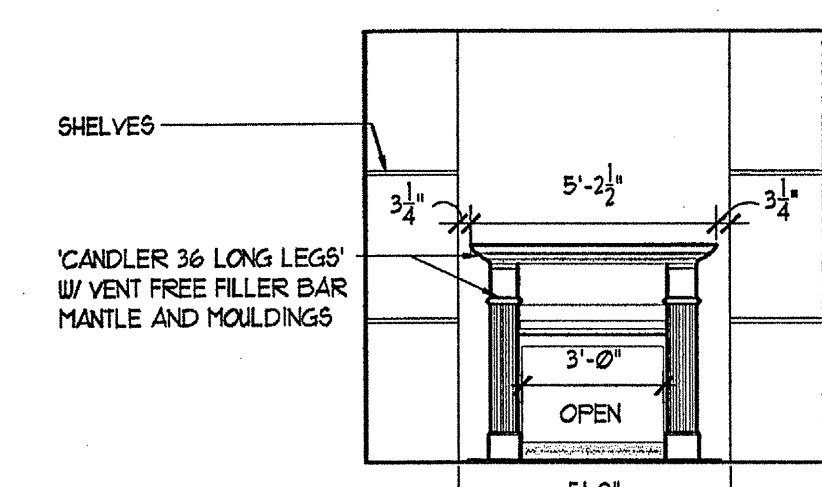
8 BATHROOM ELEVATION  
SCALE: 1/4"=1'-0"



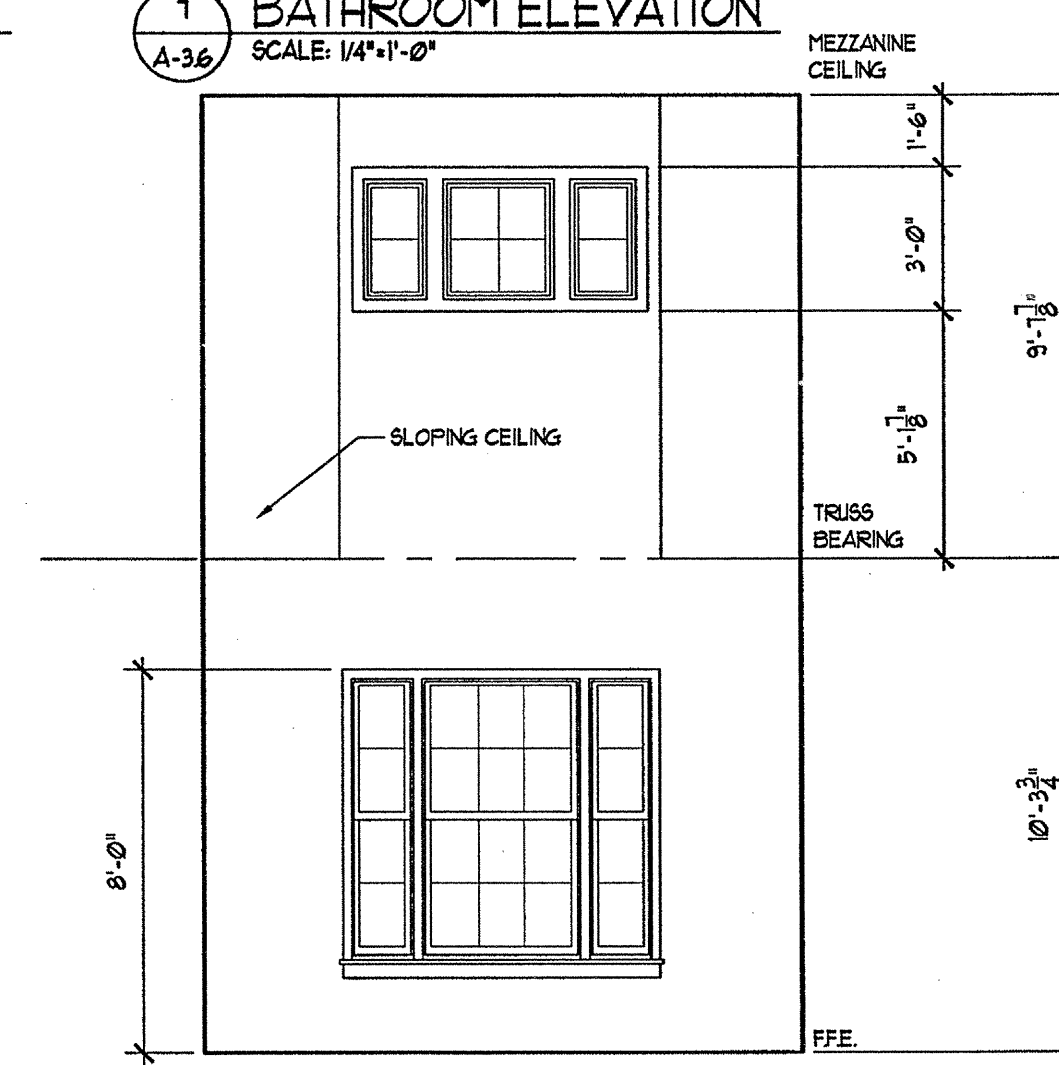
9 BATHROOM ELEVATION  
SCALE: 1/4"=1'-0"



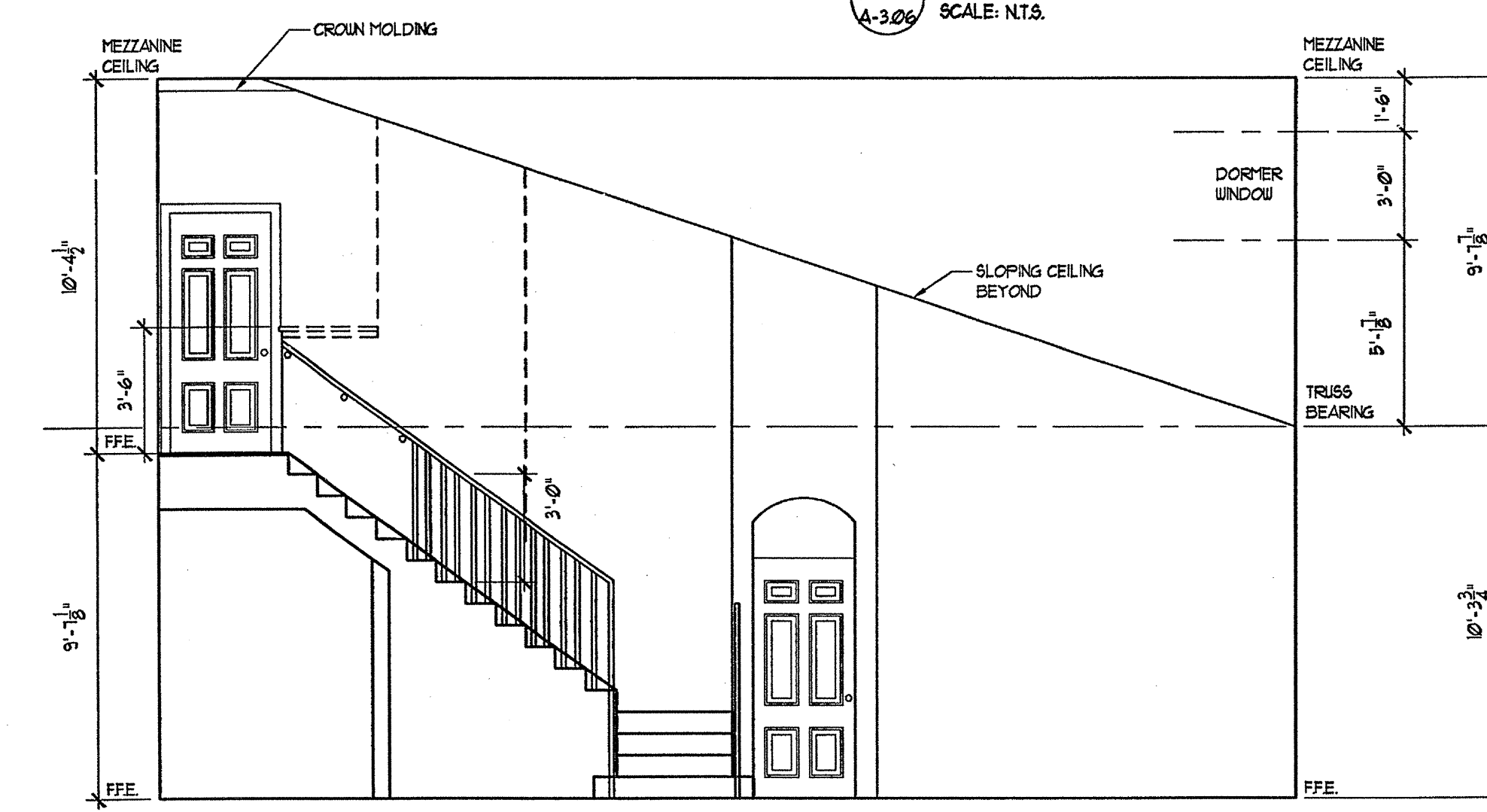
10 SECTION THRU MEZZANINE  
SCALE: 1/4"=1'-0"



11 FIREPLACE ELEVATION  
SCALE: 1/4"=1'-0"



12 WALL ELEVATION  
SCALE: 1/4"=1'-0"



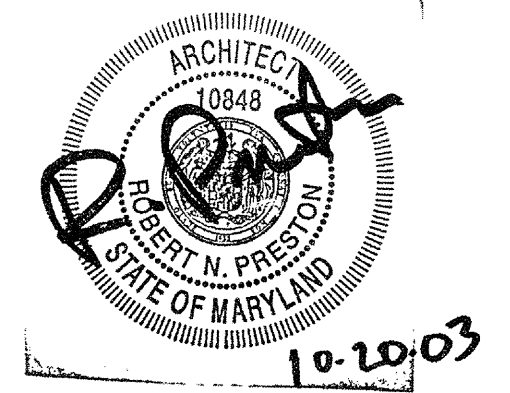
13 LOFT ELEVATION  
SCALE: 1/4"=1'-0"

THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
FAX: 770 396 2945

WWW.THEPRESTONPARTNERSHIP.COM

CONSULTANT



PROJECT

ARCHSTONE  
KENTLANDS  
949 QUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

FOR

ARCHSTONE  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS  
RELEASED FOR CONSTRUCTION 07/18/23

DATE 07/31/23

JOB NUMBER 0211102

DRAWN BY DA

CHECKED BY STM

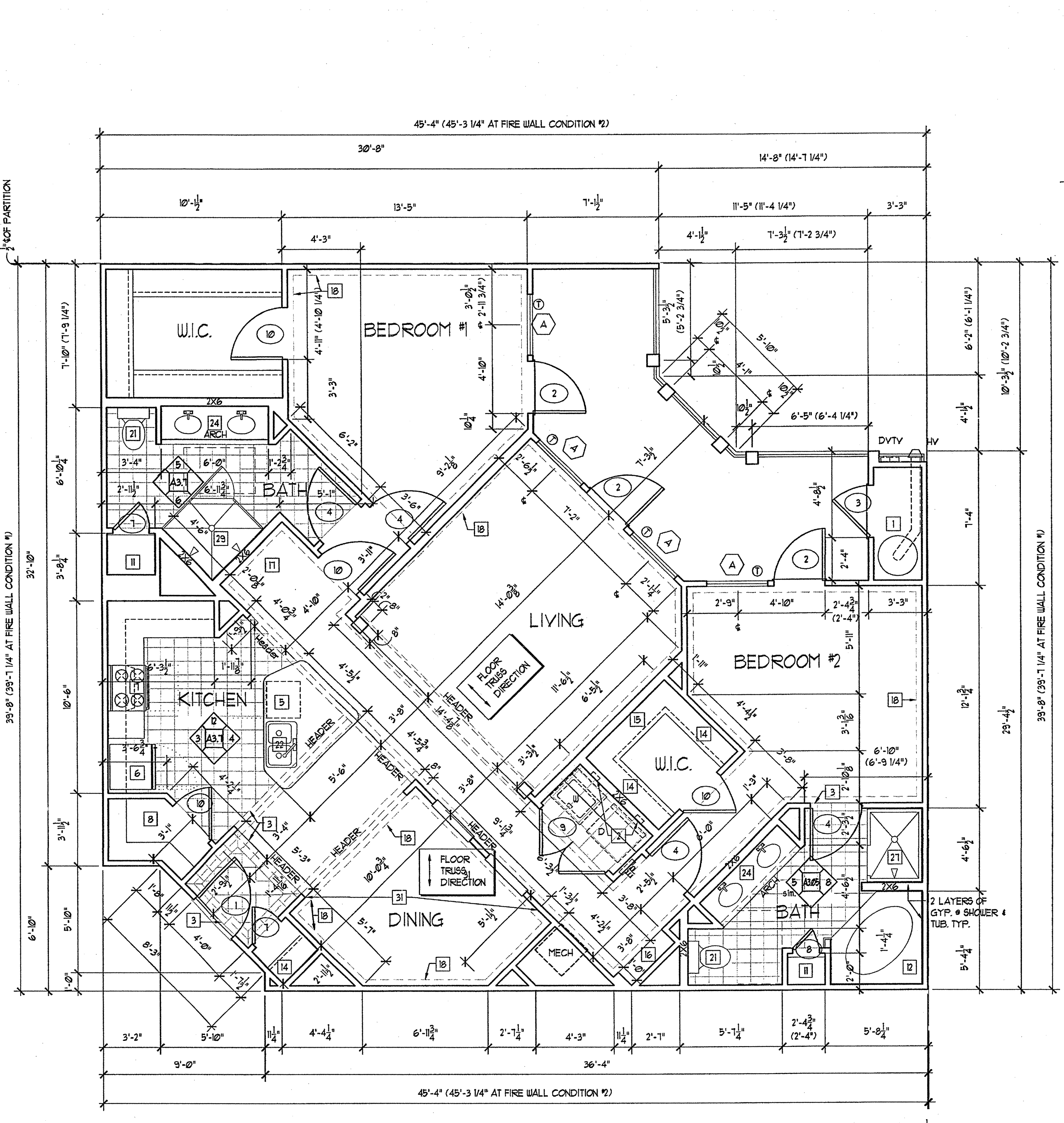
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DRAWING NUMBER A-3.6

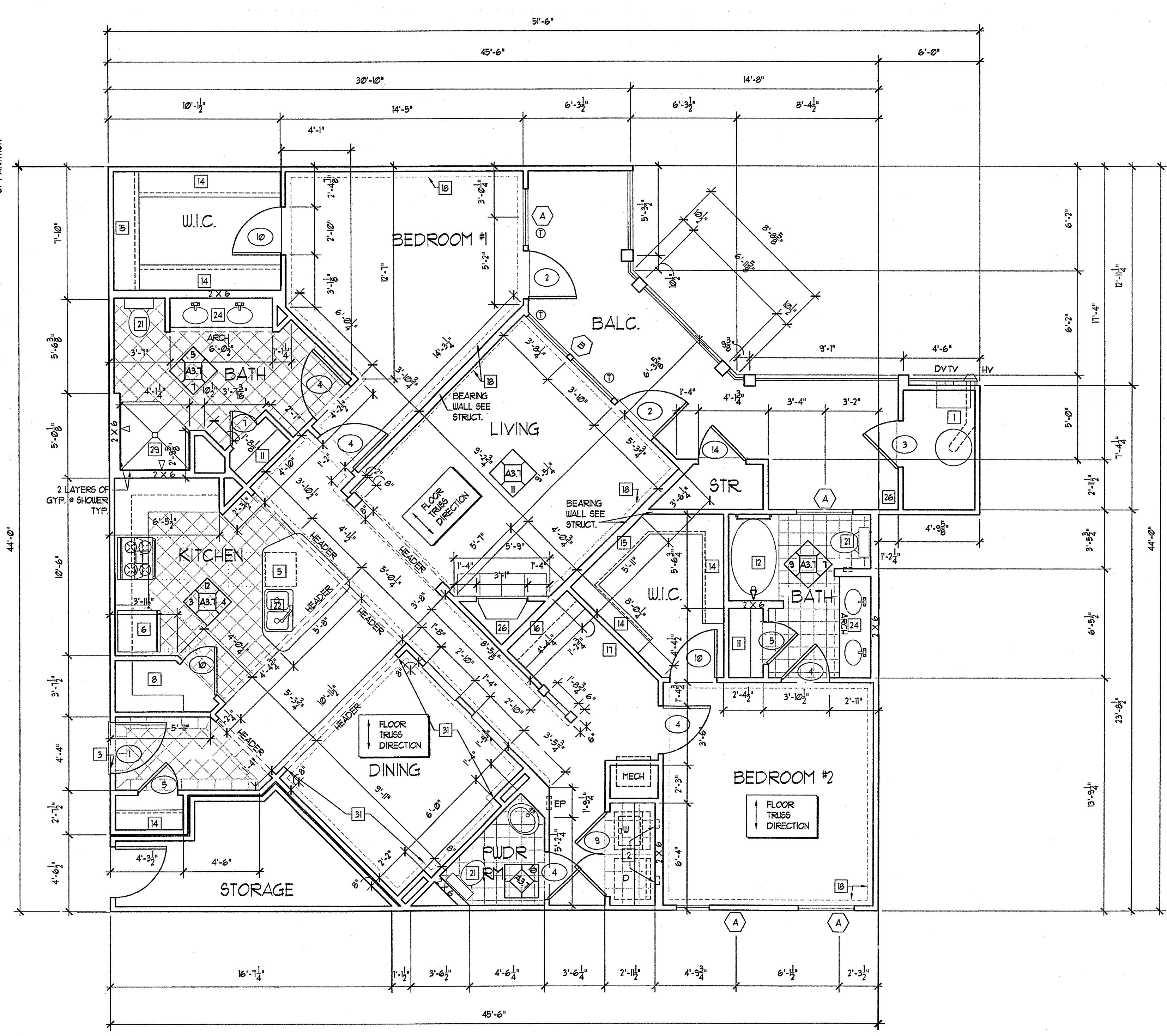
COMMENTS

A-3.6



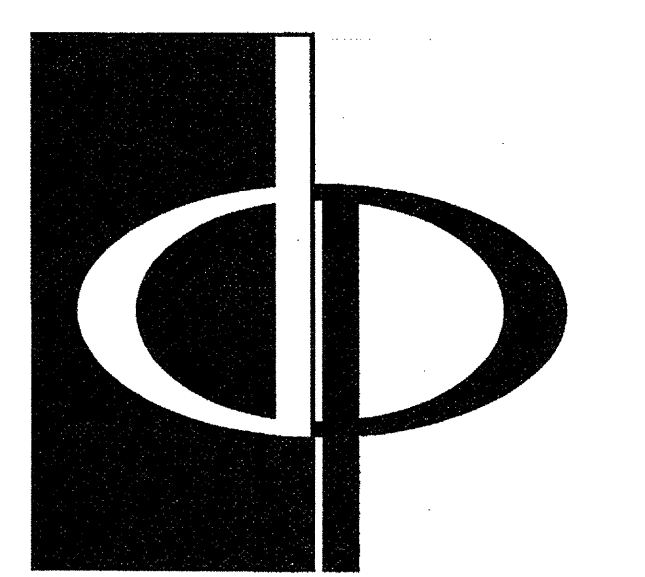


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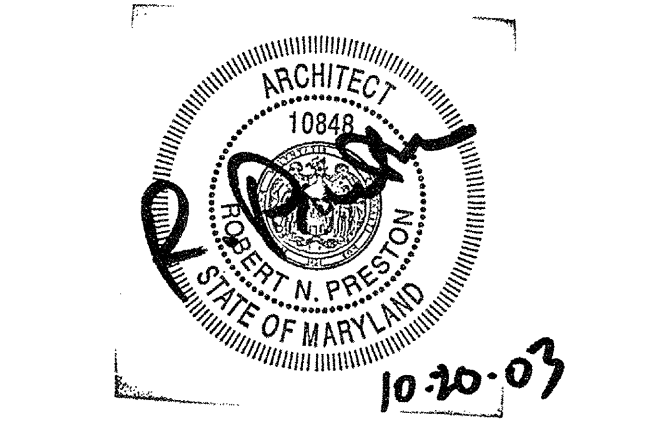


2 UNIT PLAN- UNIT B3B  
SCALE: 1/4"=1'-0"

- UNIT KEYNOTES**
- 1 HVAC UNIT/WATER HEATER, SEE MECHANICAL DIAGS.
  - 2 WASHER CONNECTION DRYER VENT
  - 3 FLOORING CHANGE
  - 4 AIR CONDITIONER
  - 5 DISHWASHER
  - 6 REFRIGERATOR
  - 7 RANGE W/ MICROVAPE ABOVE 4 VENTLESS HOOD
  - 8 PANTRY
  - 9 TOUPEL BAR
  - 10 TOILET PAPER HOLDER
  - 11 LINEN CLOSET
  - 12 36"x60" 1 PIECE, FIBERGLASS GARDEN TUB 4 SKIRT
  - 13 ELECTRIC PANEL
  - 14 ROD 4 SHELF
  - 15 DOUBLE ROD 4 SHELF
  - 16 SHELVES
  - 17 COMPUTER DESK LOCATION (NIC)
  - 18 CROWN MOULDING
  - 19 ARCH CASED OPENING
  - 20 CHAIR RAIL WITH PICTURE FRAME
  - 21 ELONGATED TOILET
  - 22 DBL. STAINLESS STEEL KIT. SINK W/ DISPENSOR
  - 23 SGL. INTEGRATED BOUL. CULT. MARBLE VANITY TOP
  - 24 DBL. INTEGRATED BOUL. CULT. MARBLE VANITY TOP
  - 25 FLAT CASED OPENING
  - 26 GAS FIREPLACE 4 VENTHOOD- "MAJESTIC" UNFRG. W/ MAJIC 18" 02060/FT/IS
  - 27 36" SQUARE FIBERGLASS SHOWER PAN
  - 28 TILE SURROUND # KITCHEN
  - 29 48" NEO FIBERGLASS SHOWER PAN
  - 30 DROP SOFFIT
  - 31 CHAIR RAIL W/ PICTURE HOLDING BELOW  
NOTE: ARROWS INDICATE LOCATION, START AND STOP POINTS

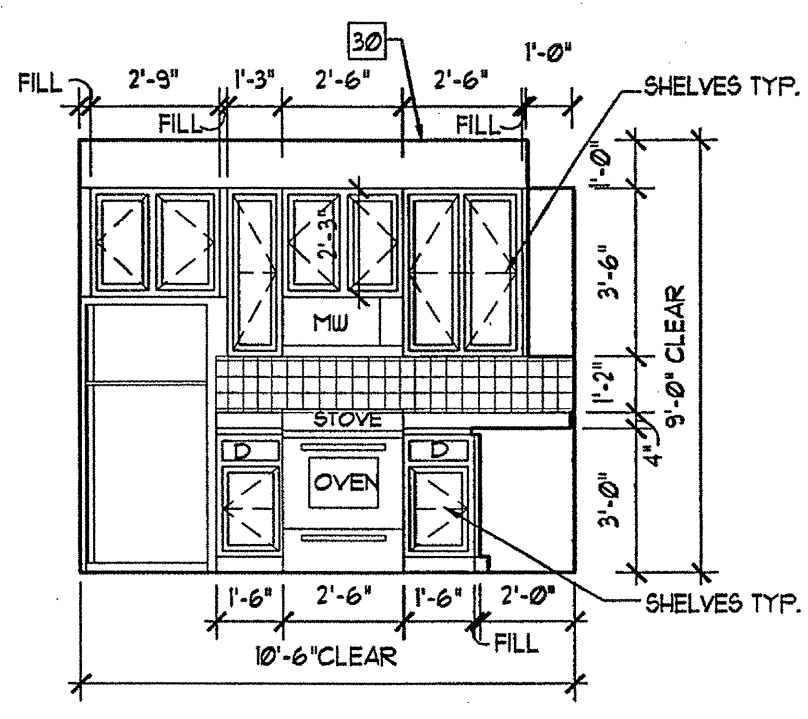


**THE PRESTON PARTNERSHIP, LLC**  
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CONSULTANT

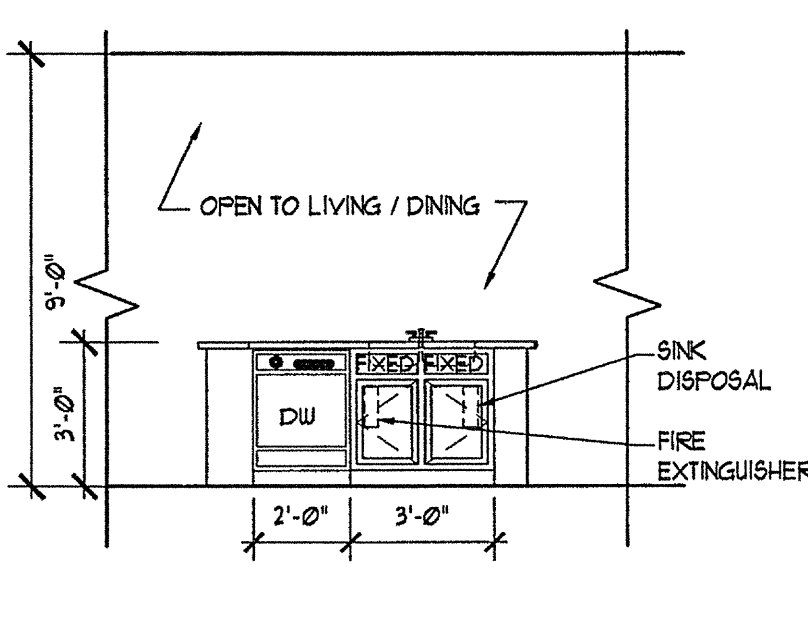


PROJECT  
**ARCHSTONE KENTLANDS**  
949 GUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

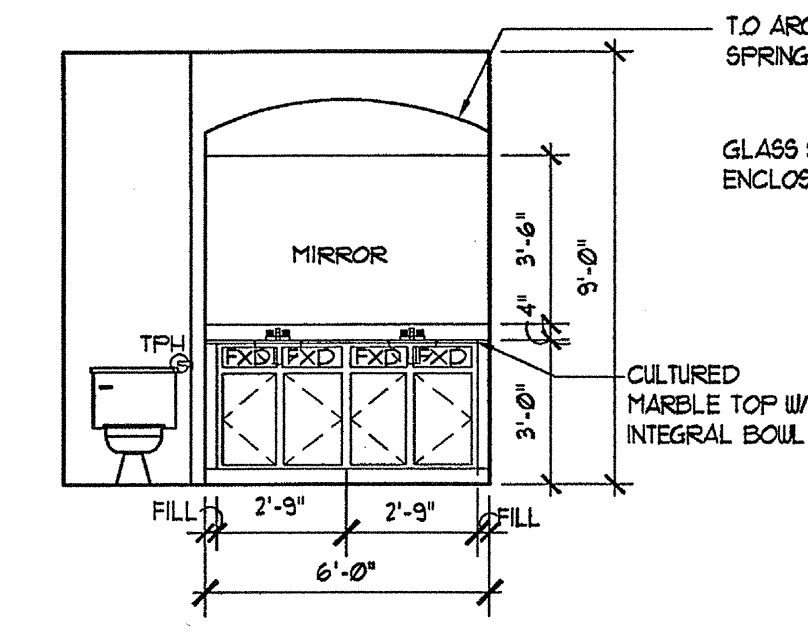
FOR  
**ARCHSTONE COMMUNITIES**  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353



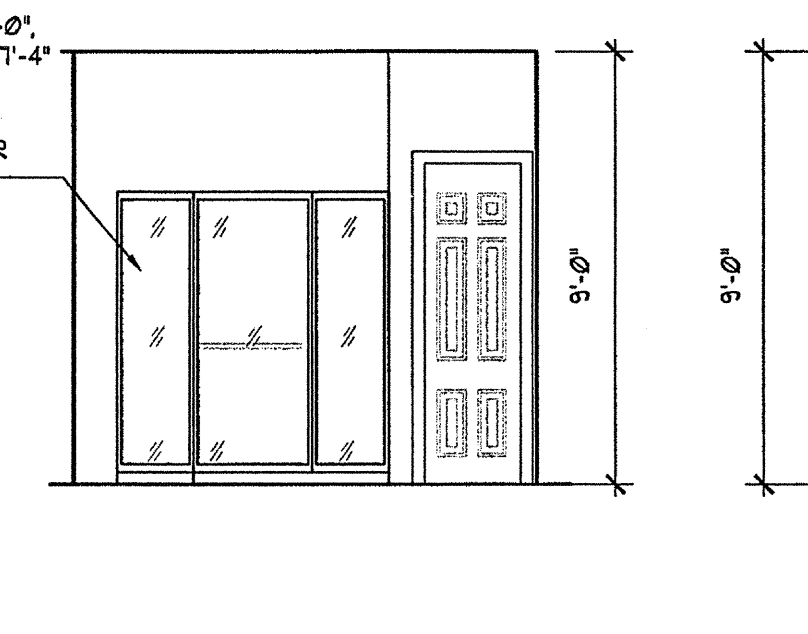
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SCALE: 1/4"=1'-0"



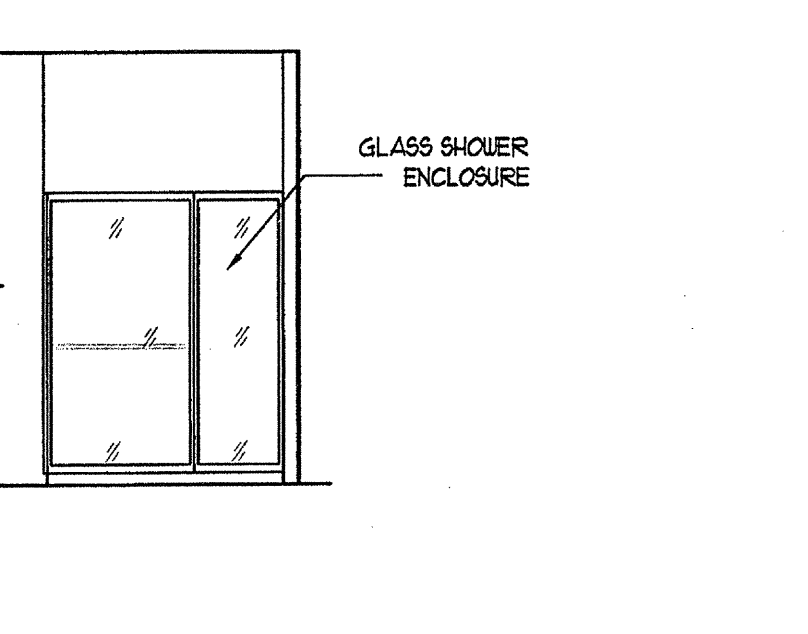
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SCALE: 1/4"=1'-0"



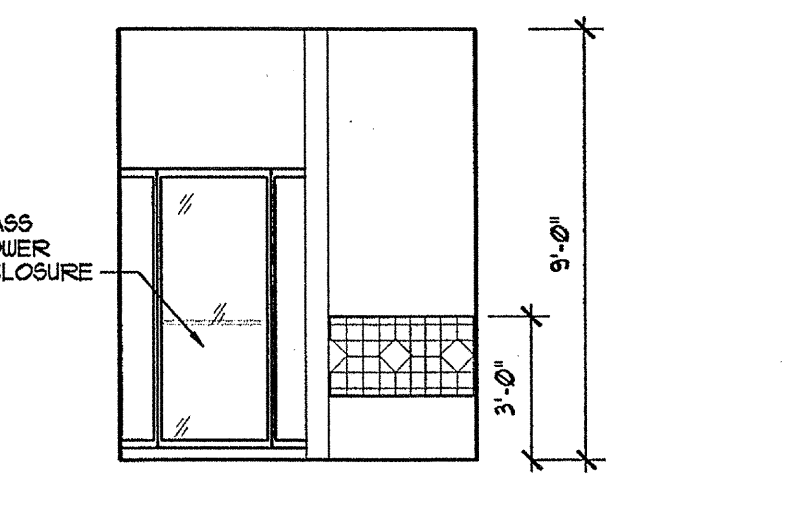
5 BATHROOM ELEVATION  
SCALE: 1/4"=1'-0"



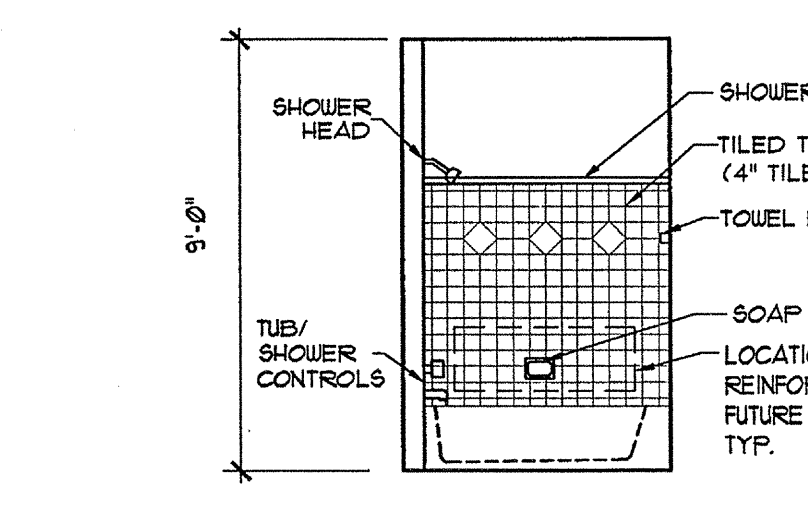
6 BATHROOM ELEVATION  
SCALE: 1/4"=1'-0"



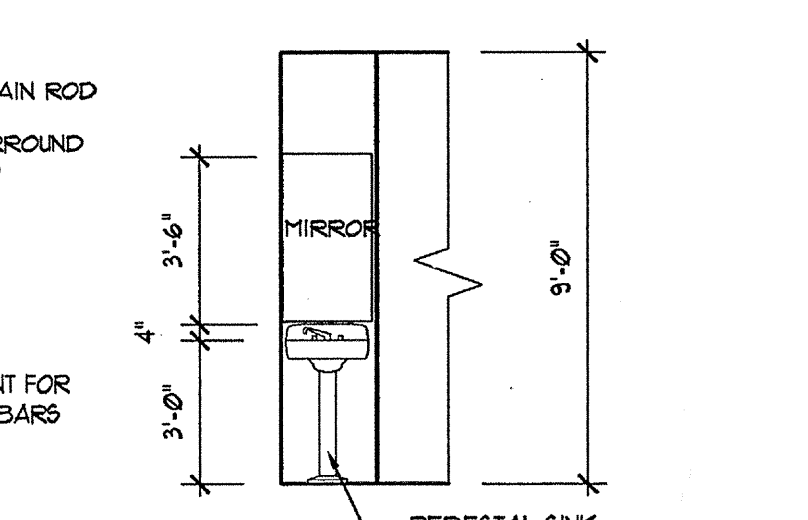
7 BATHROOM ELEVATION  
SCALE: 1/4"=1'-0"



8 BATHROOM ELEVATION  
SCALE: 1/4"=1'-0"



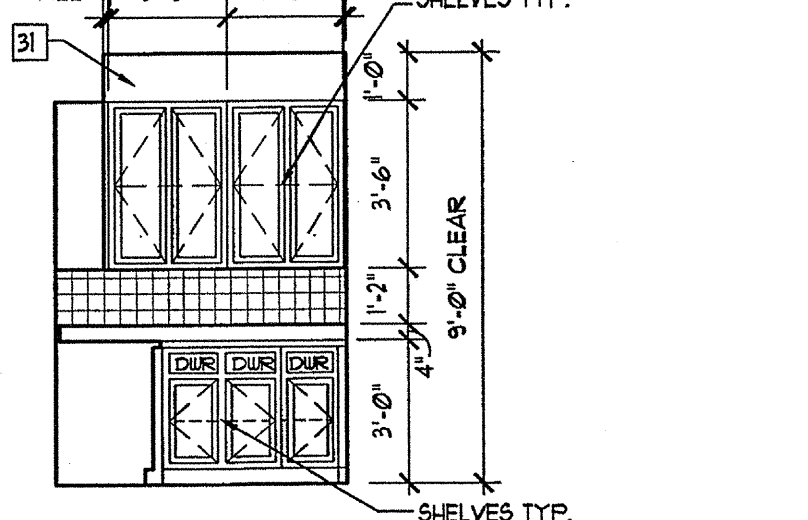
9 BATHROOM ELEVATION  
SCALE: 1/4"=1'-0"



10 POWDER RM ELEVATION  
SCALE: 1/4"=1'-0"



11 FIREPLACE ELEVATION  
SCALE: 1/4"=1'-0"

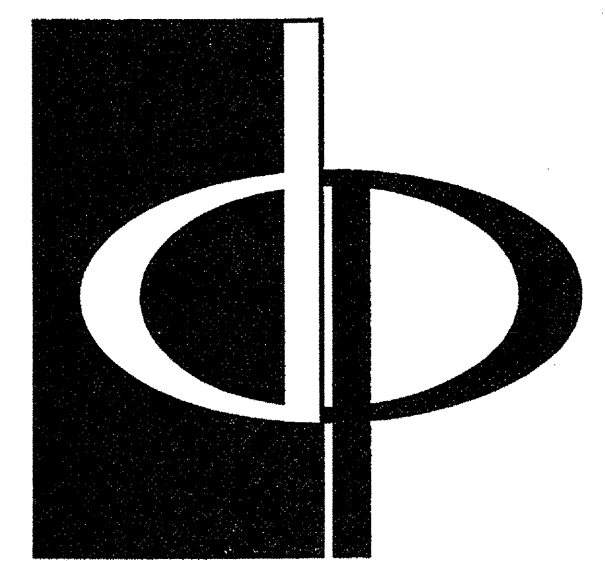


12 KITCHEN ELEVATION  
SCALE: 1/4"=1'-0"

REVISIONS

NO.	DESCRIPTION	DATE
1	RELEASED FOR CONSTRUCTION	01/31/03

DATE: 01/31/03  
JOB NUMBER: 02111008  
DRAWN BY: DA  
CHECKED BY: STM  
DRAWING TITLE: UNIT PLAN B3,B3B  
DRAWING NUMBER: A-3.7  
COMMENTS:



THE PRESTON PARTNERSHIP, LLC  
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PROJECT  
**ARCHSTONE KENTLANDS**  
949 QUINCE ORCHARD ROAD  
GAITHERSBURG, MARYLAND

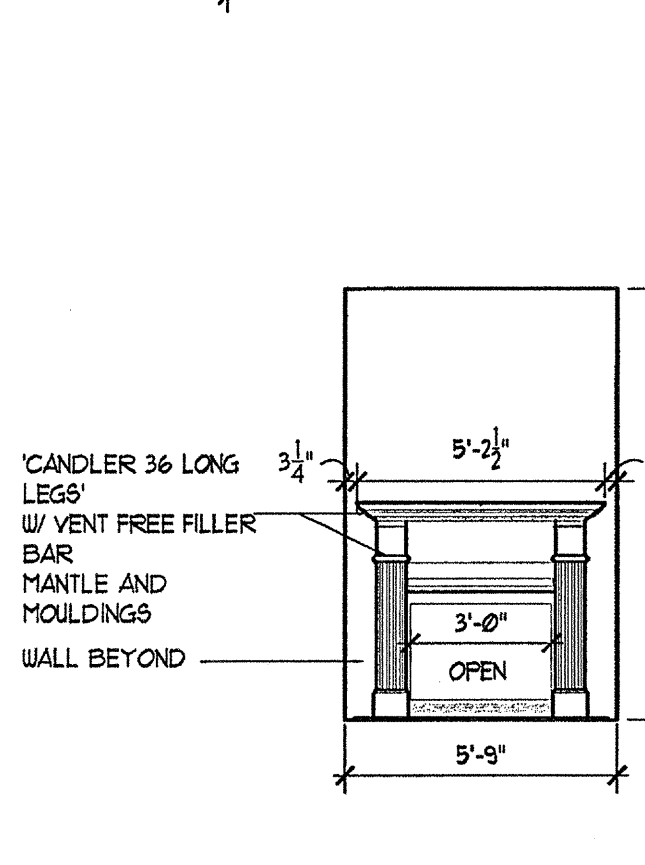
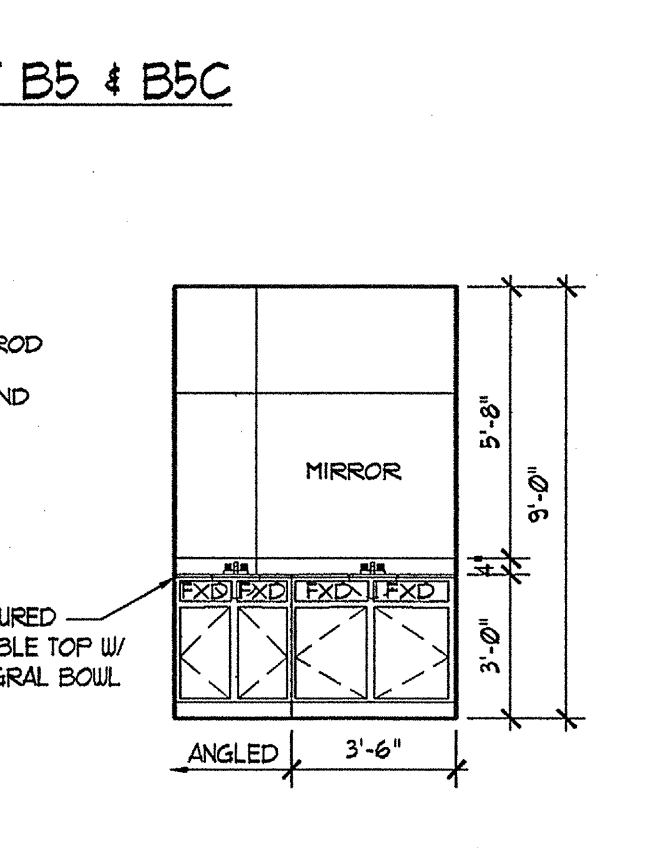
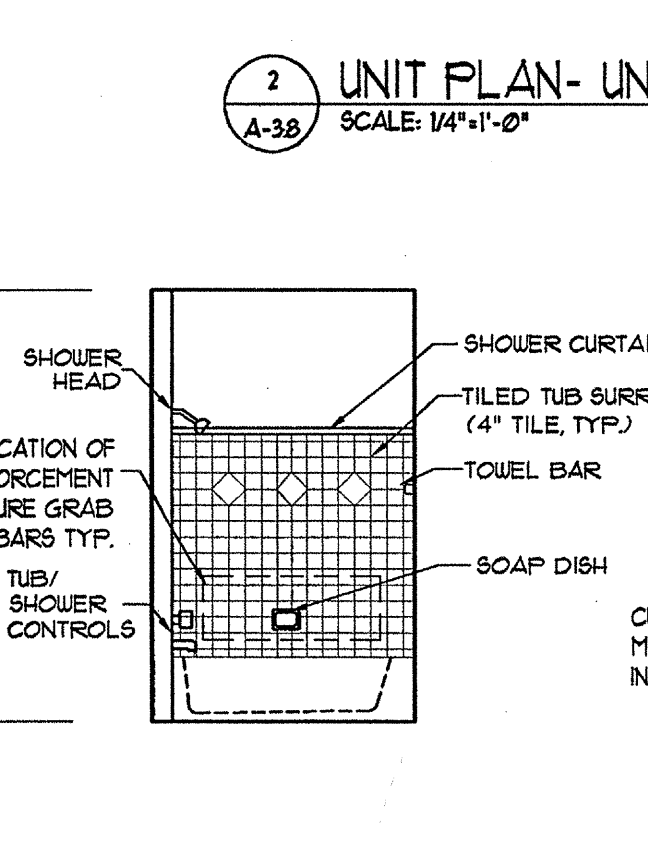
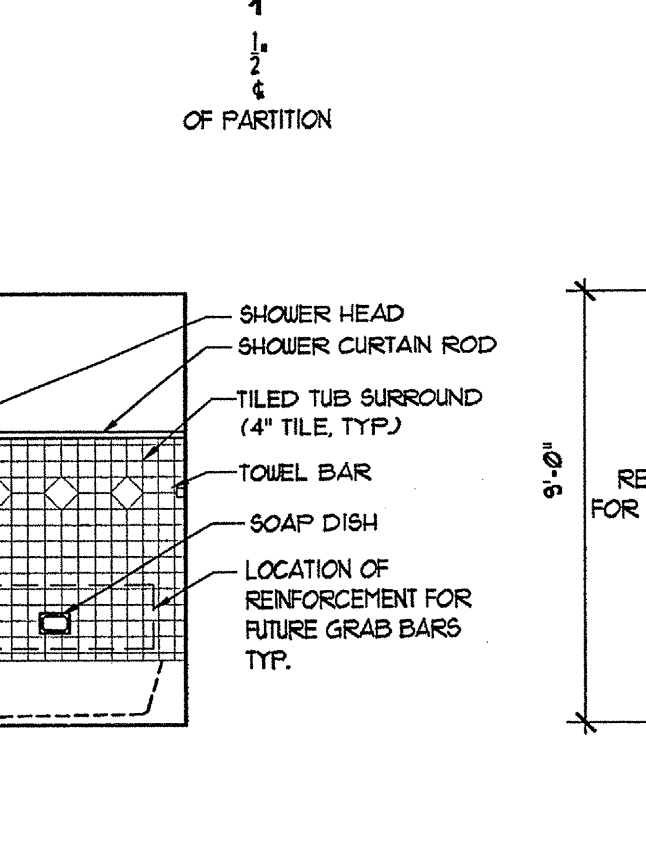
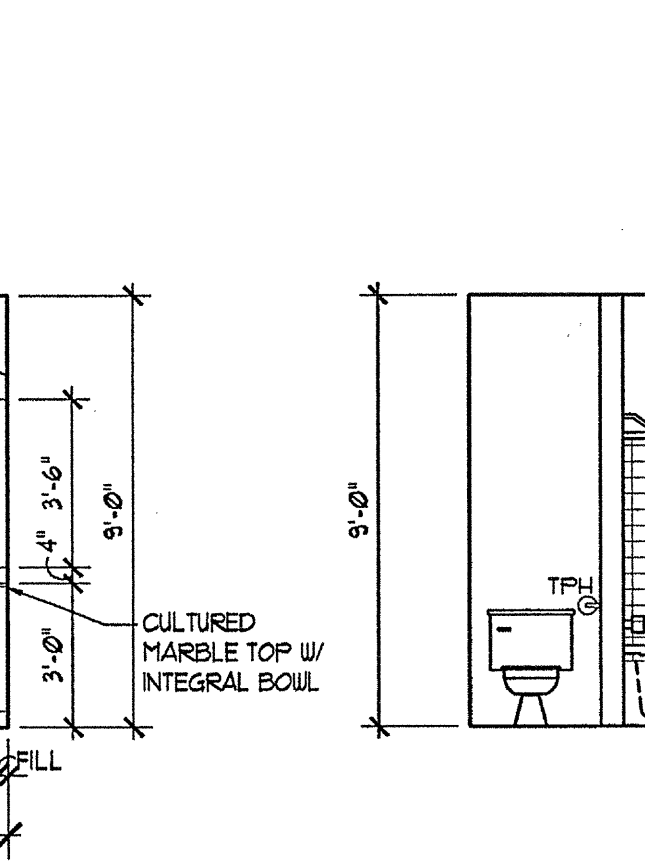
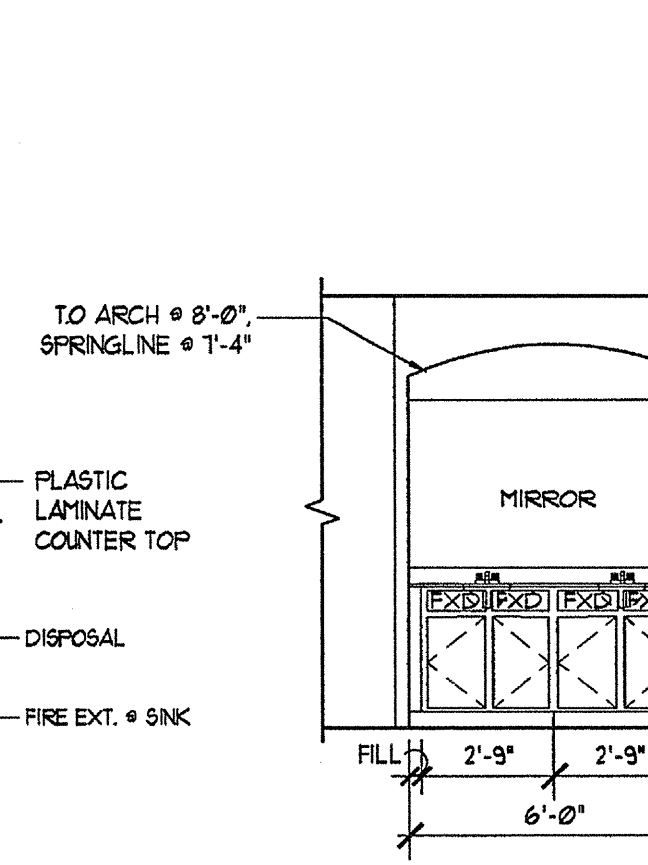
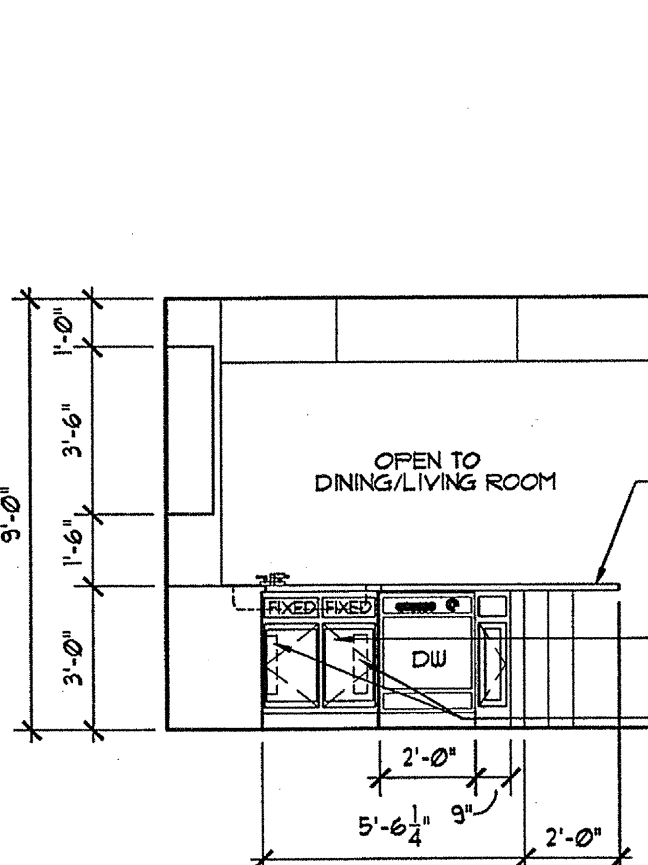
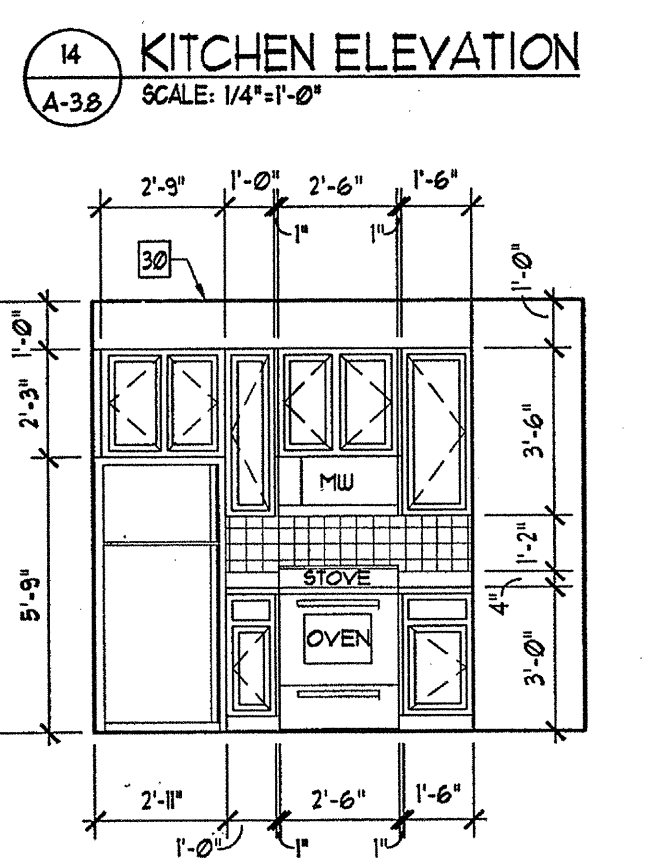
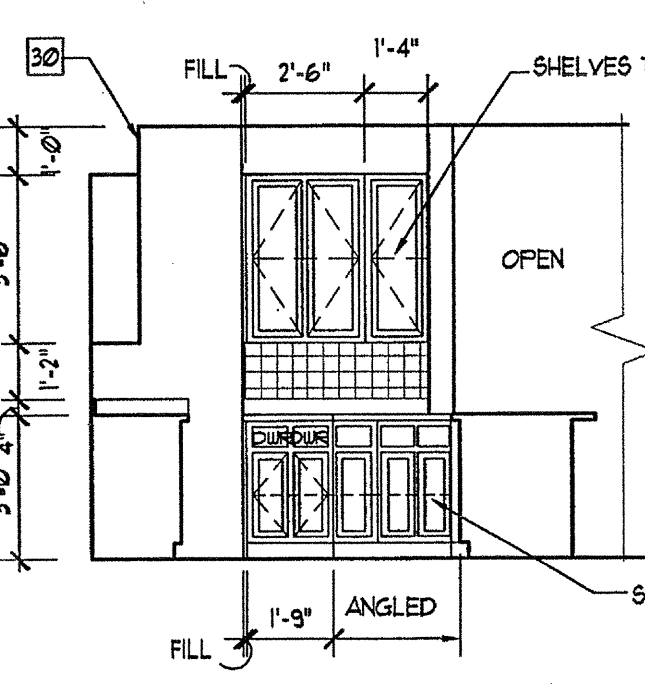
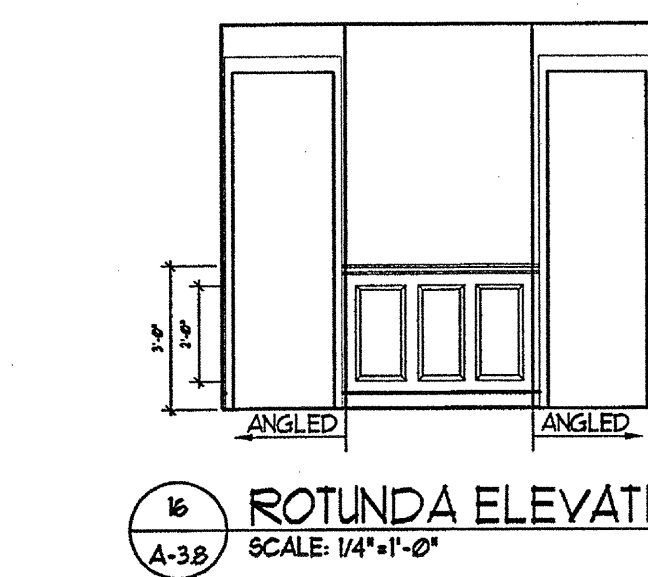
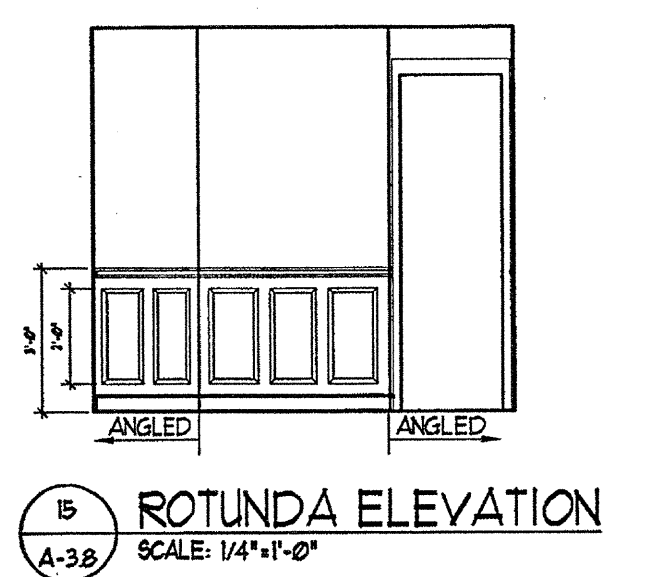
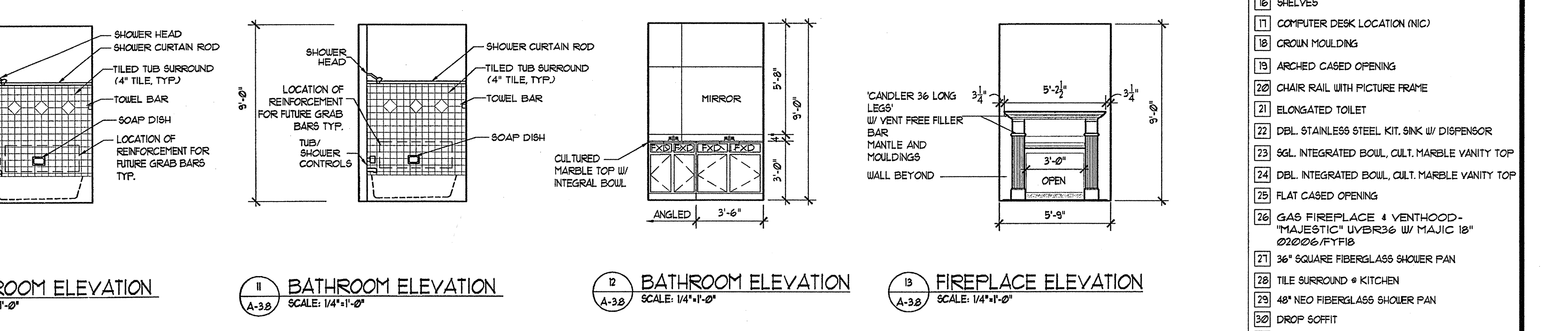
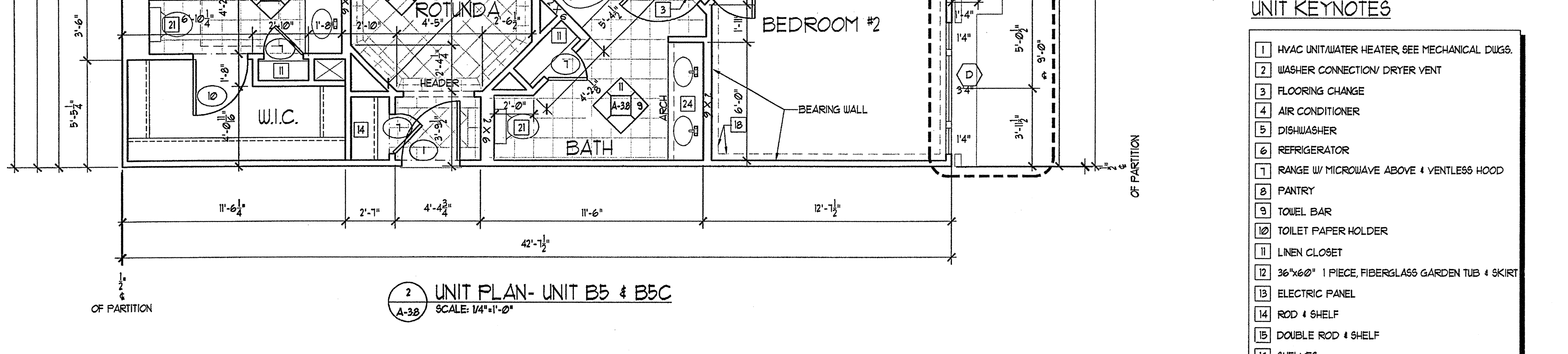
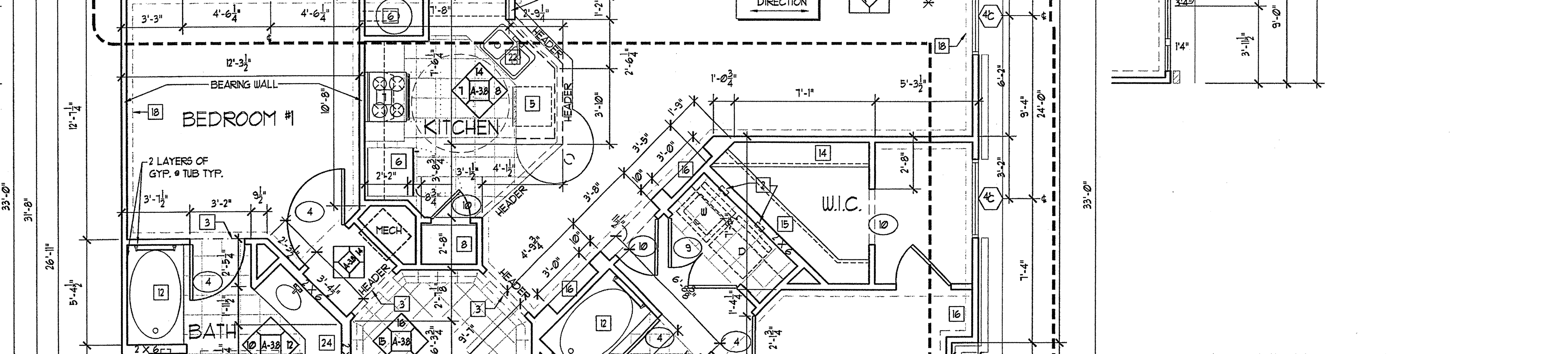
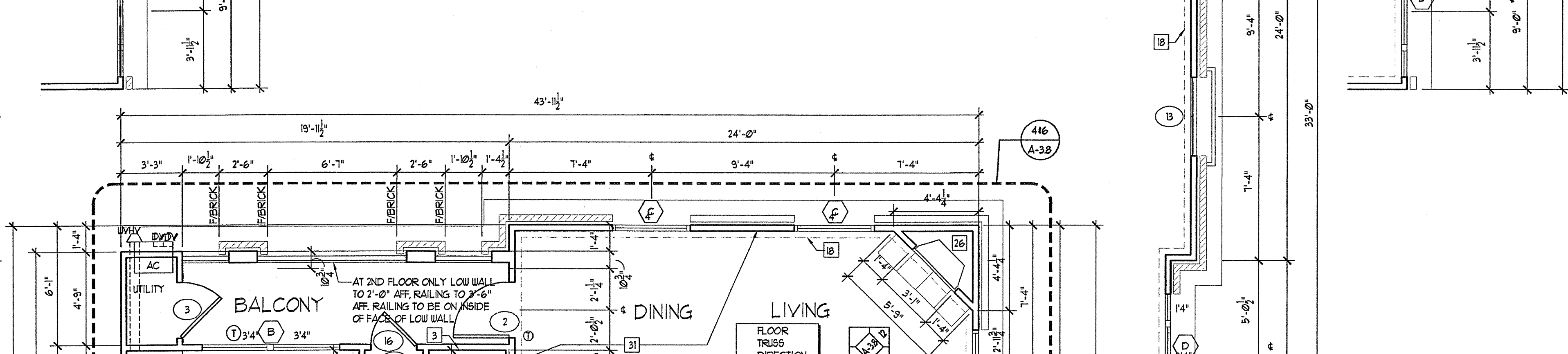
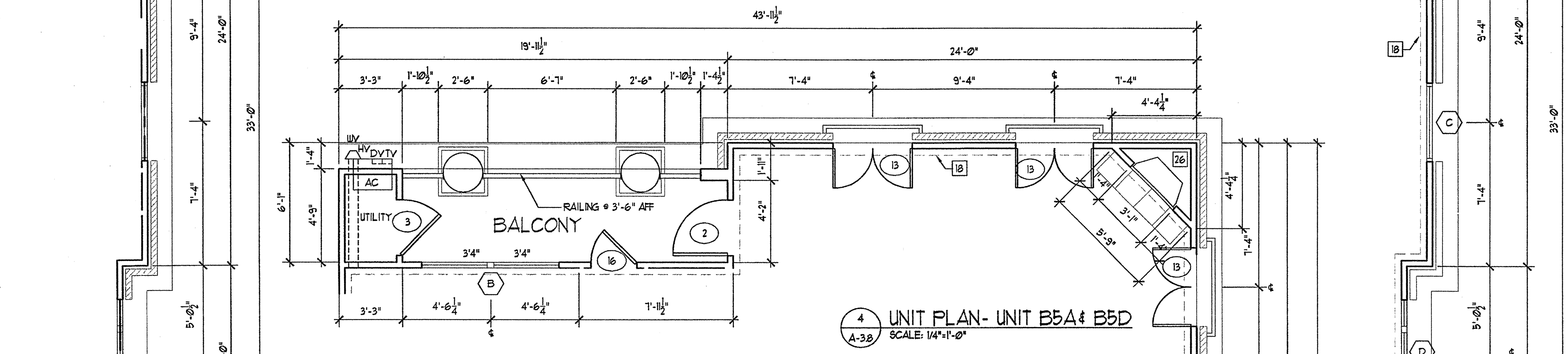
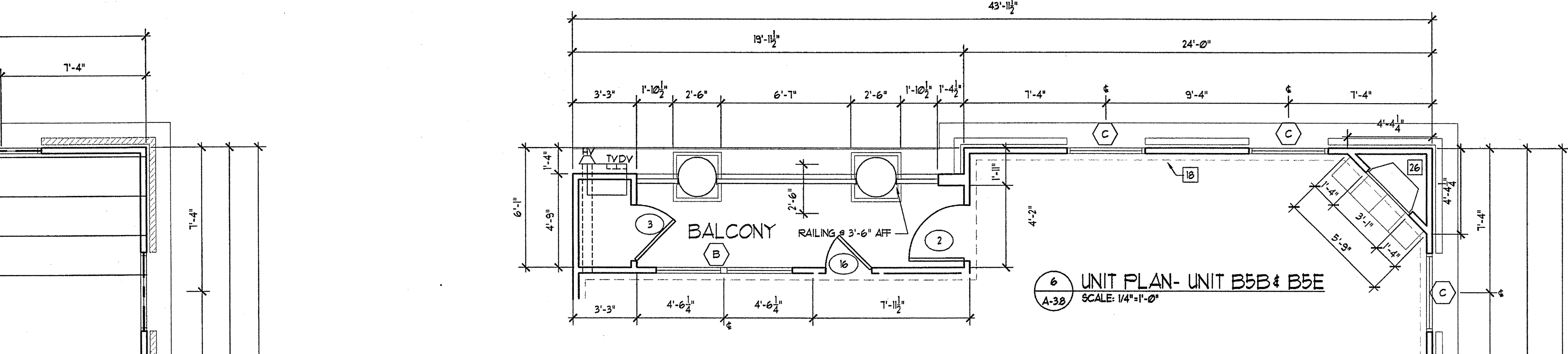
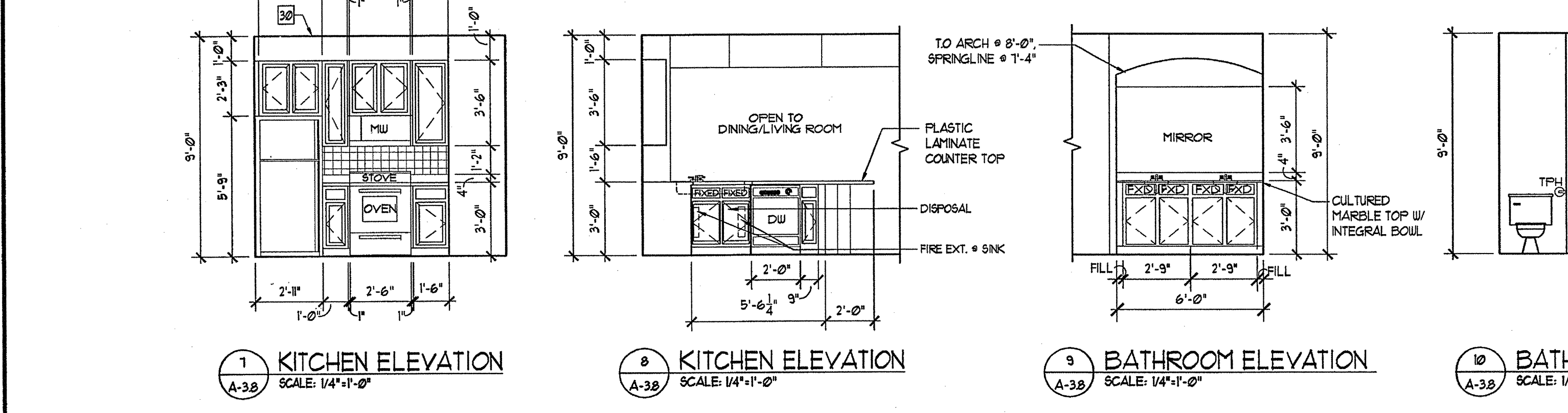
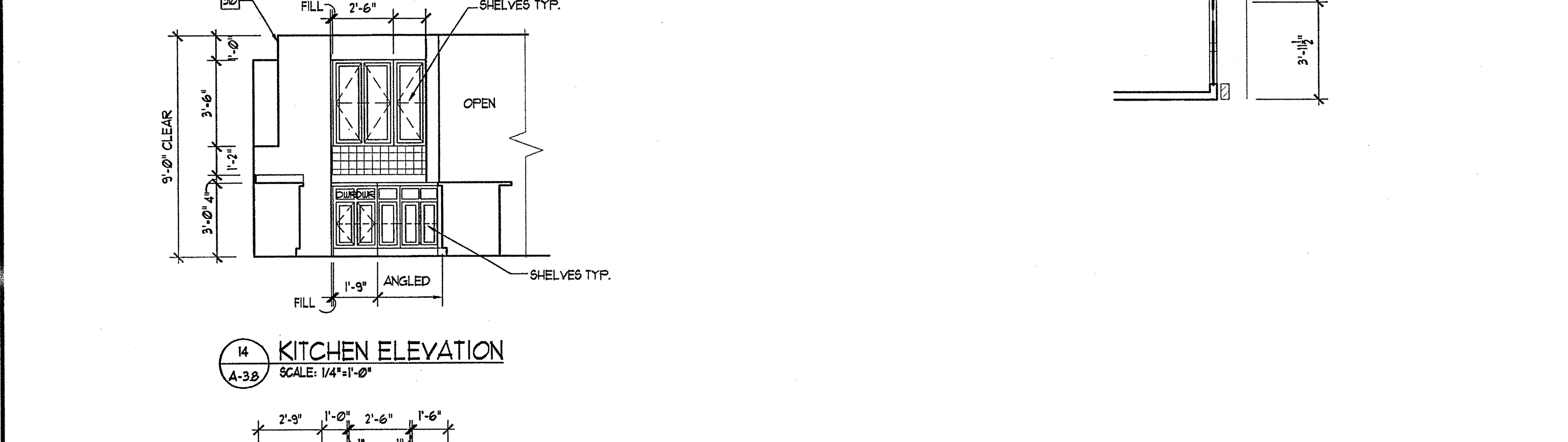
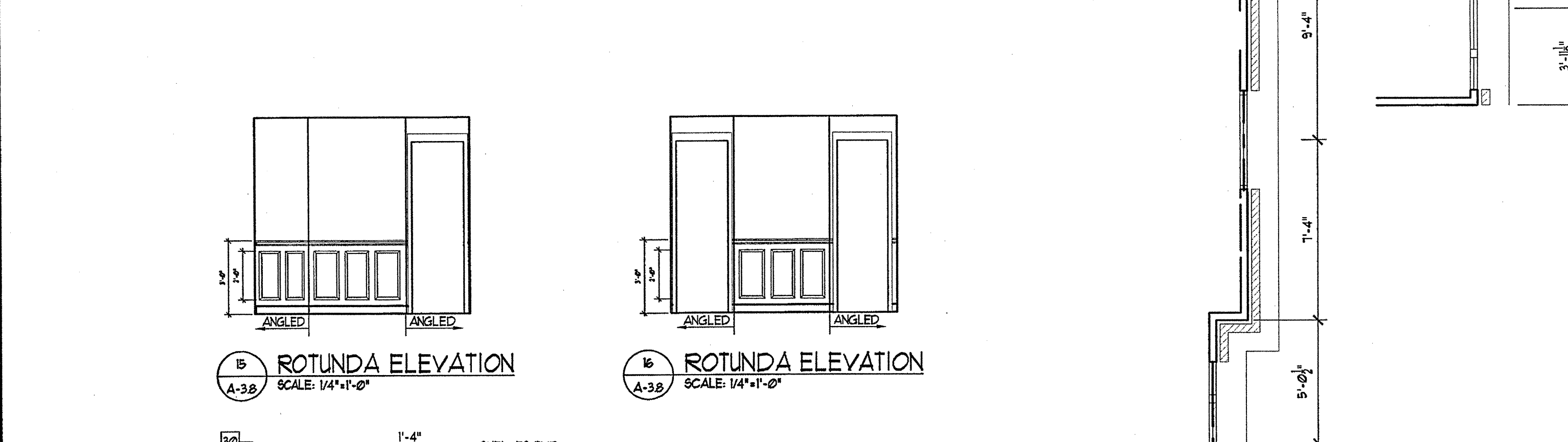
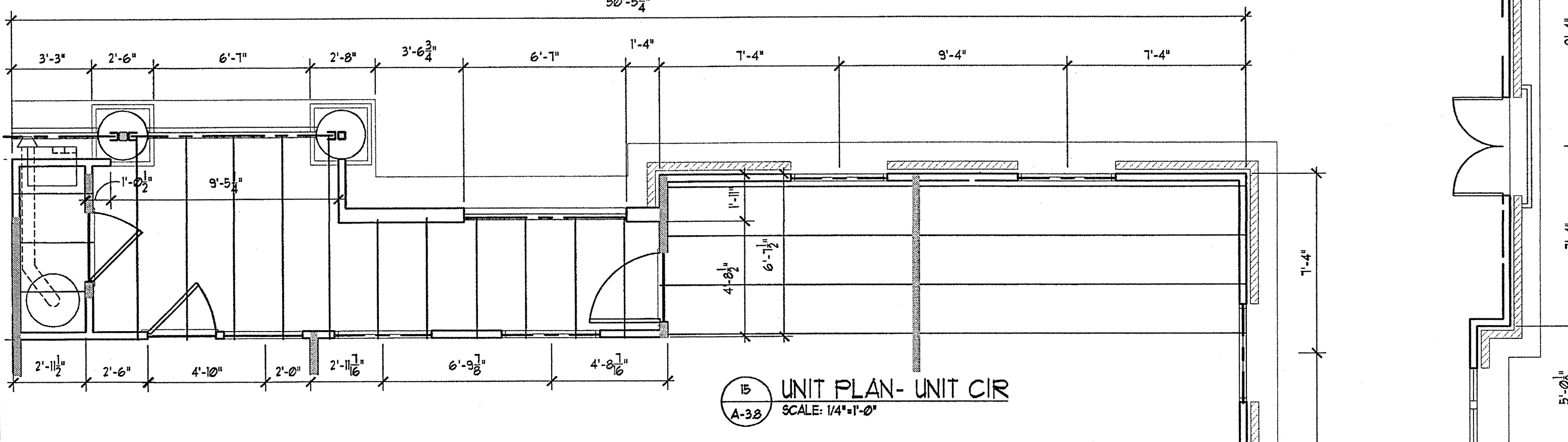
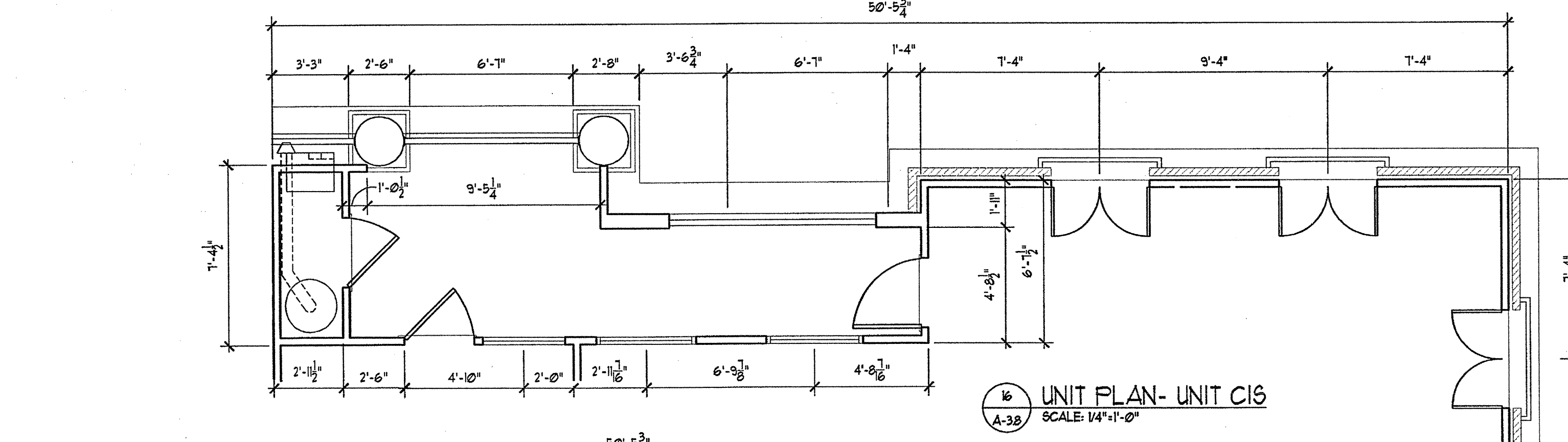
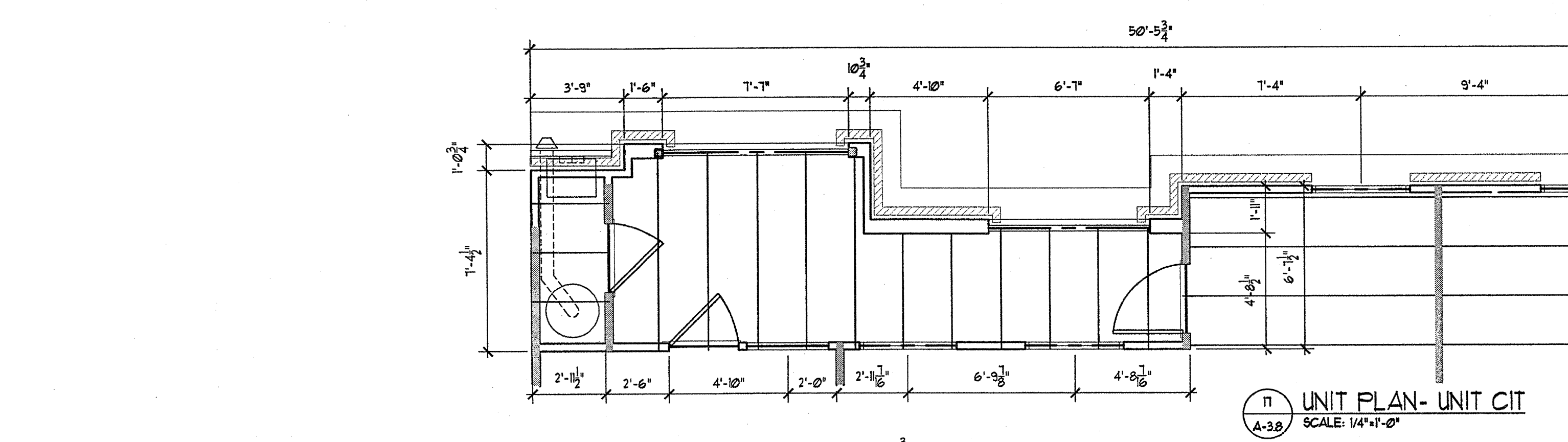
FOR

**ARCHSTONE COMMUNITIES**  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3533

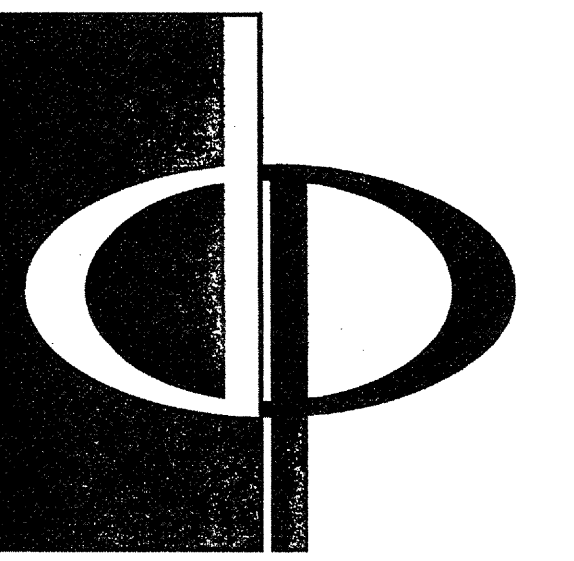
REVISIONS  
RELEASED FOR CONSTRUCTION 07/16/03

DATE 01/31/03  
JOB NUMBER 0211020  
DRAWN BY DA  
CHECKED BY STM  
DRAWING TITLE UNIT B5 PLANS & INTERIOR ELEVATIONS  
DRAWING NUMBER A-3.8

COMMENTS



- UNIT KEYNOTES**
- 1 HYAC UNIT/WATER HEATER SEE MECHANICAL DUGS.
  - 2 WASHER CONNECTION/ DRYER VENT
  - 3 FLOORING CHANGE
  - 4 AIR CONDITIONER
  - 5 DISHWASHER
  - 6 REFRIGERATOR
  - 7 RANGE W/ MICROWAVE ABOVE 4 VENTLESS HOOD
  - 8 PANTRY
  - 9 TOILET BAR
  - 10 TOILET PAPER HOLDER
  - 11 LINEN CLOSET
  - 12 36"x60" 1 PIECE, FIBERGLASS GARDEN TUB 4 SKIRT
  - 13 ELECTRIC PANEL
  - 14 ROD 4 SHELF
  - 15 DOUBLE ROD 4 SHELF
  - 16 SHELVES
  - 17 COMPUTER DESK LOCATION (NIC)
  - 18 CROWN MOULDING
  - 19 ARCHED CASED OPENING
  - 20 CHAIR RAIL WITH PICTURE FRAME
  - 21 ELONGATED TOILET
  - 22 DEL. STAINLESS STEEL KIT, SINK W/ DISPENSOR
  - 23 SGL. INTEGRATED BOUL. CULT. MARBLE VANITY TOP
  - 24 DEL. INTEGRATED BOUL. CULT. MARBLE VANITY TOP
  - 25 FLAT CASED OPENING
  - 26 GAS FIREPLACE 4 VENTHOOD - MARBLE TOP W/ MAJIC 18" 622026/PYFB
  - 27 36" SQUARE FIBERGLASS SHOWER PAN
  - 28 TILE SURROUND 4 KITCHEN
  - 29 48" NEO FIBERGLASS SHOWER PAN
  - 30 DROP SOFFIT
  - 31 CHAIR RAIL W/ PICTURE MOLDING BELOW
- NOTE: ABBREVIATIONS INDICATE LOCATION, START AND STOP POINTS



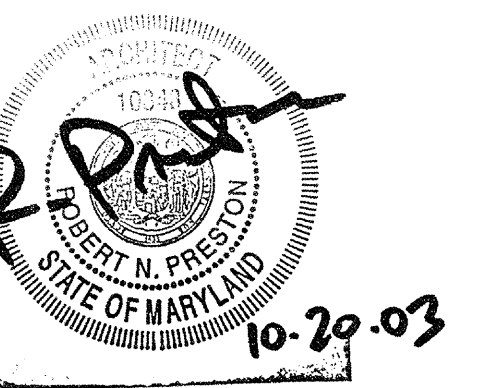
THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

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SEAL



PROJECT

ARCHSTONE  
KENTLANDS

949 QUINCE ORCHARD ROAD  
GATHERERSBURG, MARYLAND

FOR

ARCHSTONE  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3533

REVISONS

RELEASED FOR CONSTRUCTION 07/18/03

DATE 07/31/03

JOB NUMBER 0211026

DRAWN BY DA

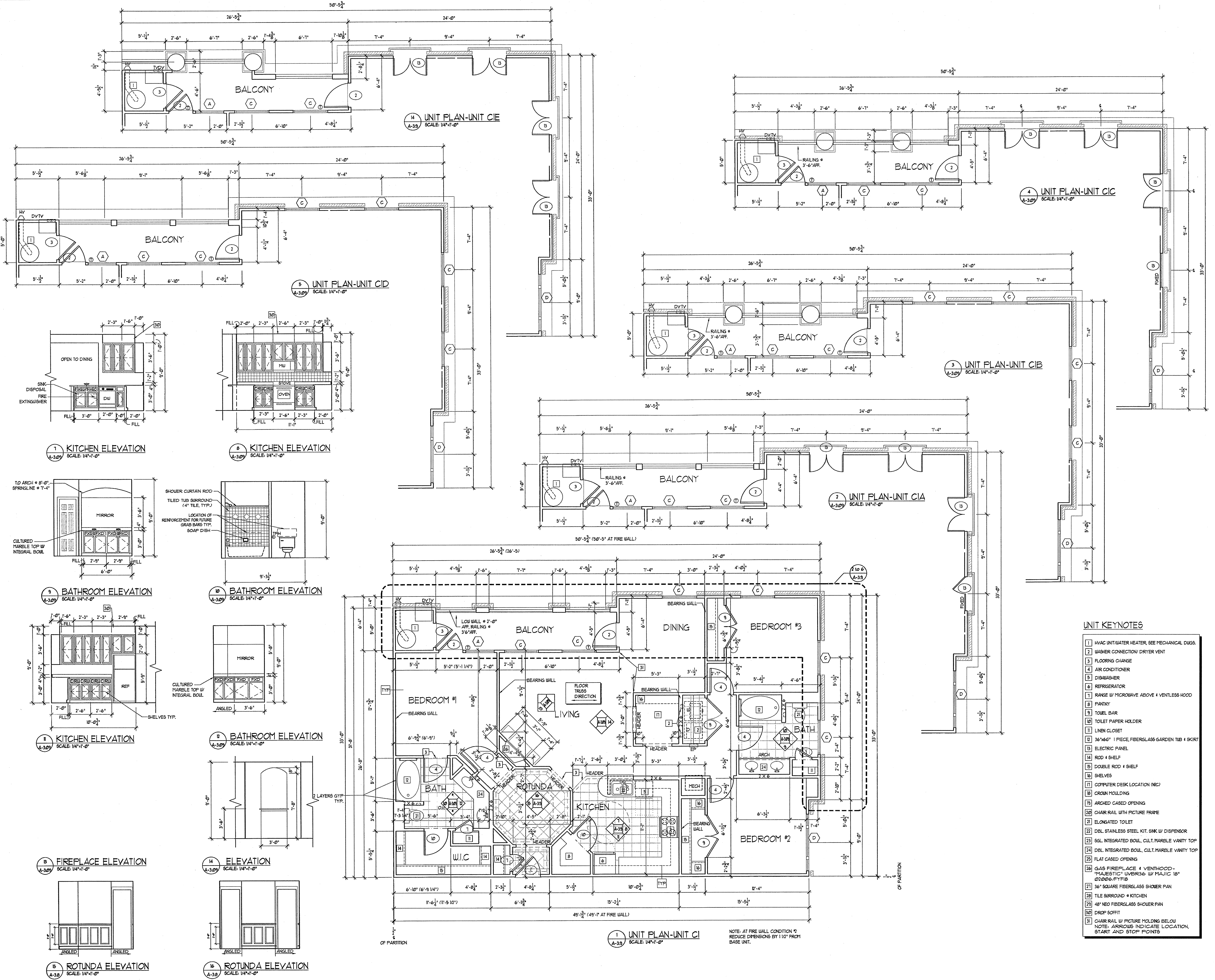
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DRAWING TITLE UNIT CI PLANS

& INTERIOR ELEVATIONS

DRAWING NUMBER A-3.9

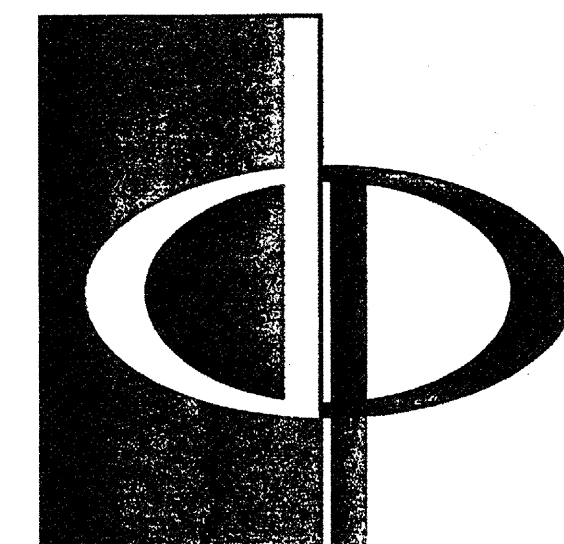
COMMENTS



- UNIT KEYNOTES**
- 1 HVAC UNIT/WATER HEATER, SEE MECHANICAL DUGS.
  - 2 WASHER CONNECTION DRYER VENT
  - 3 FLOORING CHANGE
  - 4 AIR CONDITIONER
  - 5 DISHWASHER
  - 6 REFRIGERATOR
  - 7 RANGE W/ MICROWAVE ABOVE + VENTLESS HOOD
  - 8 PANTRY
  - 9 TOWEL BAR
  - 10 TOILET PAPER HOLDER
  - 11 LINEN CLOSET
  - 12 36"x60" 1 PIECE, FIBERGLASS GARDEN TUB + SKIRT
  - 13 ELECTRIC PANEL
  - 14 ROD + SHELF
  - 15 DOUBLE ROD + SHELF
  - 16 SHELVES
  - 17 COMPUTER DESK LOCATION (NIC)
  - 18 CROWN MOULDING
  - 19 ARCHED CASED OPENING
  - 20 CHAIR RAIL WITH PICTURE FRAME
  - 21 ELONGATED TOILET
  - 22 DBL. STAINLESS STEEL KIT. SINK W/ DISPENSOR
  - 23 SGL. INTEGRATED BOUL. CULT. MARBLE VANITY TOP
  - 24 DBL. INTEGRATED BOUL. CULT. MARBLE VANITY TOP
  - 25 FLAT CASED OPENING
  - 26 GAS FIREPLACE + VENTHOOD - "MAJESTIC" LIVERSIGS W/ "MAJIC" 18" 021026/FYFB
  - 27 36" SQUARE FIBERGLASS SHOWER PAN
  - 28 TILE SURROUND + KITCHEN
  - 29 48" NEO FIBERGLASS SHOWER PAN
  - 30 DROP SOFIT
  - 31 CHAIR RAIL W/ PICTURE HOLDING BELOW
- NOTE: ARROWS INDICATE LOCATION, START AND STOP POINTS

NOTE: AT FIRE WALL CONDITION 2  
REDUCE DIMENSIONS BY 1/2" FROM  
BASE UNIT.





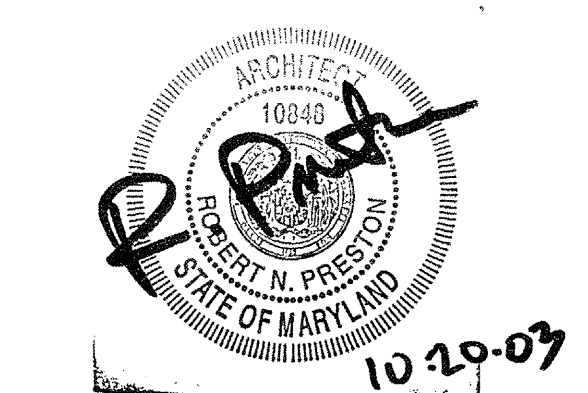
THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
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CONSULTANT \_\_\_\_\_

SEAL \_\_\_\_\_



PROJECT \_\_\_\_\_

ARCHSTONE  
KENTLANDS

949 QUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

FOR \_\_\_\_\_

**ARCHSTONE**  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS  
RELEASED FOR CONSTRUCTION 07/18/03

DATE \_\_\_\_\_

JOB NUMBER 02111023

DRAWN BY \_\_\_\_\_

CHECKED BY DA

DRAWING TITLE 6TM

UNIT PLANS B4 & B4A

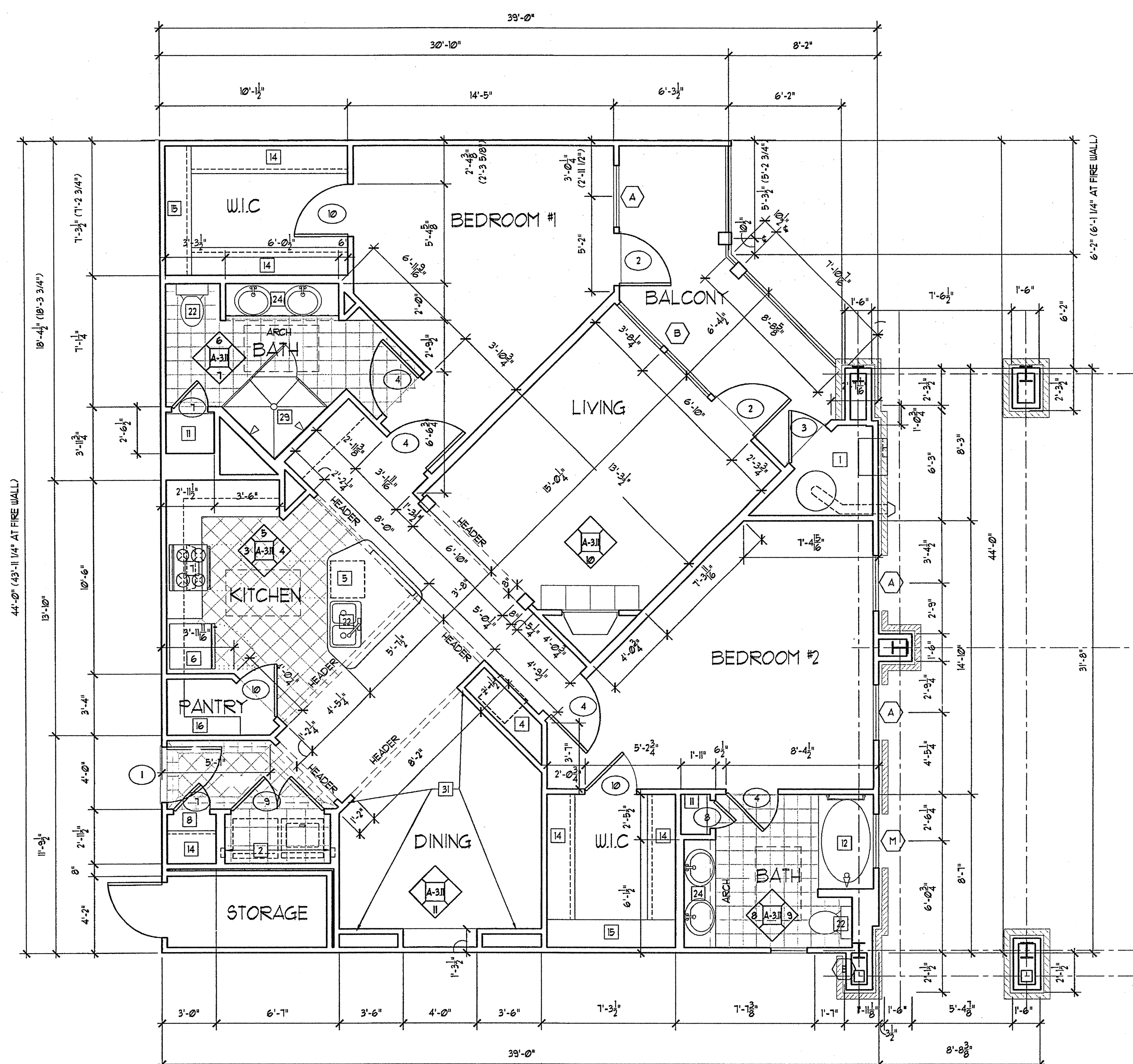
DRAWING NUMBER \_\_\_\_\_

COMMENTS \_\_\_\_\_

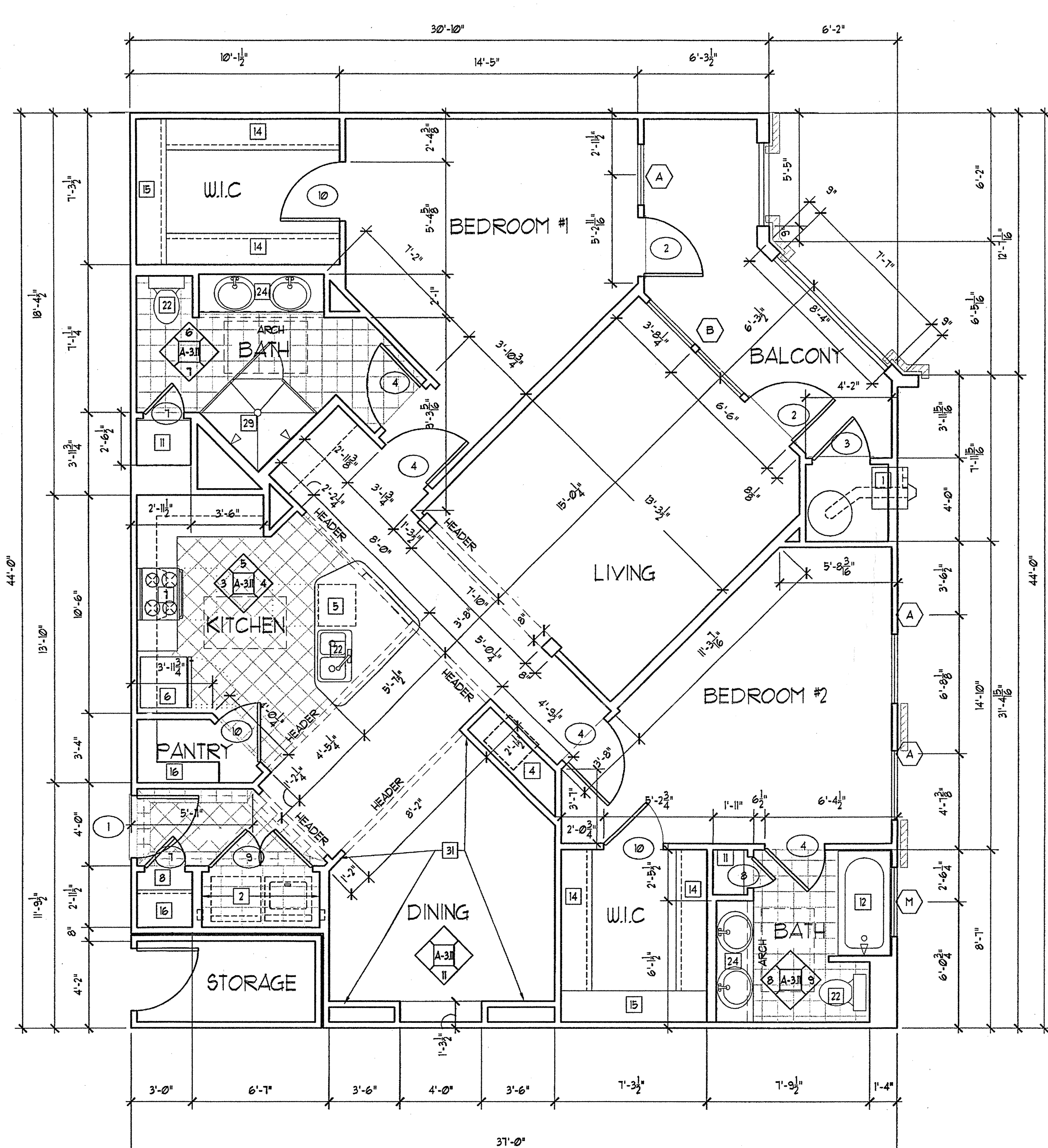
A-3.11

UNIT KEYNOTES

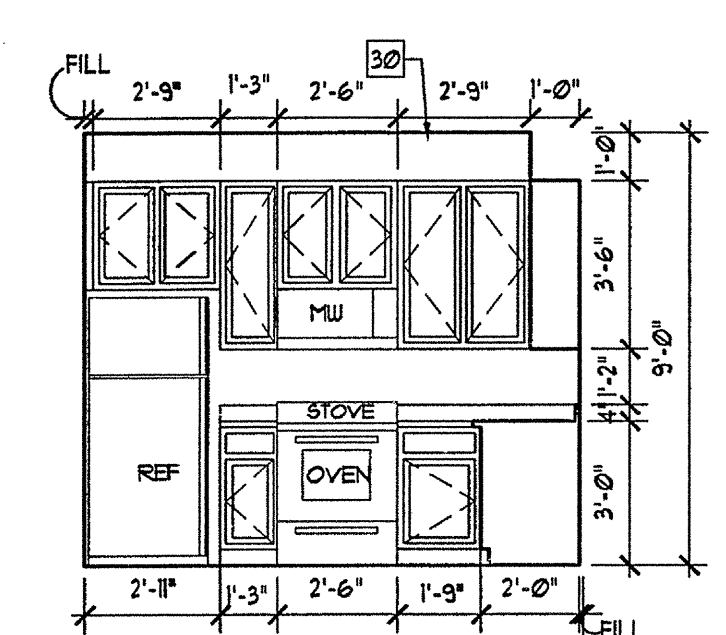
- 1 HVAC UNIT/WATER HEATER, SEE MECHANICAL DIAGS.
  - 2 WASHER CONNECTION/ DRYER VENT
  - 3 FLOORING CHANGE
  - 4 AIR CONDITIONER
  - 5 DISHWASHER
  - 6 REFRIGERATOR
  - 7 RANGE W/ MICROWAVE ABOVE & VENTLESS HOOD
  - 8 PANTRY
  - 9 TOILET BAR
  - 10 TOILET PAPER HOLDER
  - 11 LINEN CLOSET
  - 12 36"x60" 1 PIECE, FIBERGLASS GARDEN TUB & SKIRT
  - 13 ELECTRIC PANEL
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  - 16 SHELVES
  - 17 COMPUTER DESK LOCATION (NIC)
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  - 20 CHAIR RAIL WITH PICTURE FRAME
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  - 22 DBL. STAINLESS STEEL KIT. SINK W/ DISPENSOR
  - 23 SGL. INTEGRATED BOUL. CULT. MARBLE VANITY TOP
  - 24 DBL. INTEGRATED BOUL. CULT. MARBLE VANITY TOP
  - 25 FLAT CASED OPENING
  - 26 GAS FIREPLACE & VENTHOOD - "MAJESTIC" OVER 36" W/ MAJIC 18" 02006/PYF18
  - 27 36" SQUARE FIBERGLASS SHOWER PAN
  - 28 TILE SURROUND \* KITCHEN
  - 29 48" NEO FIBERGLASS SHOWER PAN
  - 30 DROP SOFFIT
  - 31 CHAIR RAIL W/ PICTURE MOLDING BELOW
- NOTE: ARROWS INDICATE LOCATION, START AND STOP POINTS



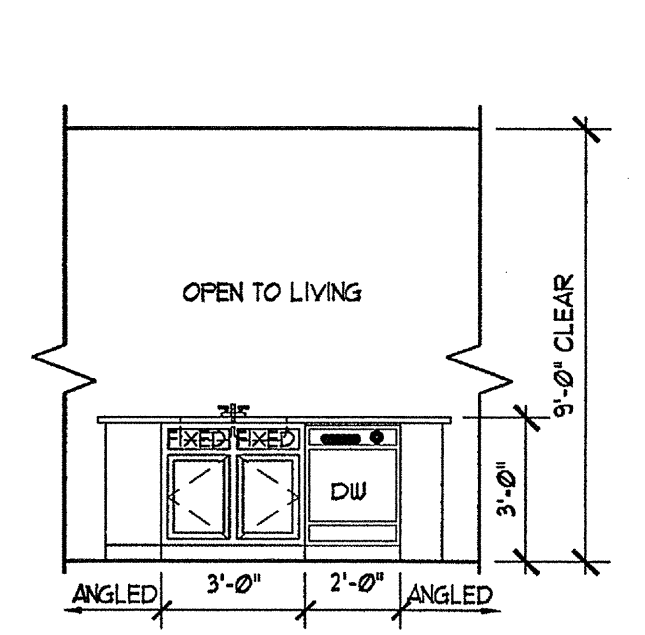
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SCALE: 1/4"=1'-0"



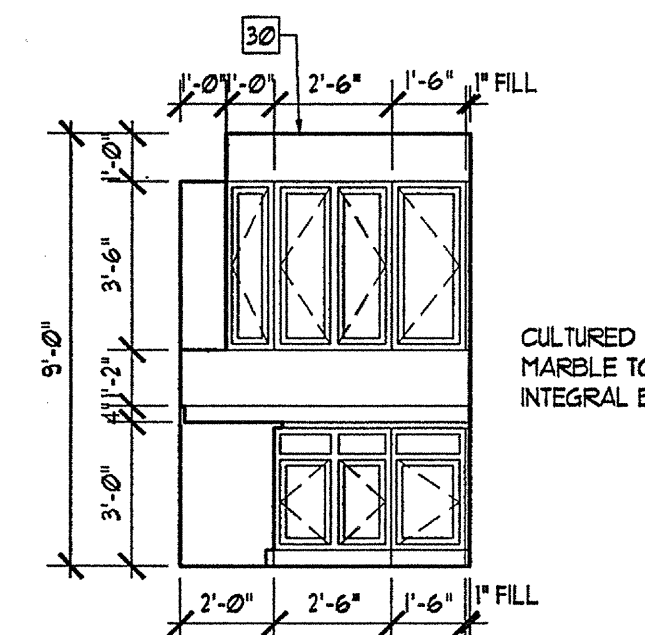
2 UNIT PLAN-UNIT B4A  
SCALE: 1/4"=1'-0"



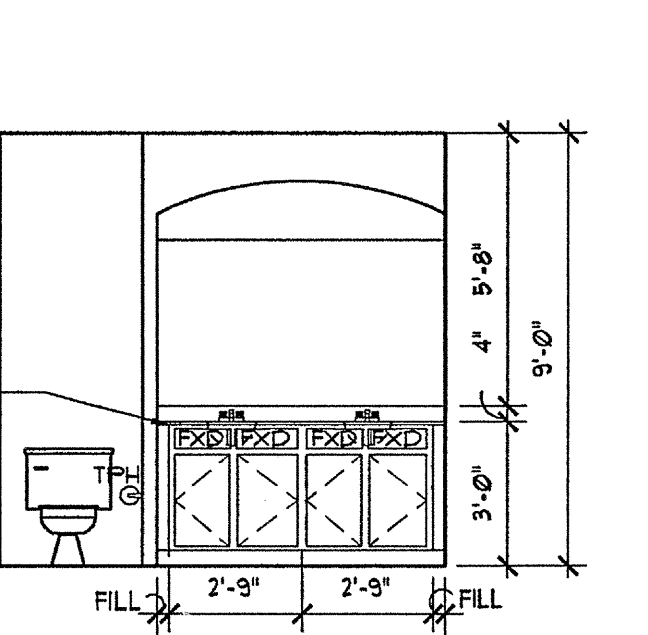
3 KITCHEN ELEVATION  
SCALE: 1/4"=1'-0"



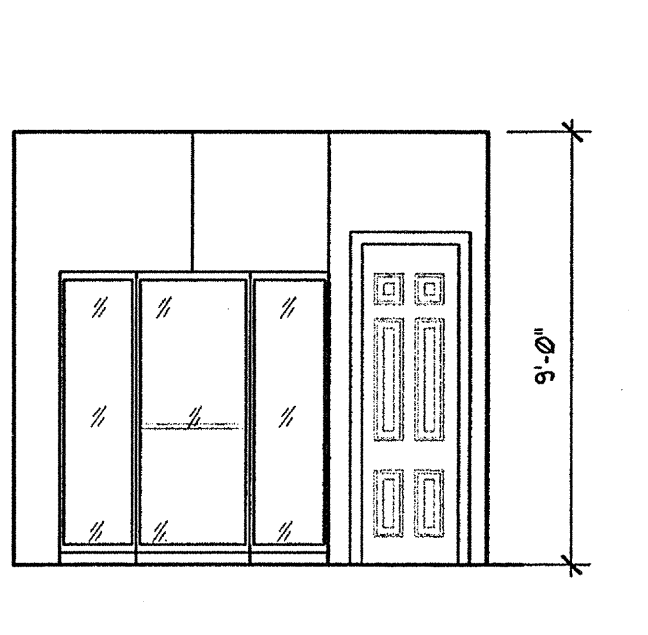
4 KITCHEN ELEVATION  
SCALE: 1/4"=1'-0"



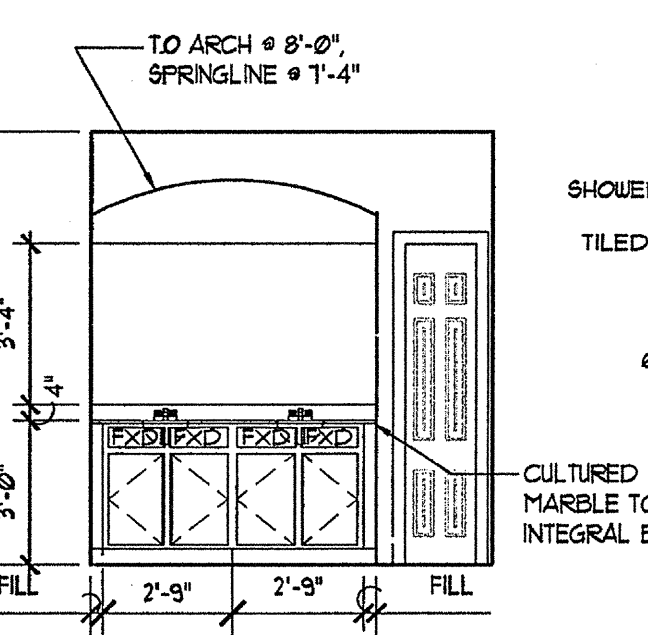
5 KITCHEN ELEVATION  
SCALE: 1/4"=1'-0"



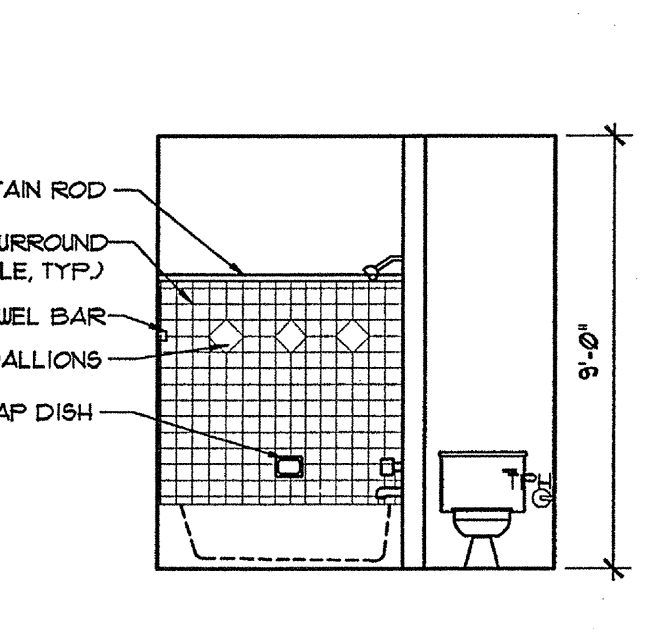
6 BATH ELEVATION  
SCALE: 1/4"=1'-0"



7 BATH ELEVATION  
SCALE: 1/4"=1'-0"

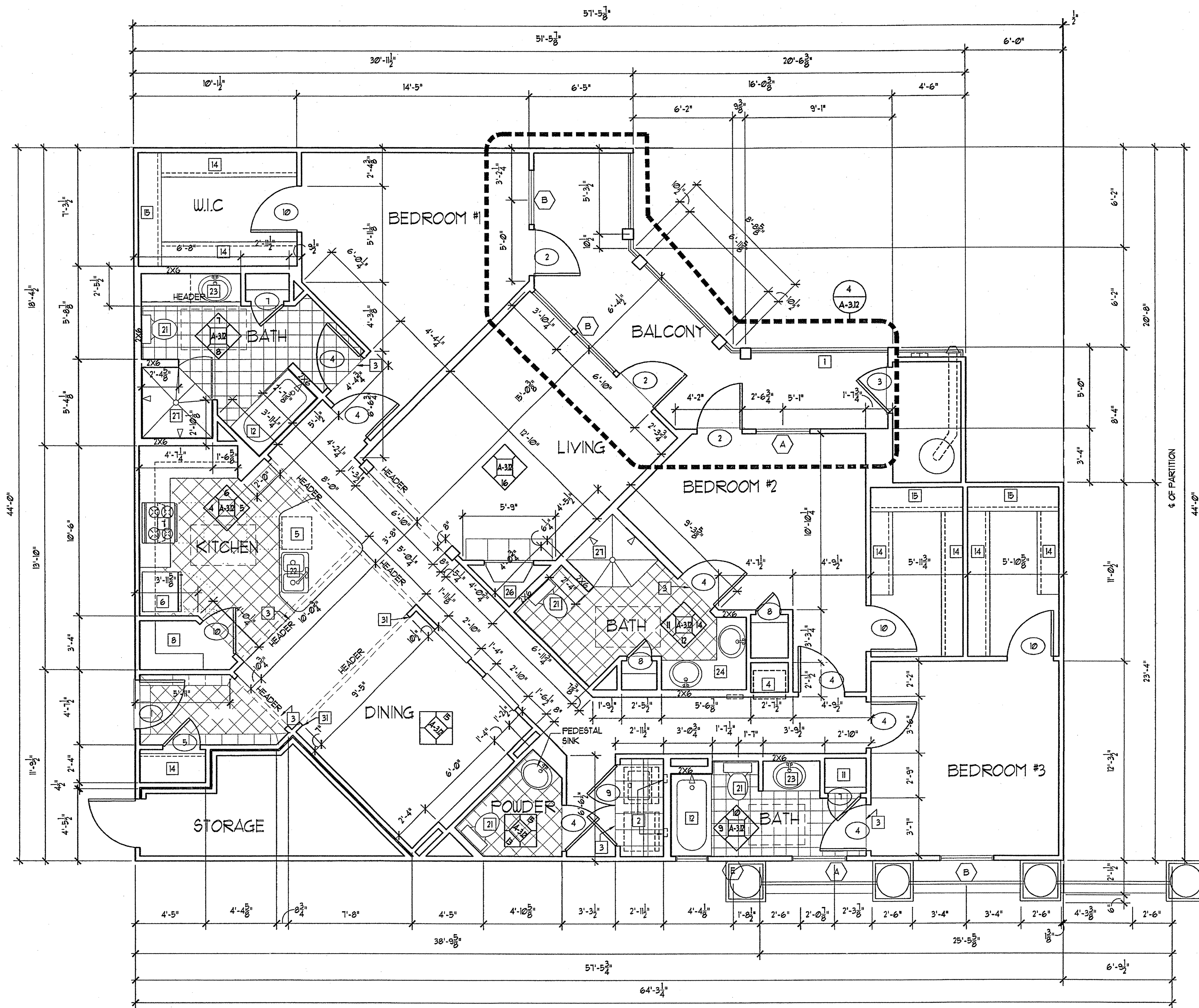


8 BATH ELEVATION  
SCALE: 1/4"=1'-0"



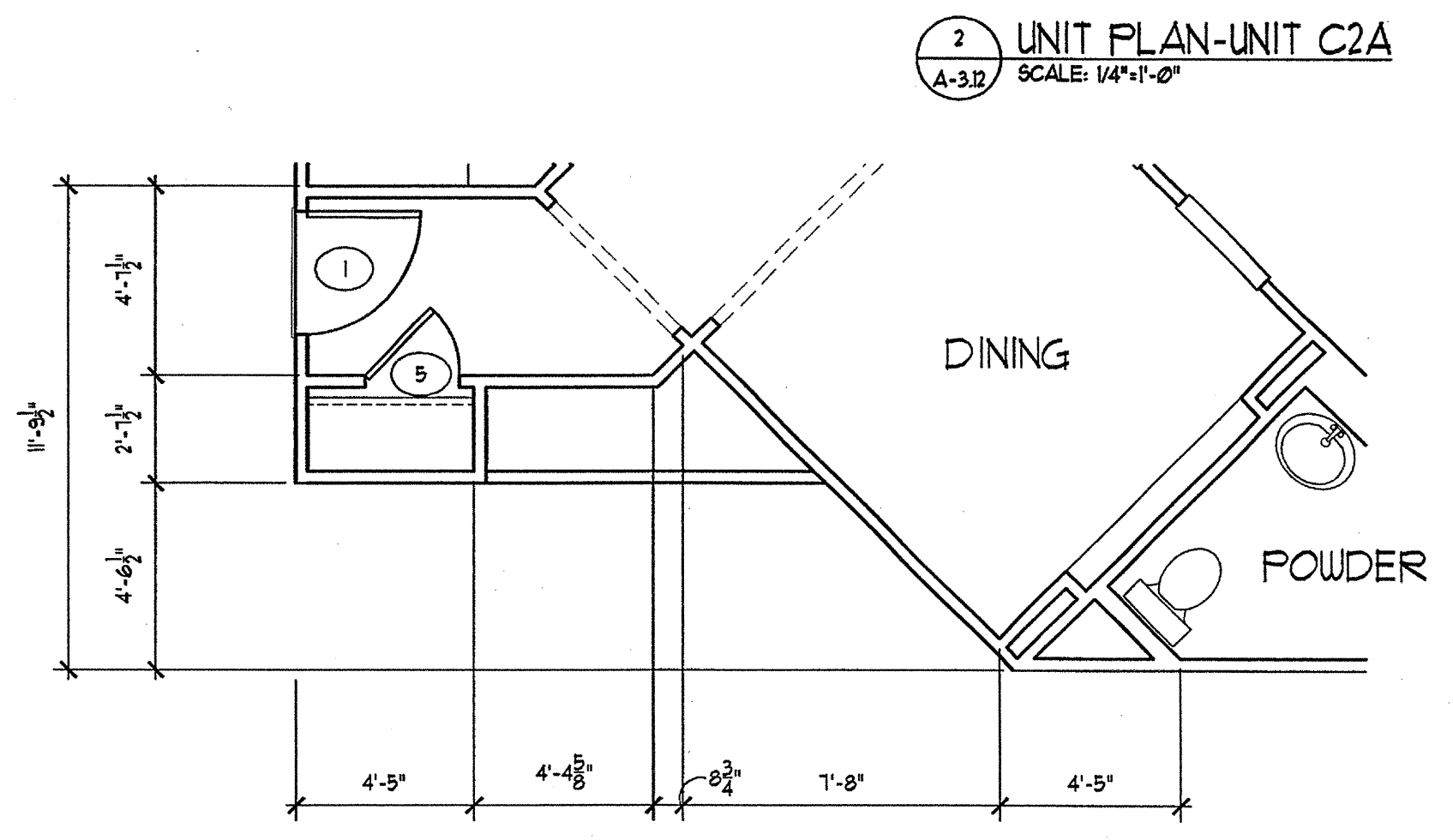
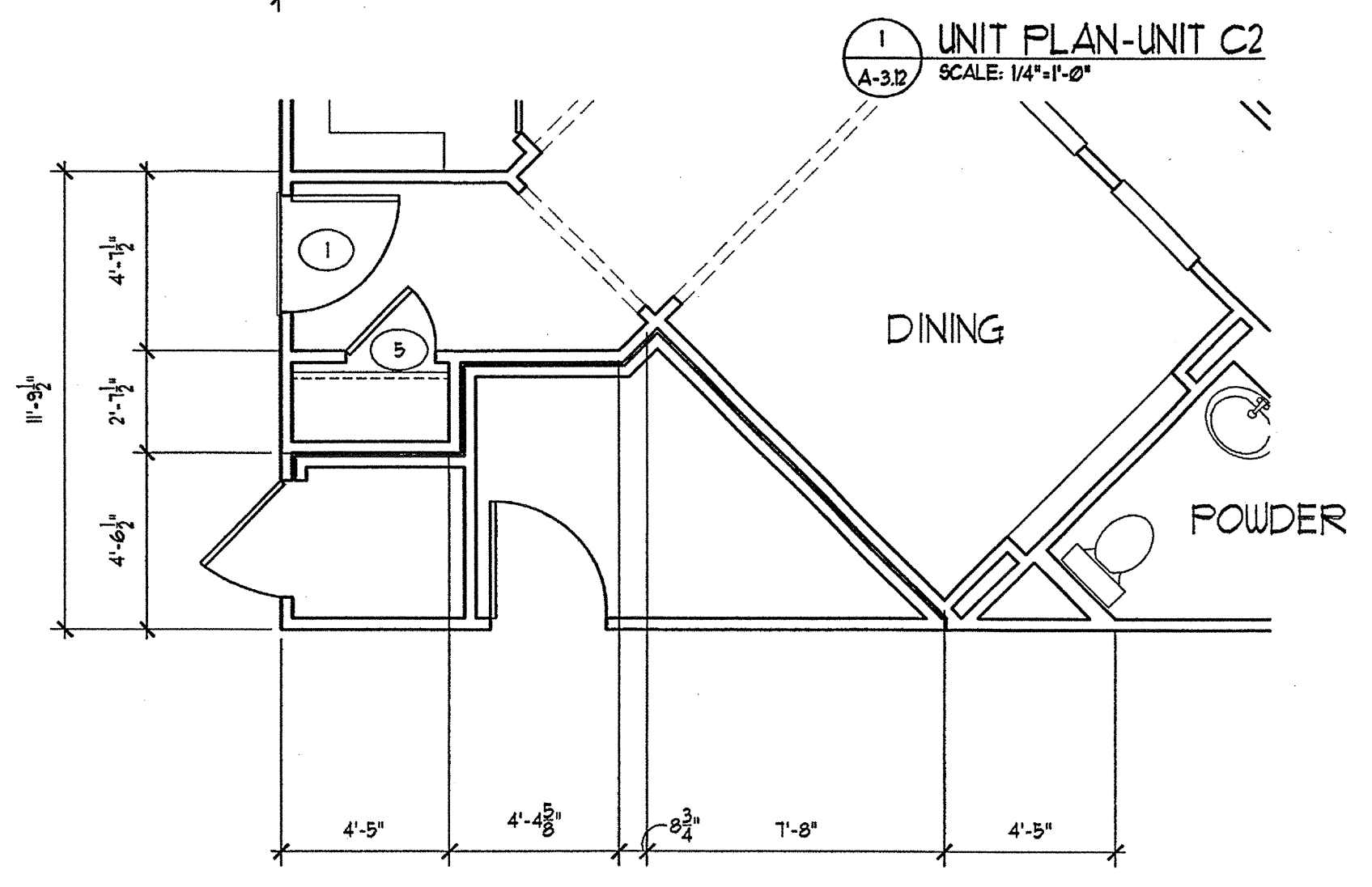
9 BATH ELEVATION  
SCALE: 1/4"=1'-0"

10 FIREPLACE ELEVATION  
SCALE: 1/4"=1'-0"



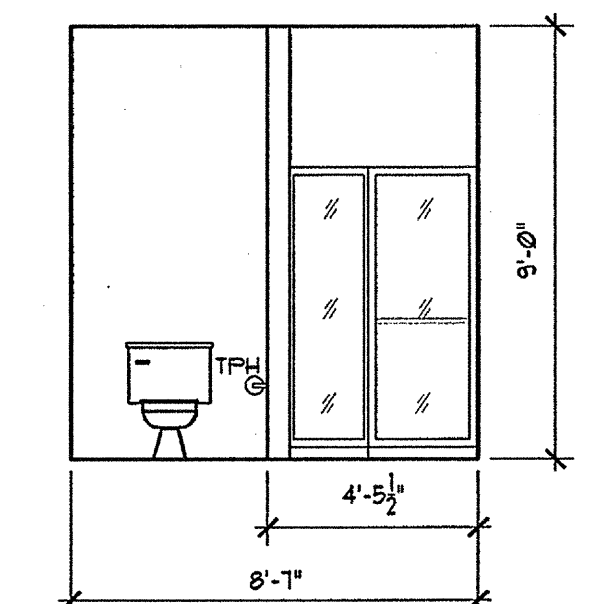
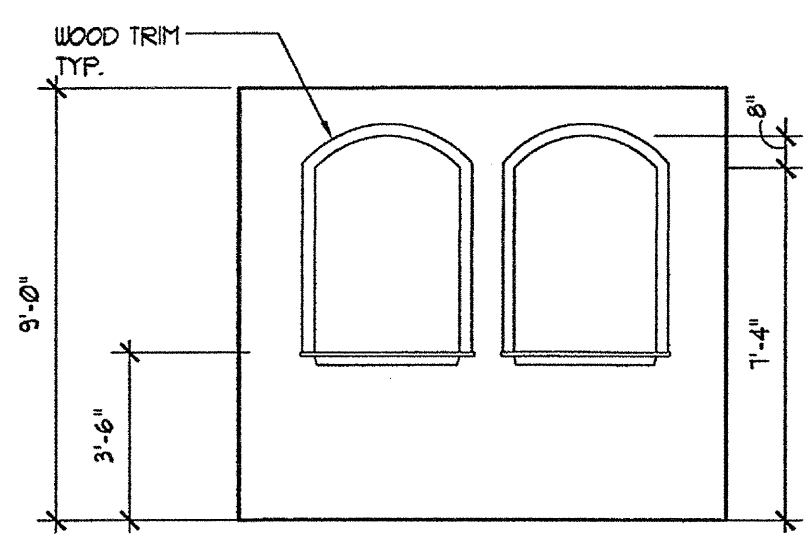
NOTE: SEE B4 UNIT FOR FIRE WALL UNIT WIDTH REDUCTIONS

- 1 HVAC UNIT/ATER HEATER SEE MECHANICAL DUGS
- 2 WASHER CONNECTION/ DRYER VENT
- 3 FLOORING CHANGE
- 4 AIR CONDITIONER
- 5 DISHWASHER
- 6 REFRIGERATOR
- 7 RANGE W/ MICROWAVE ABOVE 4 VENTLESS HOOD
- 8 PANTRY
- 9 TOWEL BAR
- 10 TOILET PAPER HOLDER
- 11 LINEN CLOSET
- 12 36"x60" 1 PIECE FIBERGLASS GARDEN TUB 4 SKIRT
- 13 ELECTRIC PANEL
- 14 ROD 4 SHELF
- 15 DOUBLE ROD 4 SHELF
- 16 SHELVES
- 17 COMPUTER DESK LOCATION (NIC)
- 18 CROWN MOULDING
- 19 ARCHED CASED OPENING
- 20 CHAIR RAIL WITH PICTURE FRAME
- 21 ELONGATED TOILET
- 22 DBL. STAINLESS STEEL KIT. BNC W/ DISPENSOR
- 23 6GL INTEGRATED BOIL. CULT. MARBLE VANITY TOP
- 24 DBL. INTEGRATED BOIL. CULT. MARBLE VANITY TOP
- 25 FLAT CASED OPENING
- 26 GAS FIREPLACE 4 VENTHOOD - "MAJESTIC" LIVERSIDE W/ "MAJIC" 18" 02006.FYFB
- 27 36" SQUARE FIBERGLASS SHOWER PAN
- 28 48" NEO FIBERGLASS SHOWER PAN
- 29 DROP SOFIT
- 30 CHAIR RAIL W/ PICTURE MOLDING BELOW
- NOTE: ARROWS INDICATE LOCATION, START AND STOP POINTS

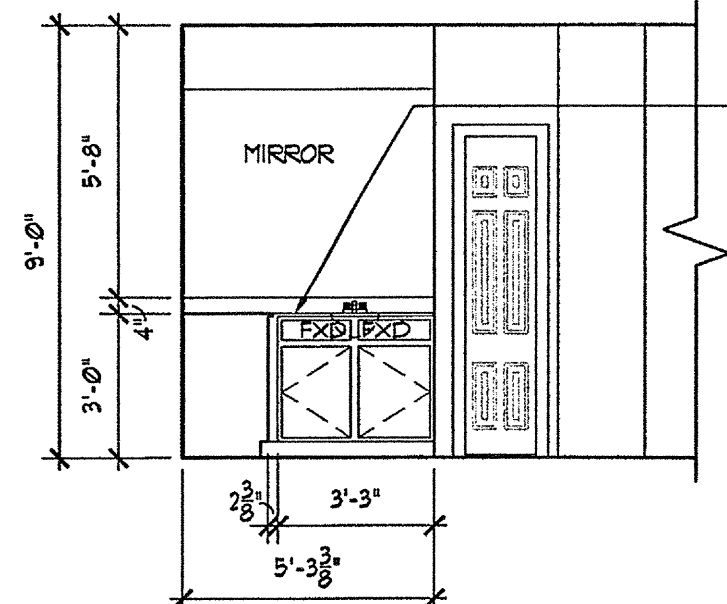


16 FIREPLACE ELEVATION  
SCALE: 1/4"=1'-0"

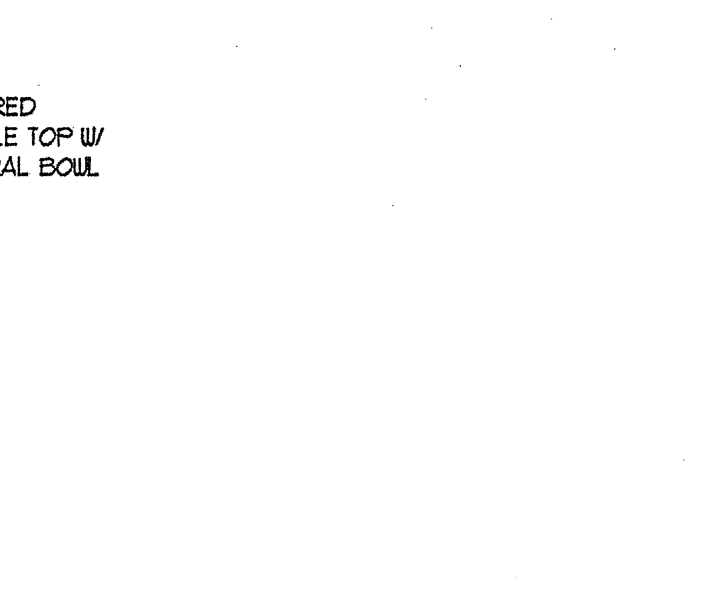
11 DINING ROOM ELEVATION  
SCALE: 1/4"=1'-0"



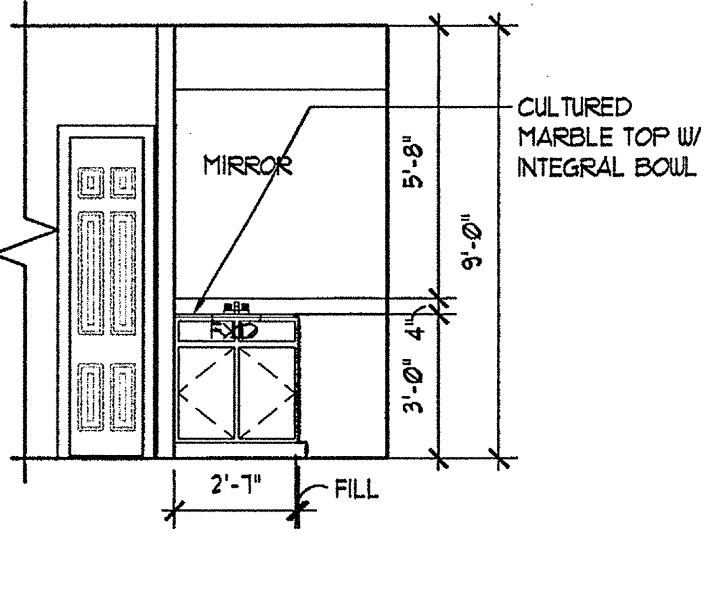
1 BATH ELEVATION  
SCALE: 1/4"=1'-0"



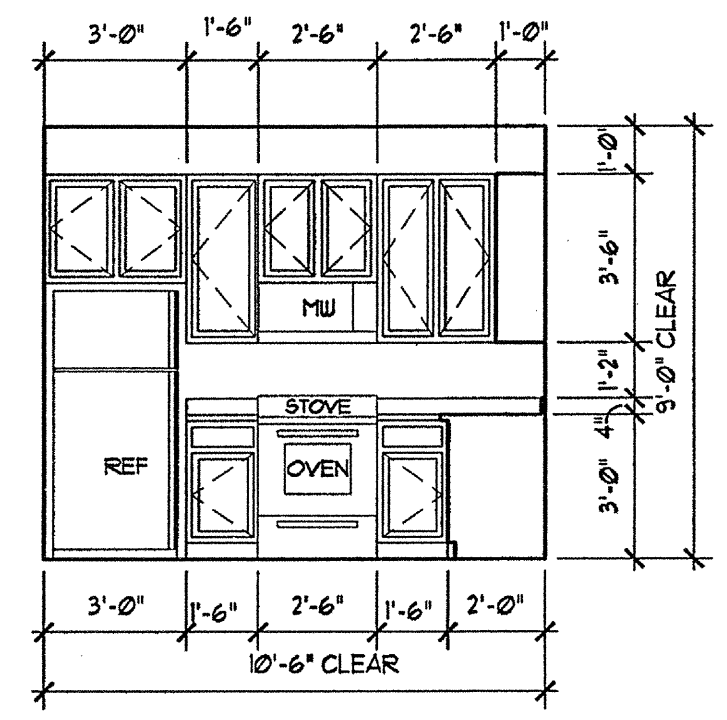
2 BATH ELEVATION  
SCALE: 1/4"=1'-0"



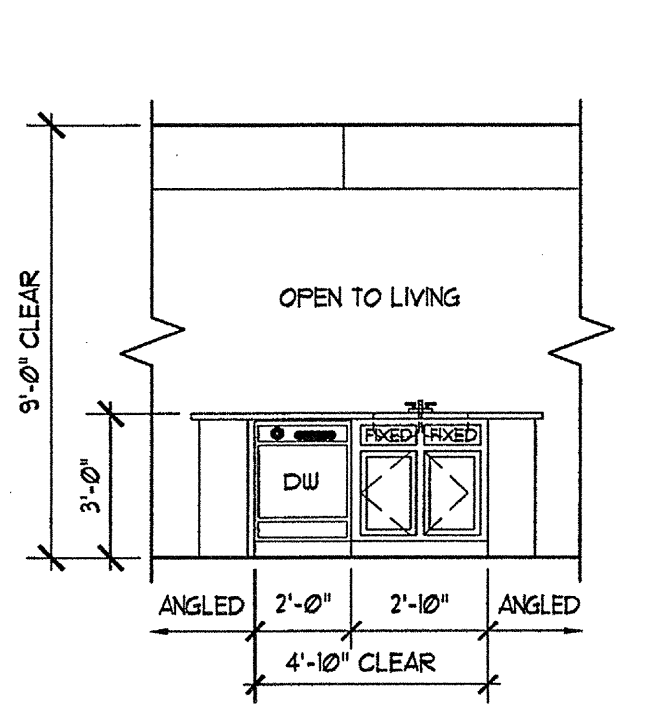
3 POWDER ROOM ELEV.  
SCALE: 1/4"=1'-0"



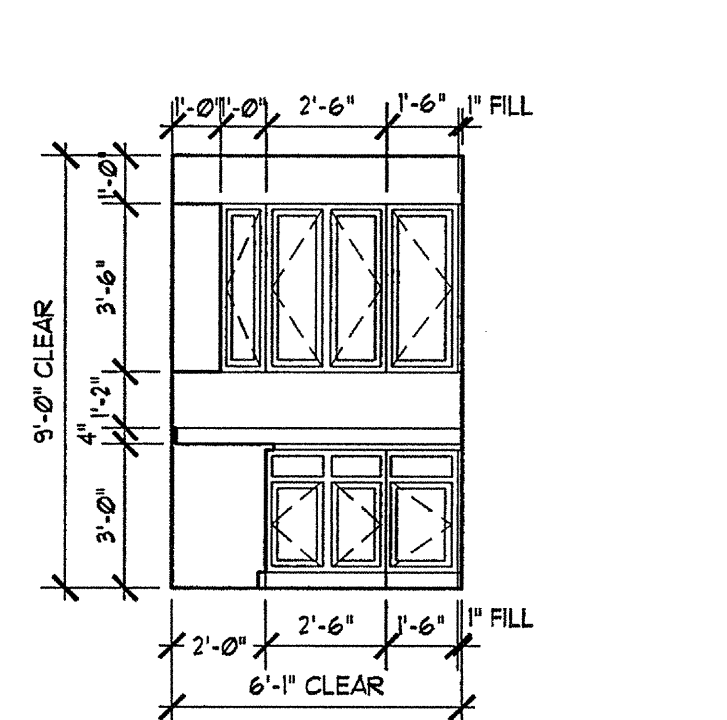
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SCALE: 1/4"=1'-0"



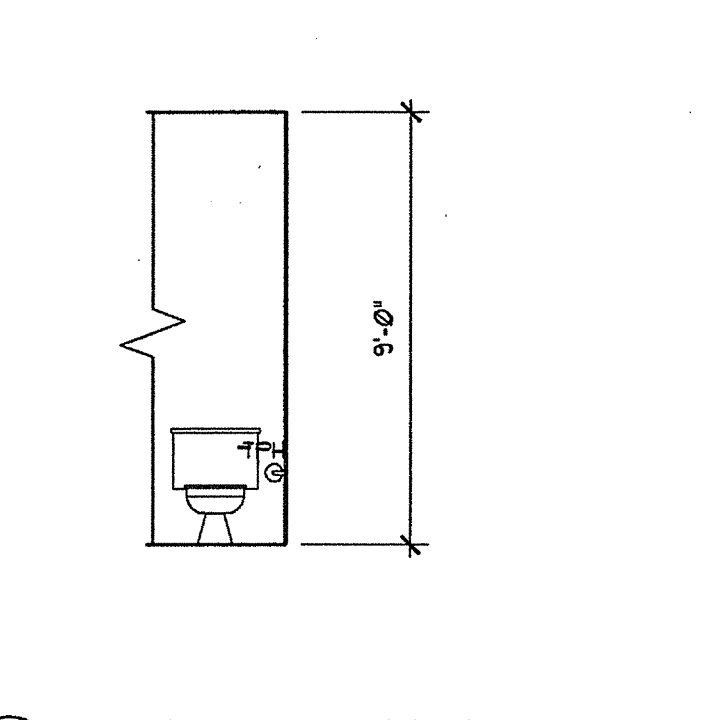
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SCALE: 1/4"=1'-0"



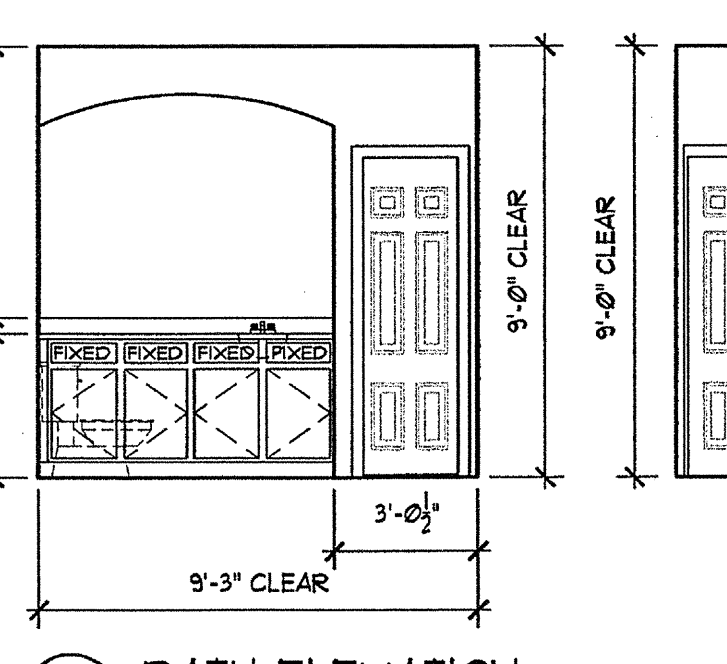
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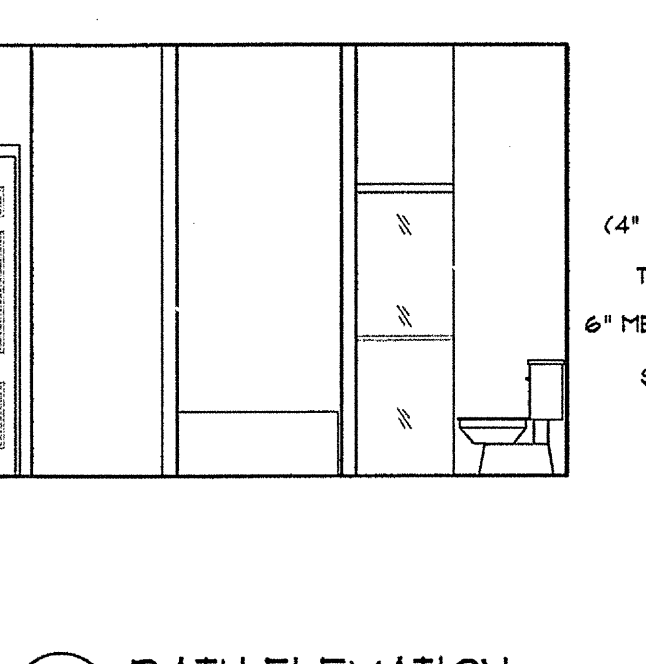
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SCALE: 1/4"=1'-0"



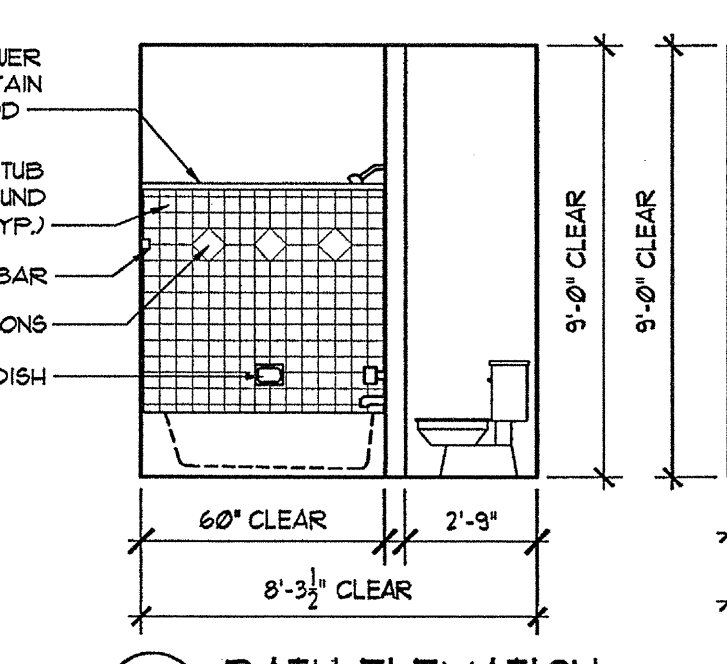
7 POWDER ROOM ELEV.  
SCALE: 1/4"=1'-0"



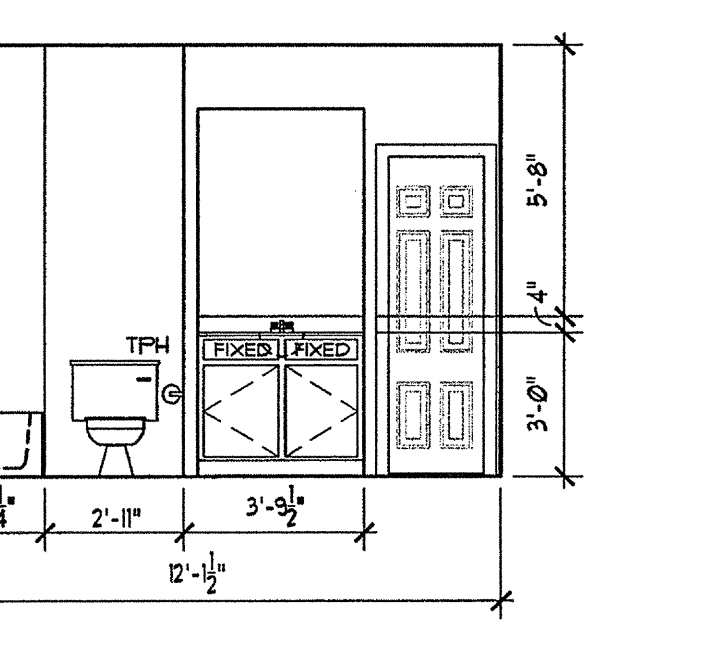
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SCALE: 1/4"=1'-0"



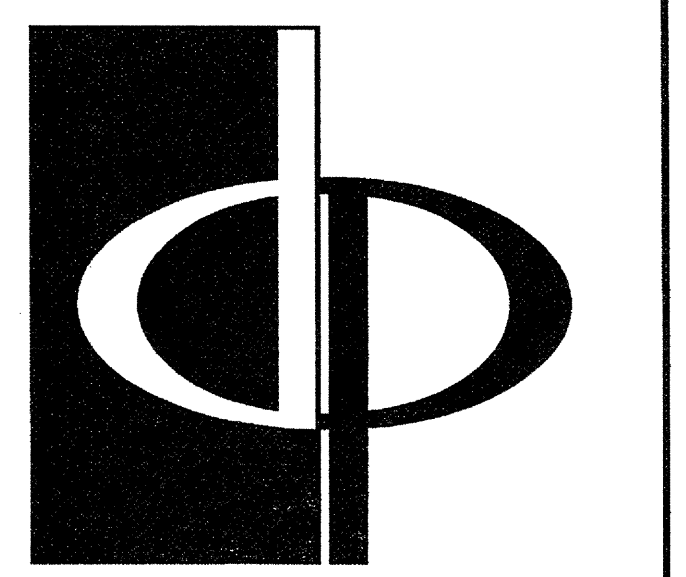
8 BATH ELEVATION  
SCALE: 1/4"=1'-0"



9 BATH ELEVATION  
SCALE: 1/4"=1'-0"



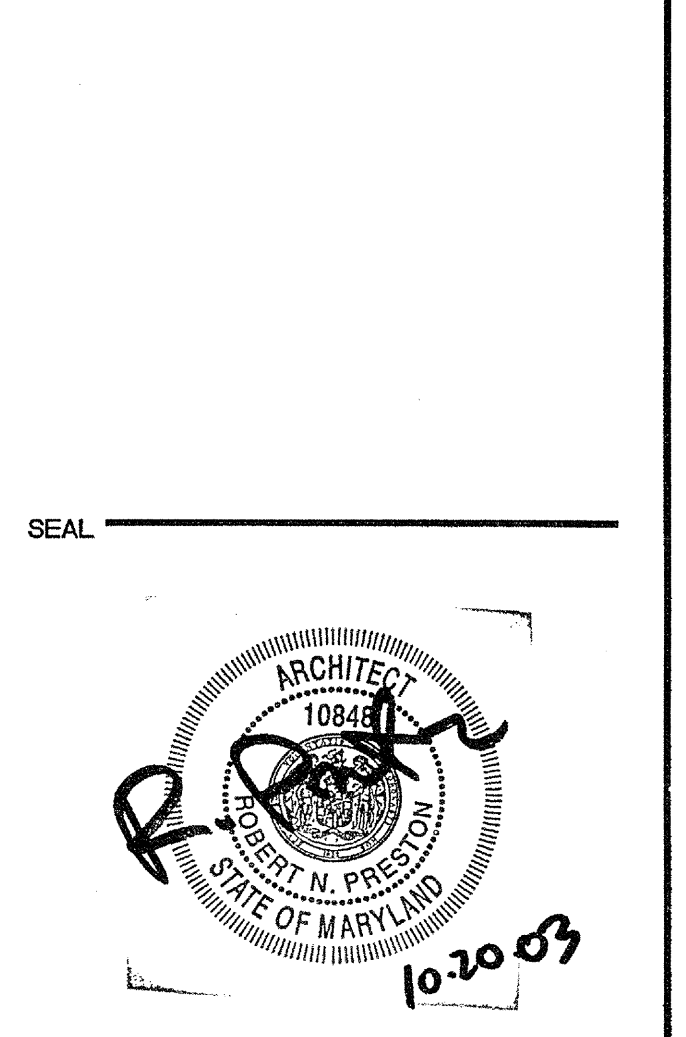
10 BATH ELEVATION  
SCALE: 1/4"=1'-0"



THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM  
1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
FAX: 770 396 2945  
WWW.THEPRESTONPARTNERSHIP.COM

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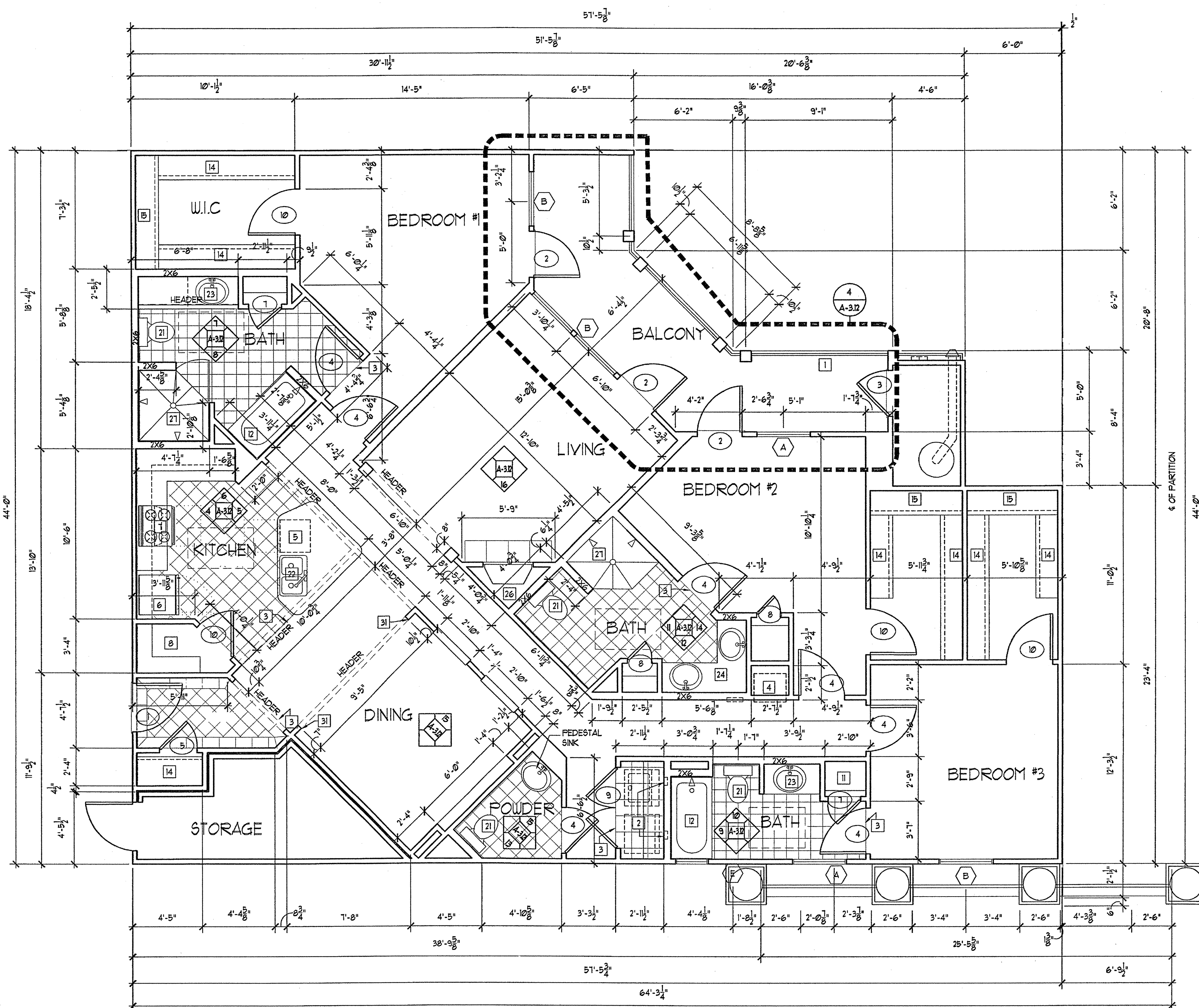
PROJECT  
ARCHSTONE  
KENTLANDS  
949 GUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

FOR  
ARCHSTONE  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS  
RELEASED FOR CONSTRUCTION 07/18/03

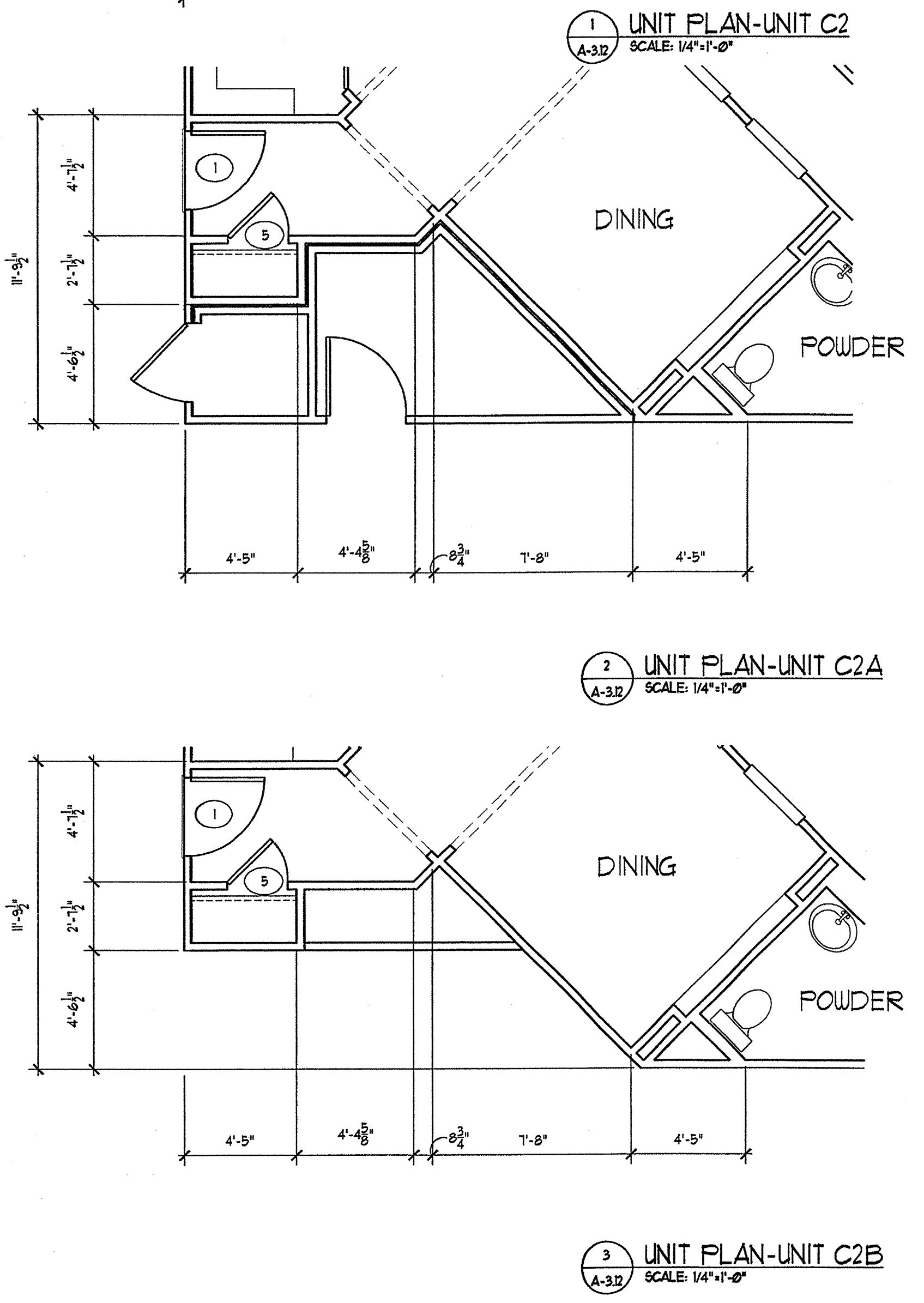
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JOB NUMBER 02111028  
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CHECKED BY STM  
DRAWING TITLE UNIT PLAN C2

DRAWING NUMBER  
A-3.12  
COMMENTS



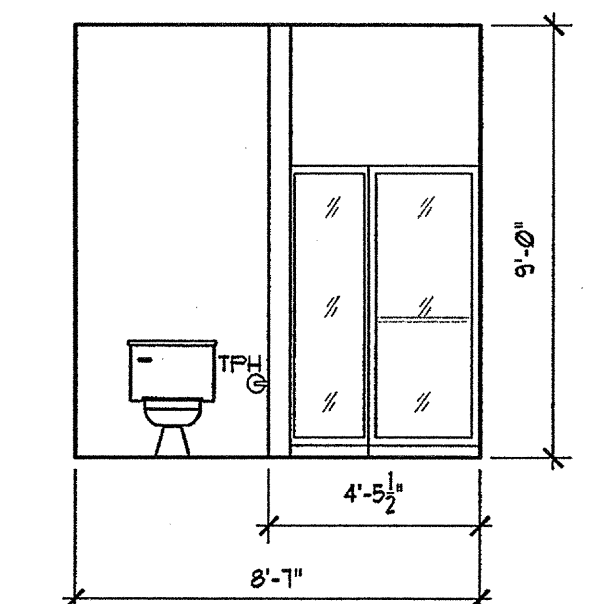
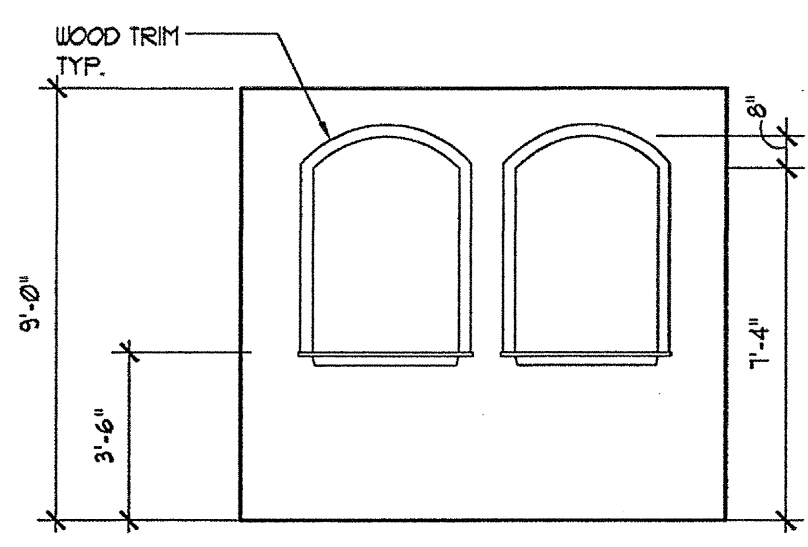
NOTE: SEE B4 UNIT FOR FIRE WALL UNIT WIDTH REDUCTIONS

- 1 HVAC UNIT/WATER HEATER, SEE MECHANICAL DUGS.
  - 2 WASHER CONNECTION/ DRYER VENT
  - 3 FLOORING CHANGE
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  - 8 PANTRY
  - 9 TOWEL BAR
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  - 12 36"x60" 1 PIECE, FIBERGLASS GARDEN TUB 4 SKIRT
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  - 16 SHELVES
  - 17 COMPUTER DESK LOCATION (NIC)
  - 18 CROWN MOULDING
  - 19 ARCHED CASING OPENING
  - 20 CHAIR RAIL WITH PICTURE FRAME
  - 21 ELONGATED TOILET
  - 22 DEL. STAINLESS STEEL KIT, SINK W/ DISPENSOR
  - 23 6GL. INTEGRATED BOUL. CULT. MARBLE VANITY TOP
  - 24 DEL. INTEGRATED BOUL. CULT. MARBLE VANITY TOP
  - 25 FLAT CASING OPENING
  - 26 GAS FIREPLACE 4 VENTHOOD - "MAJESTIC" LIVERSTONE W/ MAJIC 18" 020206/FYFB
  - 27 36" SQUARE FIBERGLASS SHOWER PAN
  - 28 TILE SURROUND 4 KITCHEN
  - 29 48" NEO FIBERGLASS SHOWER PAN
  - 30 DROP SOFFIT
  - 31 CHAIR RAIL W/ PICTURE HOLDING BELOW
- NOTE: ARROWS INDICATE LOCATION, START AND STOP POINTS

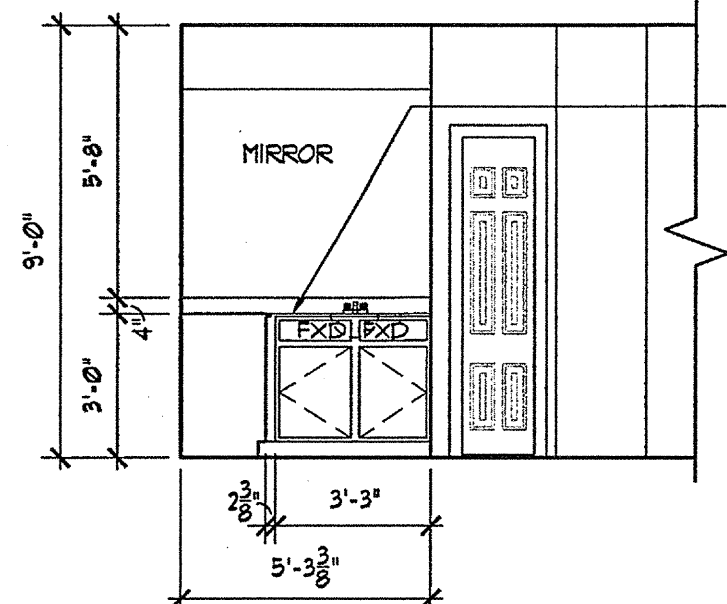


16 FIREPLACE ELEVATION  
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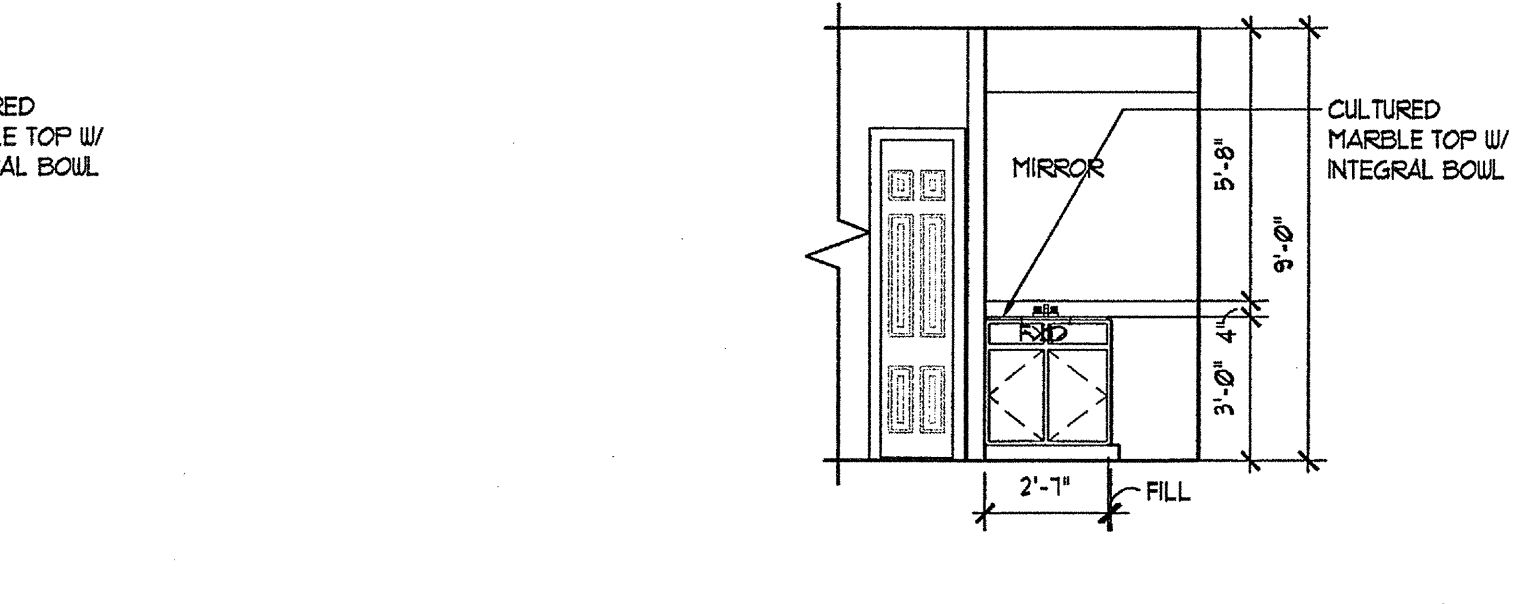
11 DINING ROOM ELEVATION  
SCALE: 1/4"=1'-0"



1 BATH ELEVATION  
SCALE: 1/4"=1'-0"

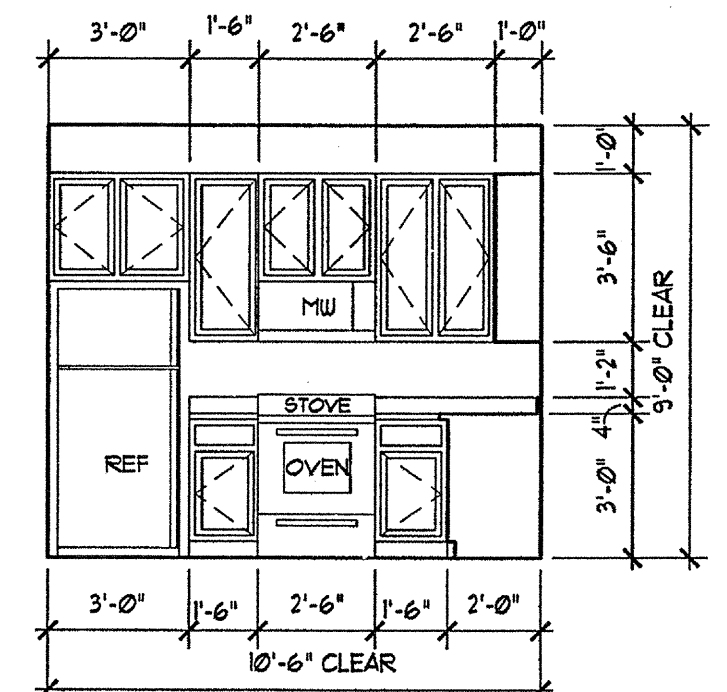


2 BATH ELEVATION  
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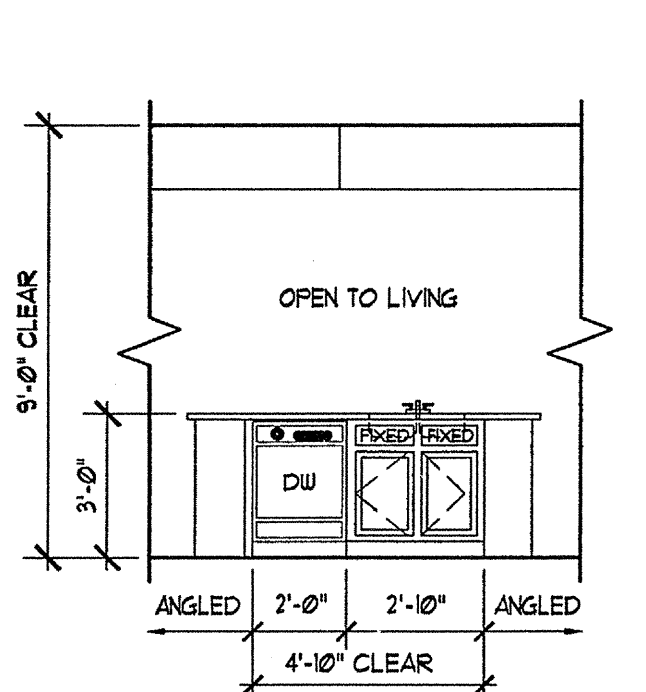


3 POWDER ROOM ELEV.  
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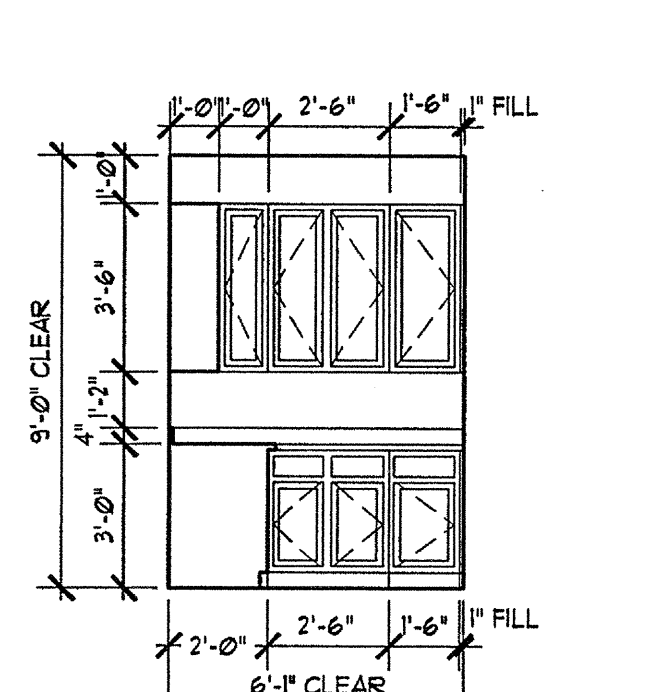
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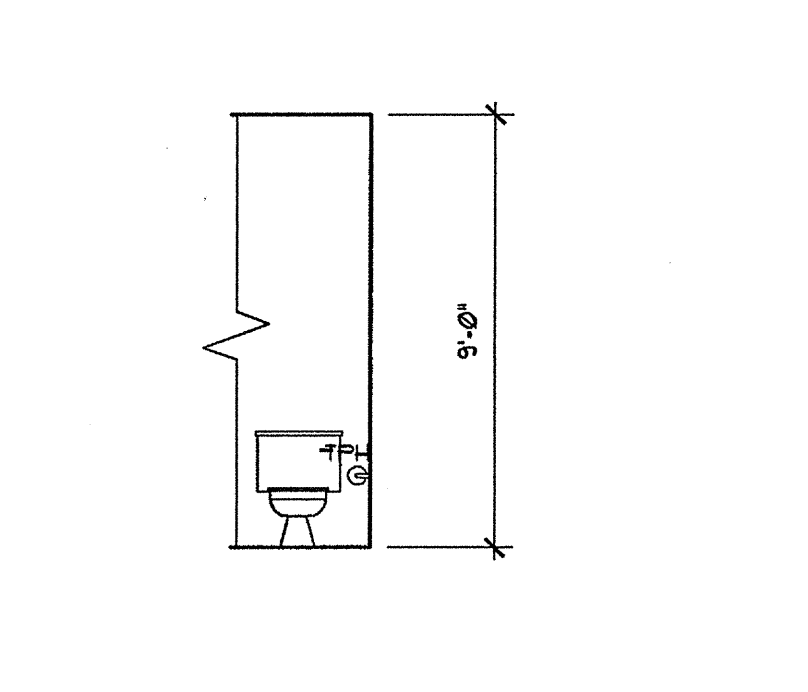
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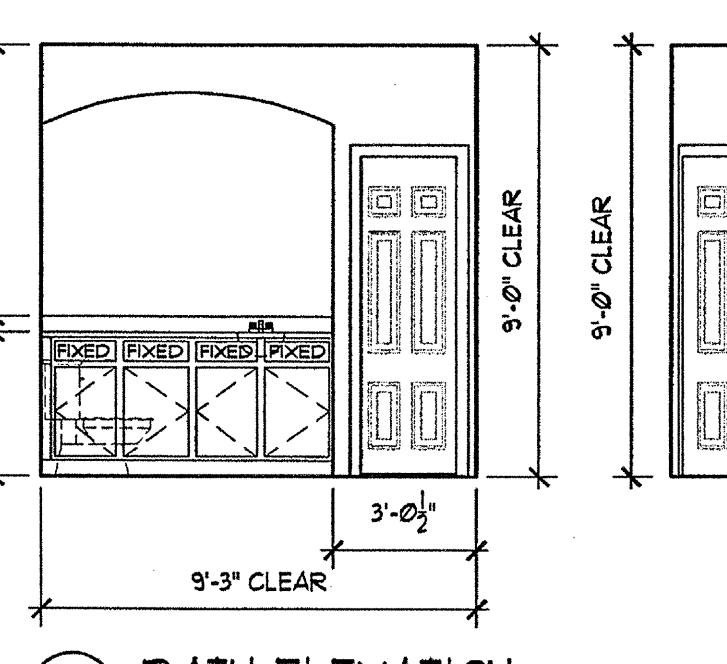
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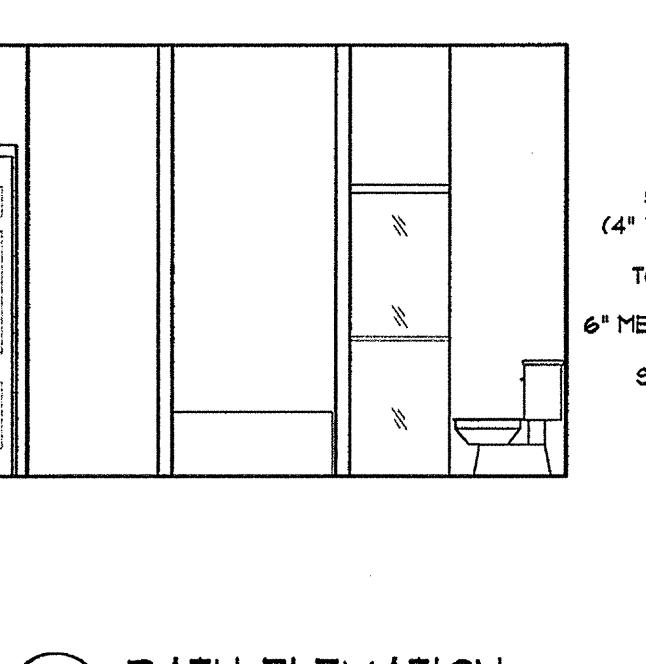
6 KITCHEN ELEVATION  
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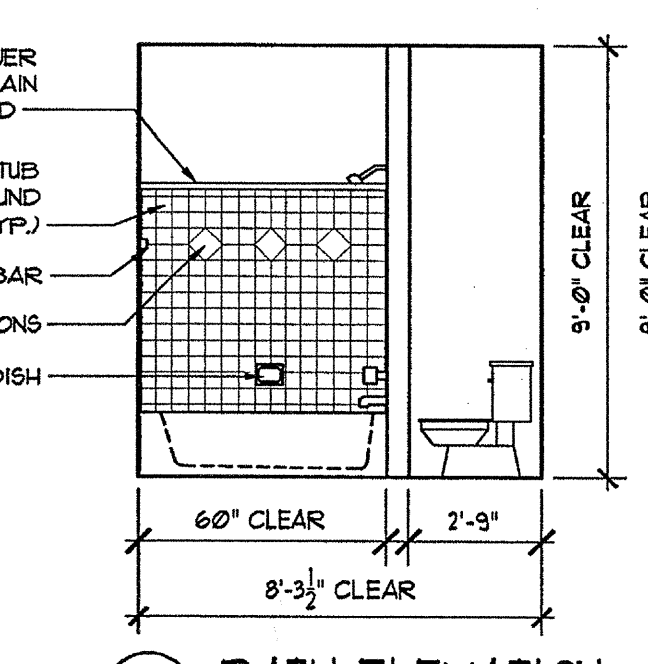
7 POWDER ROOM ELEV.  
SCALE: 1/4"=1'-0"



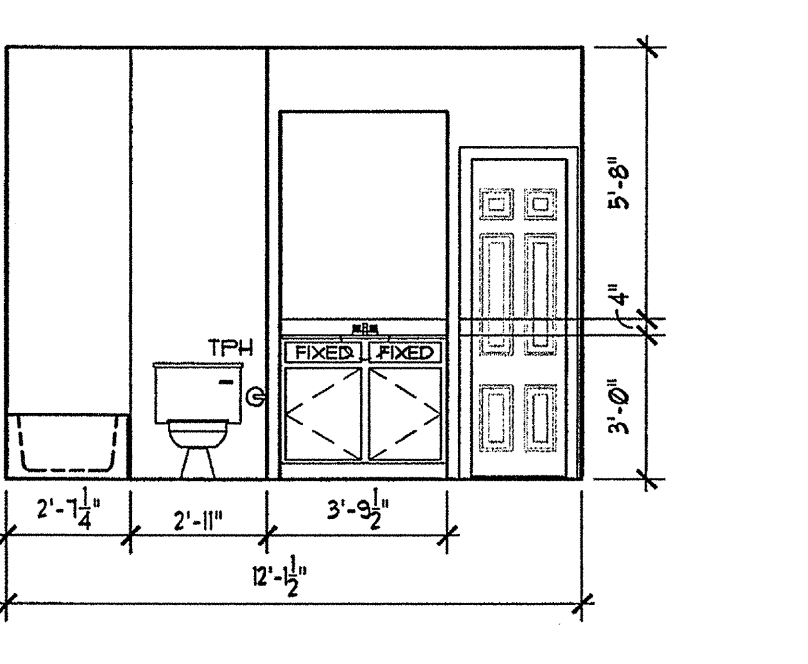
1 BATH ELEVATION  
SCALE: 1/4"=1'-0"



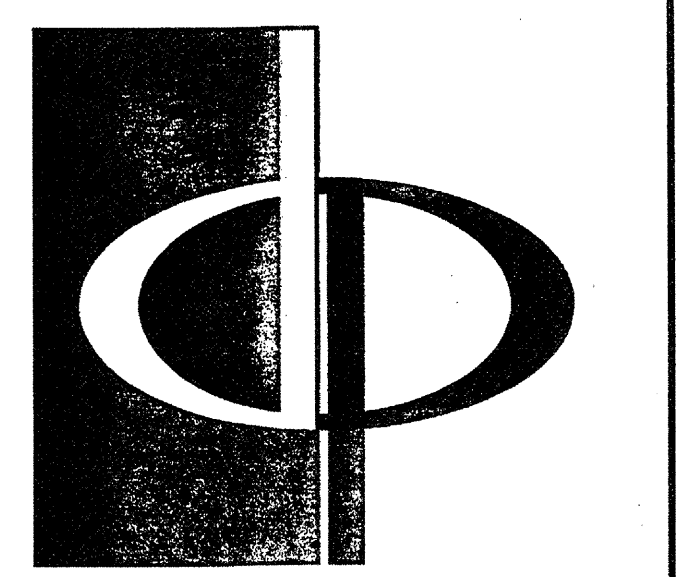
8 BATH ELEVATION  
SCALE: 1/4"=1'-0"



9 BATH ELEVATION  
SCALE: 1/4"=1'-0"



10 BATH ELEVATION  
SCALE: 1/4"=1'-0"



THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

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FAX: 770 396 2945  
WWW.THEPRESTONPARTNERSHIP.COM

CONSULTANT

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PROJECT  
**ARCHSTONE KENTLANDS**  
949 QUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

FOR

**ARCHSTONE**  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

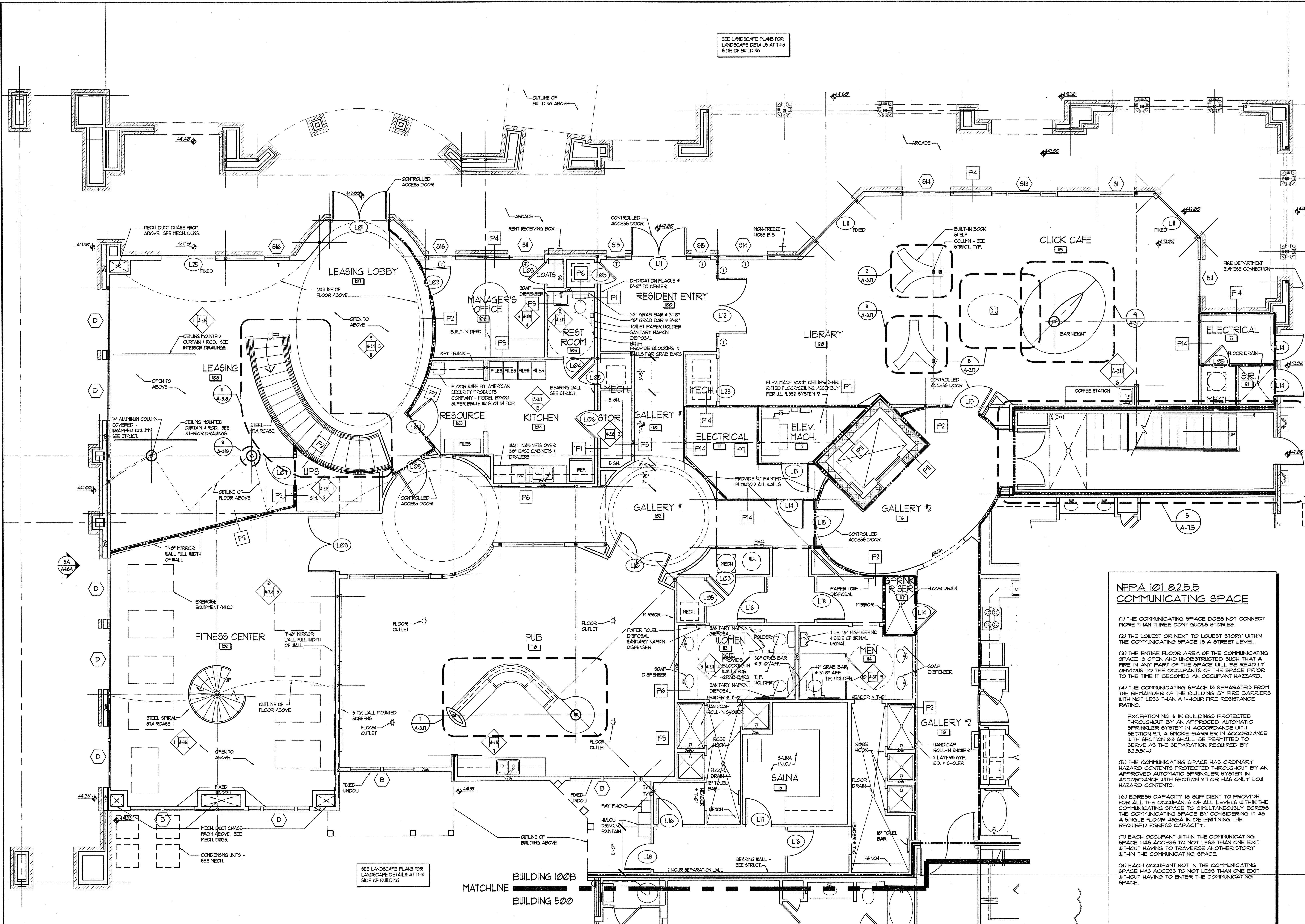
REVISIONS  
RELEASED FOR CONSTRUCTION 07/18/03

DATE 01/31/03  
JOB NUMBER 0211102  
DRAWN BY DA  
CHECKED BY STM  
DRAWING TITLE UNIT PLAN C2

DRAWING NUMBER

A-3.12

COMMENTS



SEE LANDSCAPE PLANS FOR LANDSCAPE DETAILS AT THIS SIDE OF BUILDING

SEE LANDSCAPE PLANS FOR LANDSCAPE DETAILS AT THIS SIDE OF BUILDING

**1 AMENITIES 1ST FLOOR PLAN**  
A-313 SCALE: 1/4"=1'-0"

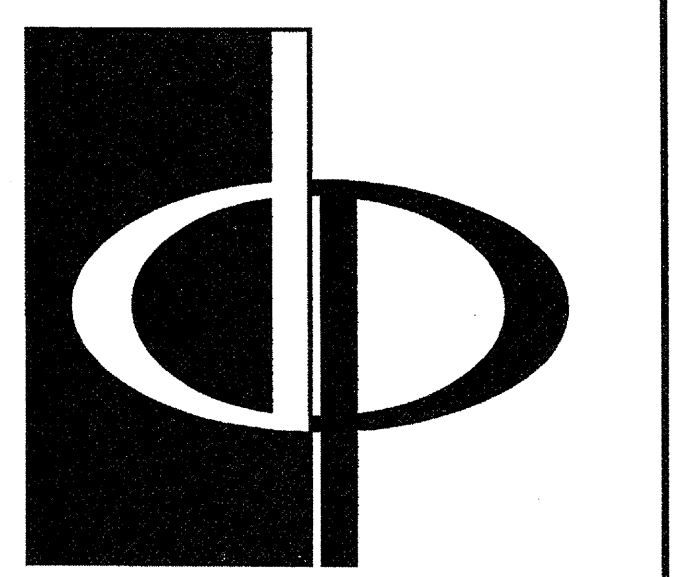
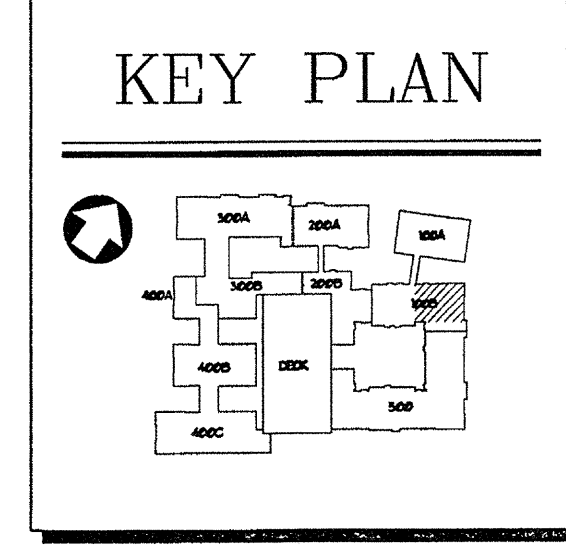
LEGEND	
	1 HOUR RATED WALL
	2 HOUR RATED WALL

**NFPA 101 8.2.5.3 COMMUNICATING SPACE**

- (1) THE COMMUNICATING SPACE DOES NOT CONNECT MORE THAN THREE CONTIGUOUS STORIES.
- (2) THE LOWEST OR NEXT TO LOWEST STORY WITHIN THE COMMUNICATING SPACE IS A STREET LEVEL.
- (3) THE ENTIRE FLOOR AREA OF THE COMMUNICATING SPACE IS OPEN AND UNOBSTRUCTED SUCH THAT A FIRE IN ANY PART OF THE SPACE WILL BE READILY OBVIOUS TO THE OCCUPANTS OF THE SPACE PRIOR TO THE TIME IT BECOMES AN OCCUPANT HAZARD.
- (4) THE COMMUNICATING SPACE IS SEPARATED FROM THE REMAINDER OF THE BUILDING BY FIRE BARRIERS WITH NOT LESS THAN A 1-HOUR FIRE RESISTANCE RATING.  
EXCEPTION NO. 1, IN BUILDINGS PROTECTED THROUGHOUT BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 9.1, A SMOKE BARRIER IN ACCORDANCE WITH SECTION 9.3 SHALL BE PERMITTED TO SERVE AS THE SEPARATION REQUIRED BY 8.2.5.3(4).
- (5) THE COMMUNICATING SPACE HAS ORDINARY HAZARD CONTENTS PROTECTED THROUGHOUT BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 9.1 OR HAS ONLY LOW HAZARD CONTENTS.
- (6) EGRESS CAPACITY IS SUFFICIENT TO PROVIDE FOR ALL THE OCCUPANTS OF ALL LEVELS WITHIN THE COMMUNICATING SPACE TO SPONTANEOUSLY EGRESS THE COMMUNICATING SPACE BY CONSIDERING IT AS A SINGLE FLOOR AREA IN DETERMINING THE REQUIRED EGRESS CAPACITY.
- (7) EACH OCCUPANT WITHIN THE COMMUNICATING SPACE HAS ACCESS TO NOT LESS THAN ONE EXIT WITHOUT HAVING TO TRAVERSE ANOTHER STORY WITHIN THE COMMUNICATING SPACE.
- (8) EACH OCCUPANT NOT IN THE COMMUNICATING SPACE HAS ACCESS TO NOT LESS THAN ONE EXIT WITHOUT HAVING TO ENTER THE COMMUNICATING SPACE.

**REVISION #11 SUMMARY**

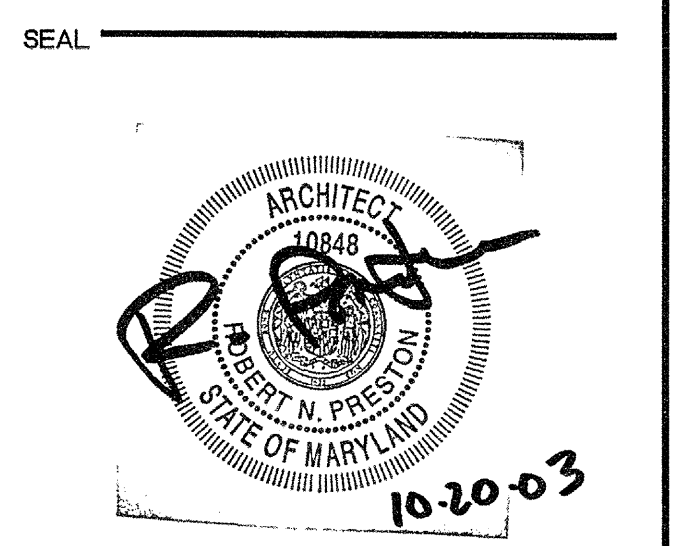
NO.	DESCRIPTION
A	REVISED PLAN



**THE PRESTON PARTNERSHIP, LLC**  
A MULTI-DISCIPLINARY DESIGN FIRM

1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
FAX: 770 396 2945

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CONSULTANT



**PROJECT**  
ARCHSTONE  
KENTLANDS  
949 QUINCE ORCHARD ROAD  
GATHERERSBURG, MARYLAND

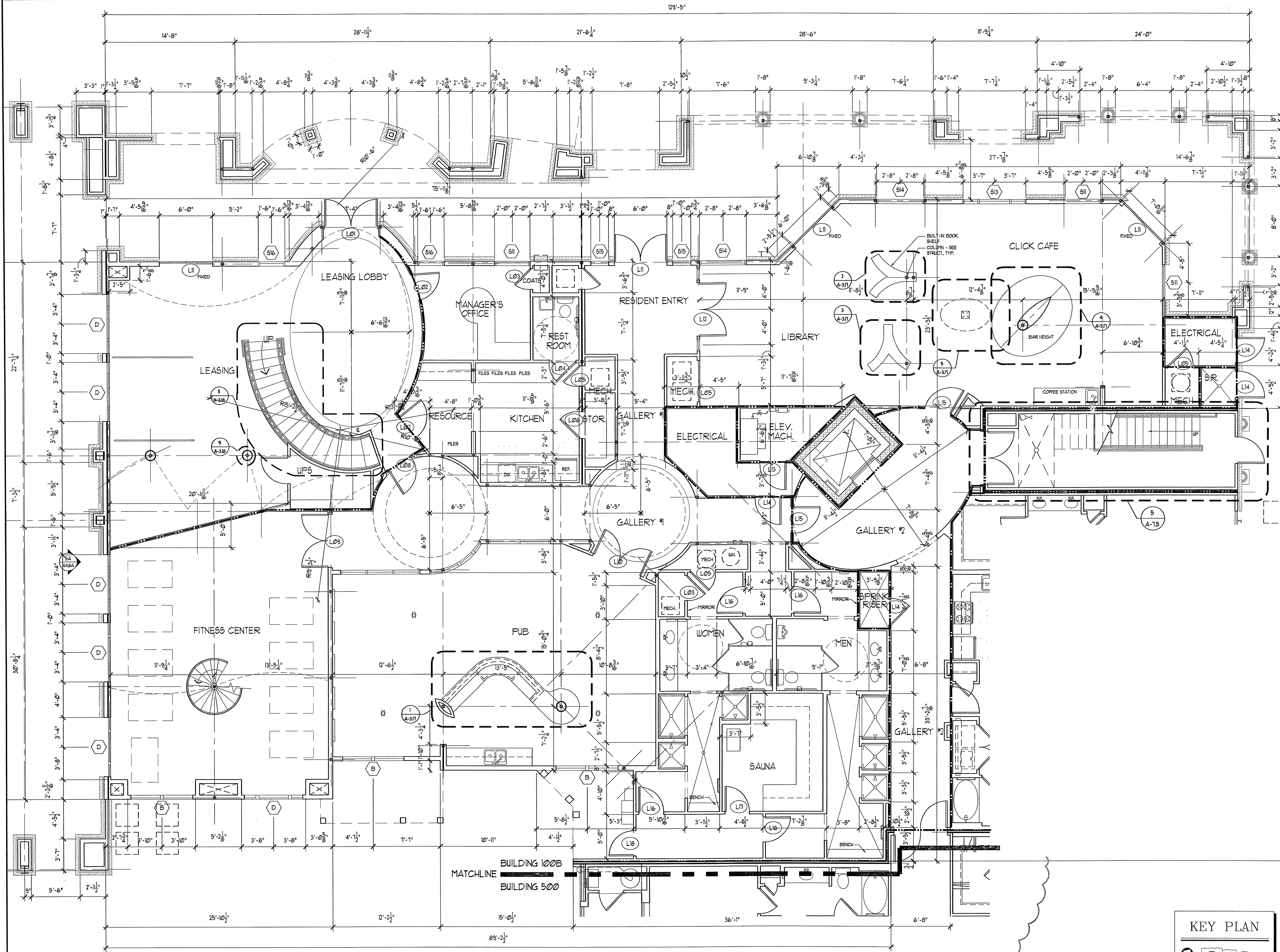
**ARCHSTONE COMMUNITIES**  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

**REVISIONS**

NO.	DESCRIPTION	DATE
1	RELEASED FOR CONSTRUCTION	01/31/03
2	ADDENDUM 5 / BDC	4/16/03
3	REVISED AVENUE AREAS	09/15/03

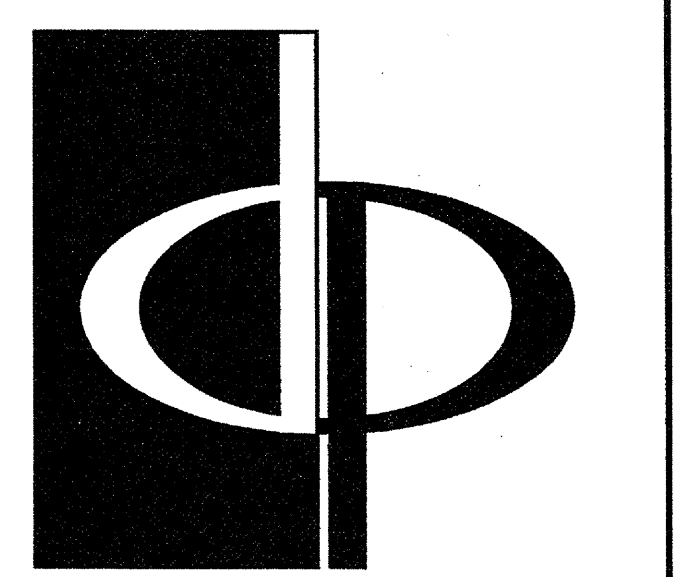
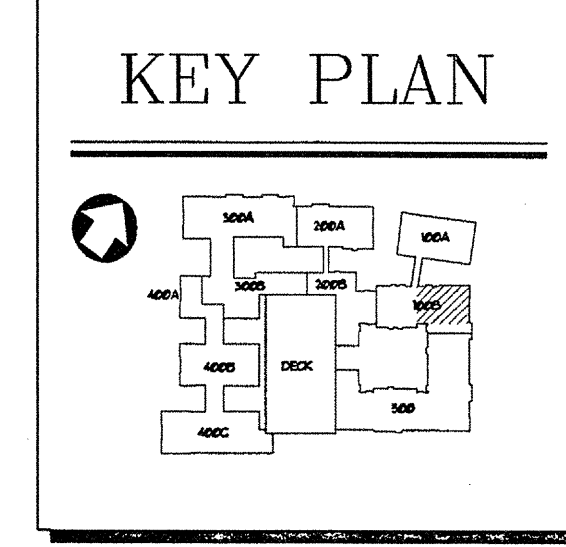
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DRAWN BY: DA  
CHECKED BY: STM  
DRAWING TITLE: AMENITIES FIRST FLOOR PLAN  
DRAWING NUMBER: A-3.13  
COMMENTS:





1 AMENITIES 1ST FLOOR PLAN  
A-3.13A SCALE: 1/4"=1'-0"

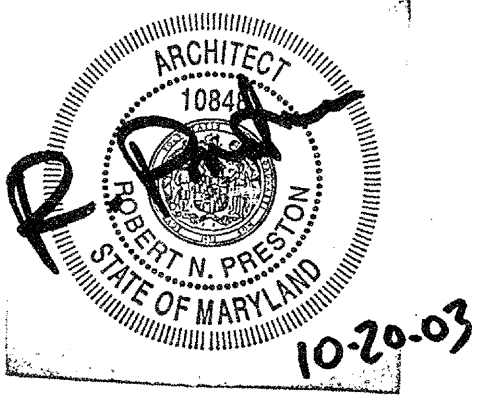
REVISION #1 SUMMARY  
A REVISED PLAN



THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM  
1000 ABERNATHY ROAD NE, SUITE 600  
ATLANTA, GEORGIA 30328  
TELEPHONE: 770 396 7248  
FAX: 770 396 2945  
WWW.THEPRESTONPARTNERSHIP.COM

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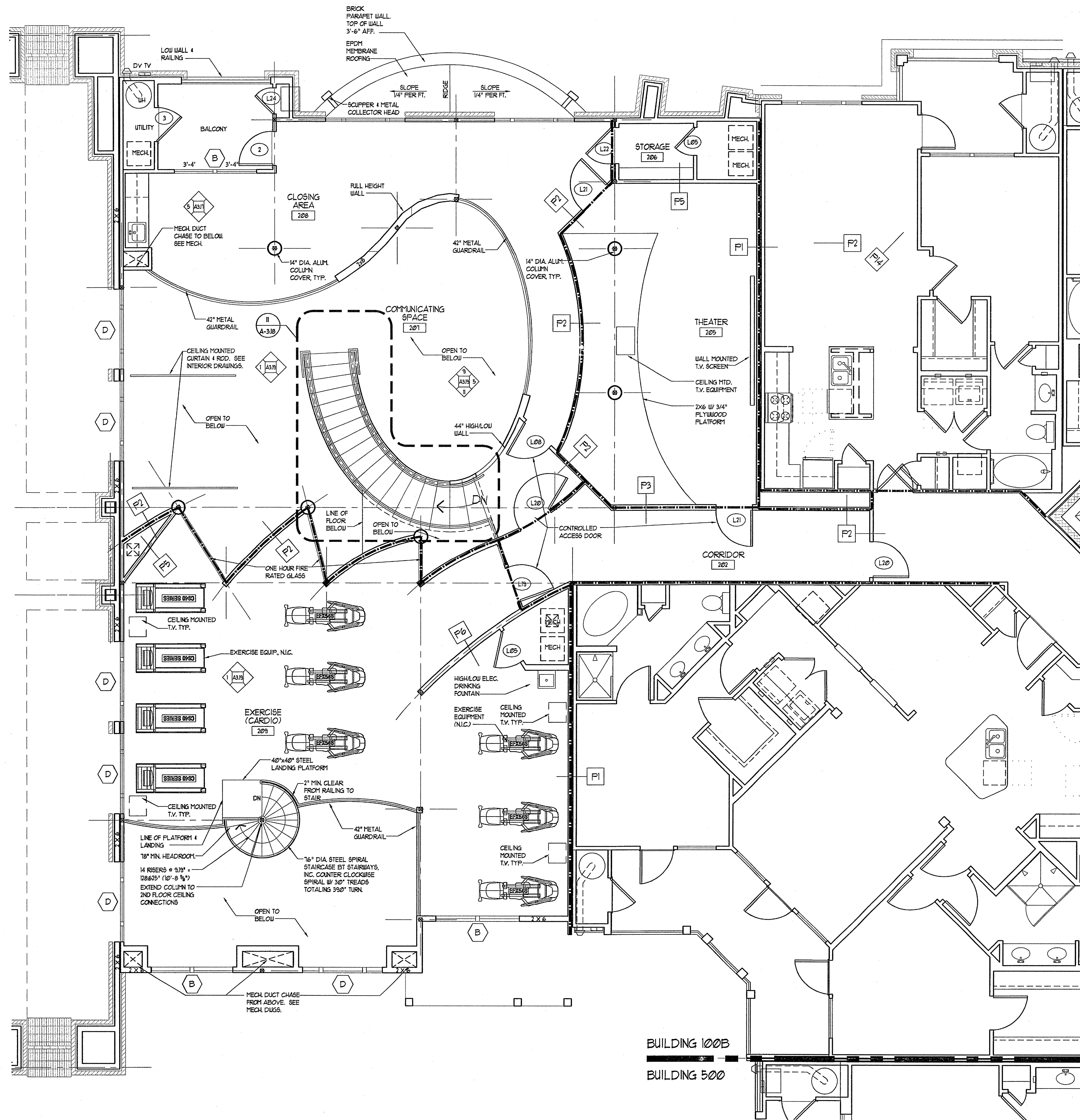
PROJECT  
ARCHSTONE  
KENTLANDS  
948 QUINCE RICHARD ROAD  
GATHERSBURG, MARYLAND

FOR

ARCHSTONE  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS	DATE
RELEASED FOR CONSTRUCTION	07/18/03
APPENDIX #5 / EDC	4/6/03
REVISED APARTMENT AREAS	09/15/03

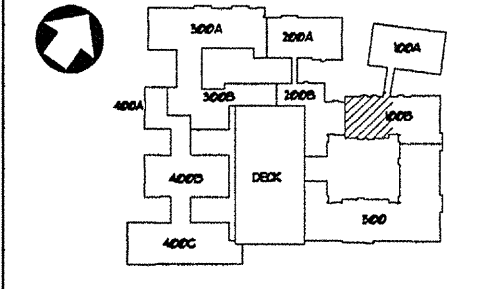
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JOB NUMBER: 0211702  
DRAWN BY: DA  
CHECKED BY: STM  
DRAWING TITLE: AMENITIES FIRST FLOOR PLAN - DIMENSION PLAN  
DRAWING NUMBER: A-3.13A  
COMMENTS:



1 AMENITIES SECOND FLOOR PLAN  
A-314 SCALE: 1/4"=1'-0"

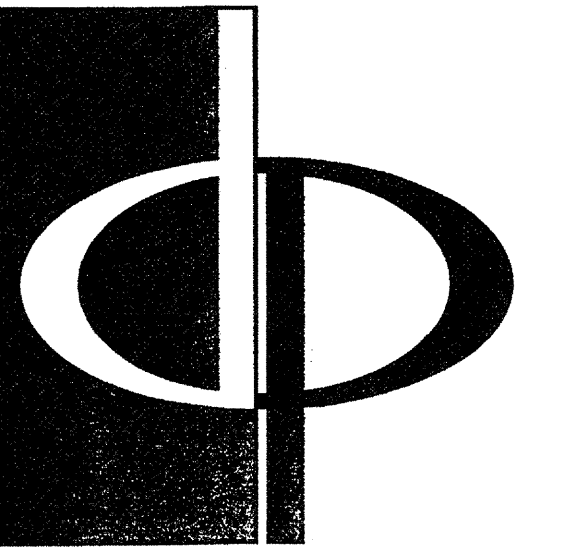
LEGEND	
---	1 HOUR RATED WALL
---	2 HOUR RATED WALL

KEY PLAN



REVISION #11 SUMMARY

A. REVISED PLAN



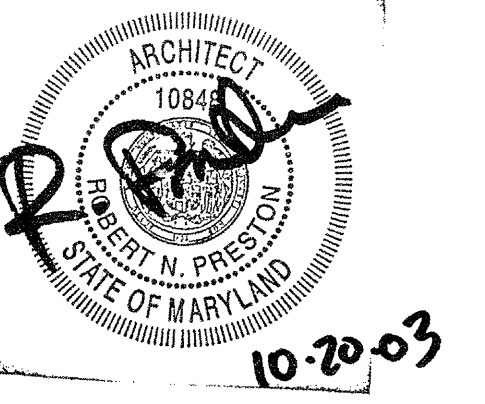
THE PRESTON PARTNERSHIP, LLC  
A MULTI-DISCIPLINARY DESIGN FIRM

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PROJECT

ARCHSTONE  
KENTLANDS  
949 QUINCE ORCHARD ROAD  
GATHERSBURG, MARYLAND

FOR

ARCHSTONE  
COMMUNITIES  
6631 OLD DOMINION DRIVE  
MCLEAN, VIRGINIA 22101  
703-883-3353

REVISIONS

RELEASED FOR CONSTRUCTION 01/21/08

DATE	01/21/08
JOB NUMBER	0211108
DRAWN BY	DA
CHECKED BY	6TM
DRAWING TITLE	AMENITIES SECOND FLOOR PLAN
DRAWING NUMBER	A-3.14
COMMENTS	